

# PLANNING COMMISSION

## AGENDA REGULAR MEETING OF THE HEMET PLANNING COMMISSION City Council Chambers 450 East Latham Avenue, Hemet CA 92543

December 6, 2011  
6:00 PM

*If you wish to make a statement regarding any item on the agenda, please complete a Speaker Card and hand it to the clerk. When the Chairman calls for comments from the public on the item you wish to address, step forward to the lectern and state your name and address. **Only testimony given from the lectern will be heard by the Planning Commission and included in the record.***

### 1. CALL TO ORDER:

**Roll Call:** Chairman John Gifford, Vice Chairman Sharon Deuber, and Commissioners Vince Overmyer, David Rogers and Chauncey Thompson.

**Invocation and Flag Salute:** Chairman Gifford

### 2. APPROVAL OF MINUTES: (None available at this time)

### 3. PUBLIC COMMENTS:

*Anyone who wishes to address the Commission regarding items **not on the agenda** may do so at this time. Please line up at the lectern when the Chairman asks if there are any communications from the public. When you are recognized, please give your name and address. Please complete a Speaker Card and hand it to the Clerk so that we have an accurate recording of your name and address for the minutes.*

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## PUBLIC HEARINGS

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### Meeting Procedure for Public Hearing Items:

1. Receive Staff Report Presentation
2. Commissioners Report Regarding Any Site Visit or Applicant Contact
3. Open the Public Hearing and receive comments from the applicant and the public.
4. Close the Public Hearing
5. Planning Commission Discussion and Motion

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CITY OF HEMET PLANNING COMMISSION MEETING   
DECEMBER 6, 2011

4. **EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE PERMIT NO. 09-003 (Medicity)**

APPLICANT: John Petty, Latham Management  
LOCATION: 2171 West Florida Avenue  
PLANNER: Carole L. Kendrick, Assistant Planner  
DESCRIPTION: A request for Planning Commission review and approval of an extension of time for the previously approved Conditional Use Permit No. 09-003, for the conversion of an existing 130,226 square-foot retail building into a medical facility totaling 145,582 square feet and the construction of a 49-bed hospital totaling 87,695 square feet located on a 13.45 acre site.

**Recommended Action:**

*Adopt Resolution Bill No. 11-018 approving EOT 11-002, entitled:*

"A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA, APPROVING EXTENSION OF TIME NO. 11-002 FOR A ONE-YEAR EXTENSION OF CONDITIONAL USE PERMIT NO. 09-003 FOR THE CONVERSION OF AN EXISTING 130,266 SQUARE FOOT RETAIL BUILDING INTO A MEDICAL FACILITY TOTALING 145,582 SQUARE FEET AND THE CONSTRUCTION OF A 49 BED HOSPITAL TOTALING 87,695 SQUARE FEET, LOCATED AT 2171 WEST FLORIDA AVENUE (APN: 448-450-005)."

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**WORK STUDY ITEMS**

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*Work Study items are not public hearings and do not require prior notice to the public, although notice may be given to interested persons depending upon the subject matter. The purpose of the Work Study session is to allow the Planning Commission to engage in an open, preliminary review and discussion of issues, ordinances, procedures, or projects prior to the formal public hearing process. The Planning Commission has the option to receive public comment, and may also provide direction to staff at the conclusion of the work study session.*

5. **WORK STUDY TO REVIEW AND DISCUSS PROPOSED REVISIONS TO THE ZONING CODE REGARDING FENCES AND WALLS**

APPLICANT: City of Hemet  
LOCATION: City-wide  
PLANNER: Emery Papp, Principle Planner

**Recommended Actions:**

*A request for Planning Commission review and comment, with possible direction to staff, regarding proposed modifications to the zoning ordinance for fences and walls.*

6. **SUMMARY REPORT ON THE ECONOMIC FORECAST FOR THE INLAND EMPIRE** – *verbal presentation by Community Development Director Elliano regarding recently reported economic trends for the region and indicators for the City of Hemet*

**Recommended Action:**

*For information and discussion purposes – no action required*

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**DEPARTMENT REPORTS**

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7. **COMMUNITY DEVELOPMENT DIRECTOR REPORTS:**  
A. Update Report on Medical Marijuana Dispensaries
8. **CITY ATTORNEY REPORTS:** *Verbal reports from Assistant City Attorney Tom Jex on items of interest to the Planning Commission*
9. **PLANNING COMMISSIONER REPORTS:** *Commissioner reports on meetings attended or other matters of Planning interest*
- A. Chairman Gifford
  - B. Vice Chairman Deuber
  - C. Commissioner Overmyer
  - D. Commissioner Rogers
  - E. Commissioner Thompson
10. **CERTIFICATE OF APPRECIATION FOR COMMISSIONER CHAUNCEY THOMPSON**
11. **Cancellation of the December 20, 2011 and the January 3, 2012 meetings of the Planning Commission**
12. **FUTURE AGENDA ITEMS:** *Items to be scheduled for upcoming Planning Commission Meetings*
- A. Report on “Human Signs” and other temporary signage in the City
  - B. Zoning Ordinance Amendment for Special Housing Classifications
  - C. Status report on foreclosure activity & housing market
  - D. Report on Industrial Development Opportunities
  - E. Report on status of Shopping Cart Containment Plans

**13. ADJOURNMENT:** To the regular meeting of the City of Hemet Planning Commission scheduled for **January 17, 2012 at 6:00 p.m** to be held at the City of Hemet Council Chambers located at 450 E. Latham Avenue, Hemet, California 92543.

**NOTICE TO THE PUBLIC:**

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Planning Department counter of City Hall located at 445 E. Florida Avenue during normal business hours. Agendas for Planning Commission meetings are posted at least 72 hours prior to the meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in the meeting, please contact the Planning Department office at (951) 765-2375. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to insure accessibility to the meeting. (28 CFR 35.102-35.104 ADA Title II).



## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*  
 Carole L. Kendrick, Assistant Planner *CK*

DATE: December 6, 2011

RE: **EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE PERMIT NO. 09-003** A request for Planning Commission review and approval of an extension of time for the previously approved Conditional Use Permit No. 09-003; the conversion of an existing 130,266 square foot retail building into a medical facility totaling 145,582 square feet and the construction of a 49 bed hospital totaling 87,695 square feet located on a 13.45 acre site.

### PROJECT APPLICANT INFORMATION

Applicant: John Petty, Latham Management  
 Project Location: 2171 West Florida Avenue  
 APN Information: 488-450-005  
 Lot Area: 13.45 Acres

### STAFF RECOMMENDATION

*The Planning Department recommends that the Planning Commission:*

1. Adopt the attached Planning Commission Resolution Bill No. 11-018 (Attachment No. 2), entitled:

**“A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA, APPROVING EXTENSION OF TIME NO. 11-002 FOR A ONE-YEAR EXTENSION OF CONDITIONAL USE PERMIT NO. 09-003 FOR THE CONVERSION OF AN EXISTING 130,266 SQUARE FOOT RETAIL BUILDING INTO A MEDICAL FACILITY TOTALING 145,582 SQUARE FEET AND THE CONSTRUCTION OF A 49 BED HOSPITAL TOTALING 87,695 SQUARE FEET, LOCATED AT 2171 WEST FLORIDA AVENUE (APN: 448-450-005).”**

City of Hemet - Planning Department   
 Planning Commission Meeting of December 6, 2011

## **BACKGROUND**

The Applicant is requesting approval of **EXTENSION OF TIME NO. 11-002** to extend the time during which use in reliance can be established for previously approved **CONDITIONAL USE PERMIT NO. 09-003**, which was due to expire on October 20, 2011. The applicant submitted an application for an extension of time on October 19, 2011, prior to the expiration of the original CUP approval, and therefore the project is still active until the Planning Commission's determination on the Extension of Time. Pursuant to Hemet Municipal Code section 90-1544, the Planning Commission may grant an extension of time up to a maximum of three years for a Conditional Use Permit. The applicant's letter (Attachment 1) is requesting the maximum time frame of three years. Staff is recommending a one-year extension of time, due to the uncertainty of the project moving forward as currently approved, and as furthered evidenced by statements in the applicant's letter.

If the Planning Commission finds that the original findings in support of CUP 09-003 can continue to be made, the Planning Commission may extend the time period for the Conditional Use Permit for one-year or up to a maximum of three-years. Minor modifications were made to the conditions of approval (Attachment 2B) that revised the dates to reflect the one-year extension of time and updates to Building and Fire codes.

## **PROJECT DESCRIPTION**

The property has been vacant since the opening of the Walmart Supercenter in Page Ranch in 2001. The original building was constructed in the early 1990's. The building is in the Hemet Towne Center commercial center which has the Regal Cinemas, Chuck E. Cheese restaurant and other retail and food service facilities. The architectural style for the proposed project is contemporary. The existing building will be wrapped with various architectural treatments that will tie in with a new hospital facility proposed for an area that previously contained a garden center for the former Walmart store.

The project involves development of a "medical mall" consisting of the reuse of the 130,266 square feet of the vacant former Walmart building. The existing building will be expanded to the west and the new floor area will total 145,582 square feet. The medical mall will include a variety of medical office uses, a small café, and some retail space. Primary care clinics and doctors offices will be constructed in a new second story comprising 29,772 square feet which will be open during normal business hours.

A completely new 49-bed hospital is proposed to be built immediately adjacent to the existing building. The 87,695 square-foot hospital will be open 24-hours a day, seven days a week. The hospital will be a specialty facility limited to certain procedures such as plastic surgery, orthopedic procedures, heart procedures, etc. No emergency room or general hospital uses are requested. The hospital facility will be constructed in the former garden center and tire service area of the

existing building. The hospital will have a 34,365 square foot second floor with intensive care units, medical/surgical units, administrative space and a pharmacy.

The entire facility will total 233,277 square feet and employ approximately 270 employees. The hospital is expected to employ approximately 150 employees. The medical office facility will employ 120 employees. The first phase of the project will involve remodeling and expanding of the existing building and construction of the "medical mall" and doctor's offices. The second phase will be the construction of the 49-bed hospital facility. Deliveries of supplies will be made at the rear (southern) portion of the building during normal business hours.

The entire project area will have access to 771 parking spaces of which 20 will be handicapped accessible. The site has a reciprocal parking arrangement with the remainder of the commercial center.

### **CEQA REVIEW**

The Planning Commission adopted a Mitigated Negative Declaration (MND) and Mitigation Monitoring Program (MMP) by Resolution No. 09-018 on October 20, 2009 for Conditional Use Permit No. 09-003 and a Notice of Determination was filed in accordance with CEQA requirements on October 22, 2009. There has been no legal challenge brought against the project or the environmental determination. The Planning Director has reviewed the MND & MMP previously approved for the project in light of the applicant's submittal of Extension of Time No. 11-002, and finds that Extension of Time No. 11-002 will not result in an increase in the density or intensity of the project and will not result in project changes that were not previously analyzed under the approved MND & MMP. As such, Extension of Time No. 11-002 and any effects it may have on the environment, fall within the scope of, and were analyzed under the previously approved MND & MMP for the project. Furthermore, based on the Planning Department staff's knowledge of the project and surrounding developments, the Planning Director concludes that there has been no change in circumstances under which the project is being undertaken that would require additional analysis under CEQA. Finally, the Planning Director has not been presented with any information contrary to this conclusion nor any information from which it could be fairly argued that Extension of Time No. 11-002 involves new significant effects on the environment or substantially increases the severity of a previously identified effect. Based thereon, staff recommends the Planning Commission adopt Resolution Bill No. 11-008 and make the findings in accordance with CEQA Guidelines Section 15162.

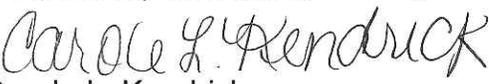
### **PUBLIC COMMUNICATIONS RECEIVED**

At the time of report preparation, the Planning Department has not received any letters of comment from the public. Any comments received prior to the time of the scheduled Planning Commission meeting will be provided to the Commission at the time of the public hearing. Property owners located within a 300 foot radius of the project site were notified of the public hearing on December 6, 2011 with a 10-day hearing notification.

**REPORT SUMMARY**

Extension of Time No. 11-002 for Conditional Use Permit No. 09-003 pertains to a proposed extension of time during which use in reliance can be established. The design proposed by the project conforms to and is consistent with development standards and guidelines provided by the Zoning Ordinance, and the City's Commercial Design Guidelines. For these reasons, the Planning Department recommends approval of a one-year extension of time. The Planning Commission's actions are final unless appealed to the City Council within ten working days.

Respectfully submitted,

  
Carole L. Kendrick  
Assistant Planner

Reviewed By:

  
Emery Papp  
Principal Planner

**ATTACHMENTS**

- 1) Letter of request for a time extension for CUP 09-003 from John Petty of Latham Management dated November 15, 2011
- 2) Planning Commission Resolution Bill No. 11-018 approving EOT 11-002 for CUP 09-003  
Exhibit 2A – Site Plans and Elevations  
Exhibit 2B – Conditions of Approval
- 3) Aerial Photo Exhibit
- 4) Zoning Map

**INCORPORATED HEREIN BY REFERENCE**

City of Hemet General Plan  
City of Hemet General Plan EIR  
City of Hemet Municipal Code Chapter 58  
City of Hemet Zoning Ordinance  
Project Site's Riverside County Integrated Plan Multi-Species Habitat Conservation Plan  
Summary Report  
Contents of City of Hemet Planning Department Project File EOT 11-002 & CUP 09-003

# Attachment

## No. 1

Letter of request for a time  
extension for CUP09-003

Planning Commission  
Meeting of  
December 6, 2011

# Latham Management and Consulting Services, Inc.

6800 Indiana Avenue, Suite 130, Riverside CA 92506

Telephone: (951) 782-8812 ● Facsimile: (951) 782-9950

November 15, 2011

Ms. Carole Kendrick  
Associate Planner, City of Hemet Planning Department  
445 East Florida Avenue  
Hemet, California 92543

Re: C.U.P. No. 09-003 Extension "MediCity" at the former WalMart

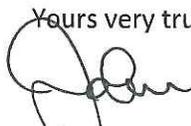
Dear Carole:

Per our prior discussions, and in connection with the application on file, please accept this letter as our formal request to extend the above referenced CUP. The reasons for the request are as follows:

1. Since the initial C.U.P. was approved, Physicians for Healthy Hospitals has acquired the Hemet Hospital facility and the need for the proposed 49 bed acute care speciality hospital component of the approved project is in question. This component was budgeted at approximately \$50,000,000, and may no longer be necessary. Latham Management requires additional time to see how the existing facilities at Hemet Hospital will serve the needs of the San Jacinto Valley patients, before embarking on a new facility with its significant capital requirements.
2. The economic climate in the San Jacinto Valley, as well as the southern California region, gives Latham Management pause in its evaluation of the financial viability of the proposed Medi-City. While we remain optimistic for the long term, we currently believe that the capital costs required to fulfill the "MediCity" vision are too great, and would not produce a sufficient return on investment.
3. We have been exploring other retail oriented alternatives and believe that a large retail user, with complimentary satellite retail and restaurant tenants may be a better fit for this extremely well-located and highly traveled stretch of Florida Avenue.

Given the foregoing, we request the maximum amount of extension permitted by the City of Hemet Code.

Yours very truly,



John D. Petty

JDP: kc

# Attachment No. 2

Planning Commission  
Resolution Bill No. 11-018

Planning Commission  
Meeting of  
December 6, 2011



CITY OF HEMET  
Hemet, California

RESOLUTION BILL NO. 11-018

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA, APPROVING EXTENSION OF TIME NO. 11-002 FOR A ONE-YEAR EXTENSION OF TIME OF CONDITIONAL USE PERMIT NO. 09-003 FOR THE CONVERSION OF AN EXISTING 130,266 SQUARE FOOT RETAIL BUILDING INTO A MEDICAL FACILITY TOTALING 145,582 SQUARE FEET AND THE CONSTRUCTION OF A 49 BED HOSPITAL TOTALING 87,695 SQUARE FOOT, LOCATED AT 2171 WEST FLORIDA AVENUE (APN: 448-450-005).

**WHEREAS**, an application for a one-year extension of the period of time during which use in reliance can be established for Conditional Use Permit No. 09-003 (Medicity) to convert an existing 130,266 square-foot existing commercial structure into a Medicity medical facility totalling 145,582 square feet and for the construction of an 87,695 square foot, 49 bed hospital on an an existing 13.45 acre parcel has been duly filed by:

Owner: Latham Management & Consulting Services, Inc.  
Applicant: John D. Petty  
Project Location: 2171 West Florida Avenue  
Lot Area: 13.45 acre parcel; and

**WHEREAS**, the Planning Commission is authorized to review and approve, conditionally approve, or deny Extension of Time No. 10-002 for Conditional Use Permit No. 09-003 pursuant to Hemet Municipal Code Section 90-42.8 pursuant to Hemet Municipal Code Section 90-42.8; and

**WHEREAS**, the applicant is requesting approval of Extension of Time No. 11-002 for Conditional Use Permit No. 09-003 to convert an existing 130,266 square-foot existing commercial structure into a Medicity medical facility totalling 145,582 square feet and for the construction of an 87,695 square foot, 49 bed hospital pursuant to Hemet Municipal Code Section 90-1455 and the Conditions of Approval for CUP No.

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Planning Commission Resolution No. 11-018  
EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE PERMIT NO. 09-003 –  
MEDICITY

1 09-003. The Planning Commission adopted Resolution No. 09-019 on October 20,  
2 2009; and,  
3

4 **WHEREAS**, on November 25, 2011, the City gave public notice by advertising in  
5 the Press Enterprise and by mailing to property owners within 1,000 feet, of the holding  
6 of a public hearing at which the project would be considered by the Planning  
7 Commission; and  
8

9 **WHEREAS**, on December 6, 2011, the Planning Commission held the noticed  
10 public hearing at which interested persons had an opportunity to testify in support of, or  
11 opposition to, the Conditional Use Permit and at which the Planning Commission  
12 considered the Conditional Use Permit, and  
13

14 **NOW, THEREFORE**, the Planning Commission of the City of Hemet does  
15 Resolve, Determine, Find and Order as follows:  
16

17 **SECTION 1: ENVIRONMENTAL FINDINGS**  
18

19 The Planning Commission, in light of the whole record before it, including but not limited  
20 to, the City's Local CEQA Guidelines and Thresholds of Significance, the  
21 recommendation of the Planning Director as provided in the Staff Report dated  
22 December 6, 2011 and documents incorporated therein by reference, and any other  
23 evidence (within the meaning of Public Resources Code §21080(e) and §21082.2)  
24 within the record or provided at the public hearing of this matter, hereby finds and  
25 determines as follows:  
26

- 27 1. **CEQA:** The Planning Commission adopted a Mitigated Negative Declaration  
28 (MND) and Mitigation Monitoring Program (MMP) by Resolution No. 09-018 on  
29 October 20, 2009 for Conditional Use Permit No. 09-003 and a Notice of  
30 Determination was filed in accordance with CEQA requirements on October 22,  
31 2009. There has been no legal challenge brought against the project or the  
32 environmental determination. The Planning Commission has reviewed the MND  
33 & MMP previously approved for the project in light of the applicant's submittal of  
34 Extension of Time No. 11-002. The Planning Commission finds that Extension of  
35 Time No. 11-002 will not result in an increase in the density or intensity of the  
36 project and will not result in project changes that were not previously analyzed  
37 under the approved MND & MMP. As such, Extension of Time No. 11-002 and  
38 any effects it may have on the environment, fall within the scope of, and were  
39 analyzed under the previously approved MND & MMP for the project.  
40 Furthermore, based on the Planning Department staff's knowledge of the project  
41 and surrounding developments, the Planning Commission concludes that there  
42 has been no change in circumstances under which the project is being  
43 undertaken that would require additional analysis under CEQA. Finally, the  
44 Planning Commission has not been presented with any information contrary to

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**Planning Commission Resolution No. 11-018**  
**EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE PERMIT NO. 09-003 –**  
**MEDICITY**

1 this conclusion nor any information from which it could be fairly argued that  
2 Extension of Time No. 11-002 involves new significant effects on the  
3 environment or substantially increases the severity of a previously identified  
4 effect. Based thereon, the Planning Commission makes the following findings in  
5 accordance with CEQA Guidelines Section 15162:

- 6  
7  
8 A. Extension of Time No. 11-002 does not propose substantial changes to  
9 Conditional Use Permit No. 09-003 that would require major revisions to  
10 the existing MND & MMP; and,  
11  
12 B. No substantial changes have occurred in the circumstances under which  
13 Conditional Use Permit No. 09-003 or Extension of Time No. 11-002 are  
14 being undertaken that would require major revisions to the MND and  
15 MMP; and,  
16  
17 C. No new information has been presented from which it may be fairly argued  
18 that Extension of Time No. 11-002 may involve a new significant  
19 environmental effect or a substantial increase in the severity of previously  
20 identified significant effects, or demonstrated that a mitigation measure  
21 previously found to be infeasible is now feasible.  
22

- 23 2. **Multi-Species Habitat Conservation Plan (MSHCP).** The project continues to  
24 be consistent with the MSHCP. The project is located outside of any MSHCP  
25 criteria area and mitigation is provided through payment of the MSHCP Mitigation  
26 Fee.  
27

## 28 **SECTION 2: REQUIRED CONDITIONAL USE PERMIT FINDINGS**

29  
30 Pursuant to Hemet Municipal Code Section 90-1537(c) and in light of the record before  
31 it including the staff report dated December 6, 2011, and all evidence and testimony  
32 heard at the public hearing of this item, the Planning Commission hereby finds as  
33 follows:  
34

- 35 1. That the proposed location, use and operation of the conditional use remains in  
36 accord with the objectives of Chapter 90 of the Hemet Municipal Code, the  
37 purposes of the zone in which the site is located, continues consistent with the  
38 General Plan and complies with other relevant city regulations, policies and  
39 guidelines.  
40

41 *The project is subject to, and remains consistent with the Development*  
42 *Standards in the C-2 zone. The C-2 zone allows medical facilities and related*  
43 *commercial uses subject to approval of a conditional use permit and meeting the*  
44 *development standards of the C-2 zone. The project proposes a medical facility*  
45 *with medical offices, laboratories, treatment, related retail and services. The*

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**Planning Commission Resolution No. 11-018**  
**EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE PERMIT NO. 09-003 –**  
**MEDICITY**

1 *proposed structures continue to comply with the minimum setbacks from property*  
2 *lines and have a smaller coverage than allowed.*

3  
4 *The proposed project remains in conformance with the General Plan for the City*  
5 *of Hemet. The land use designation for the project site is C (Commercial). The*  
6 *General Plan Concept for commercial districts in the General Plan Community*  
7 *Development Element is for broadly mixed retail and service use related*  
8 *concentrations with a Maximum Land Use Intensity stated as a maximum Lot*  
9 *Coverage of 40 percent. The proposed development would result in a coverage*  
10 *of 28.9 percent and a floor area ratio of 38.9 percent, which continues to be*  
11 *consistent with the General Plan allowance of 40 percent.*

- 12  
13 2. That the proposed location of the conditional use and the conditions under which  
14 it would be operated or maintained will not be detrimental to the public health,  
15 safety or welfare, nor materially injurious to properties or improvements in the  
16 vicinity.

17  
18 *The location of the proposed project continues to comply with development*  
19 *standards, as discussed in the related staff report and attachments that are*  
20 *provided to assure that the project and other properties and improvements in the*  
21 *vicinity are compatible, and that the proposed project is not detrimental to the*  
22 *surrounding community.*

23  
24 *The location of the buildings will not conflict with on-site circulation since the*  
25 *parking spaces and drive aisles meet the minimum standards. Additionally, this*  
26 *project continues to meet the intent of the Commercial Design Guidelines in that*  
27 *the project proposes to provide requisite site planning and architectural elements.*

28  
29 *Site planning design elements provided include grading that directs runoff away*  
30 *from buildings and into drainage facilities; clearly delineated pedestrian walkways*  
31 *with special pavement landscaping and lighting; a strong entry statement into the*  
32 *project using textured pavement and enhanced landscaping; canopy shade trees*  
33 *in parking areas; deciduous trees along the street frontages; and trees located*  
34 *throughout parking areas to shade asphalt and reduce radiated heat-gain.*

35  
36 *Architectural design elements provided include focal points, towers, trellises and*  
37 *plazas; architectural treatments on all elevations; a mixture of one- and two-story*  
38 *heights and profiles; columns; varied rooflines; and durable building materials.*

- 39  
40 3. That the proposed conditional use will comply with each of the applicable  
41 provisions of Chapter 90 of the Hemet Municipal Code and with other relevant  
42 city regulations, policies, and guidelines.  
43

1        *The project remains consistent with the purpose of the C-2 zone which is to*  
2        *provide a wide range of offices, services, retail stores, recreation and transient*  
3        *accommodations. The proposed project will provide medical and medical related*  
4        *retail services and offices to the community at large.*

5  
6        *The proposed structures continue to comply with the minimum setbacks from*  
7        *property lines, are well below the maximum height, and have a smaller coverage*  
8        *than allowed.*

9  
10       *The proposed project remains consistent with the Commercial Design Guidelines*  
11       *in that the project proposes landscaping setback and materials are provided*  
12       *between the project site and the neighboring property to the south. The design of*  
13       *the structures includes treatment on all elevations.*

14  
15       **SECTION 3: PLANNING COMMISSION ACTIONS**

16  
17       The Planning Commission hereby takes the following actions:

- 18  
19       1.       **Approves Extension of Time.** Extension of Time No. 11-002 for a one-year  
20       extension of Conditional Use Permit No. 09-003 is hereby approved as shown in  
21       the development plan, which is attached hereto and incorporated herein by  
22       reference as Exhibit A, and subject to the Conditions of Approval, which are  
23       attached hereto and incorporated herein by reference as Exhibit B.

24  
25       **PASSED, APPROVED AND ADOPTED** this 6<sup>th</sup> day of December 6, 2011, by the  
26       following vote:

27  
28  
29       AYES:

30       NOES:

31       ABSTAIN:

32       ABSENT:

33  
34  
35  
36  
37       \_\_\_\_\_  
38       John Gifford, Chairman  
39       Hemet Planning Commission

40       ATTEST:

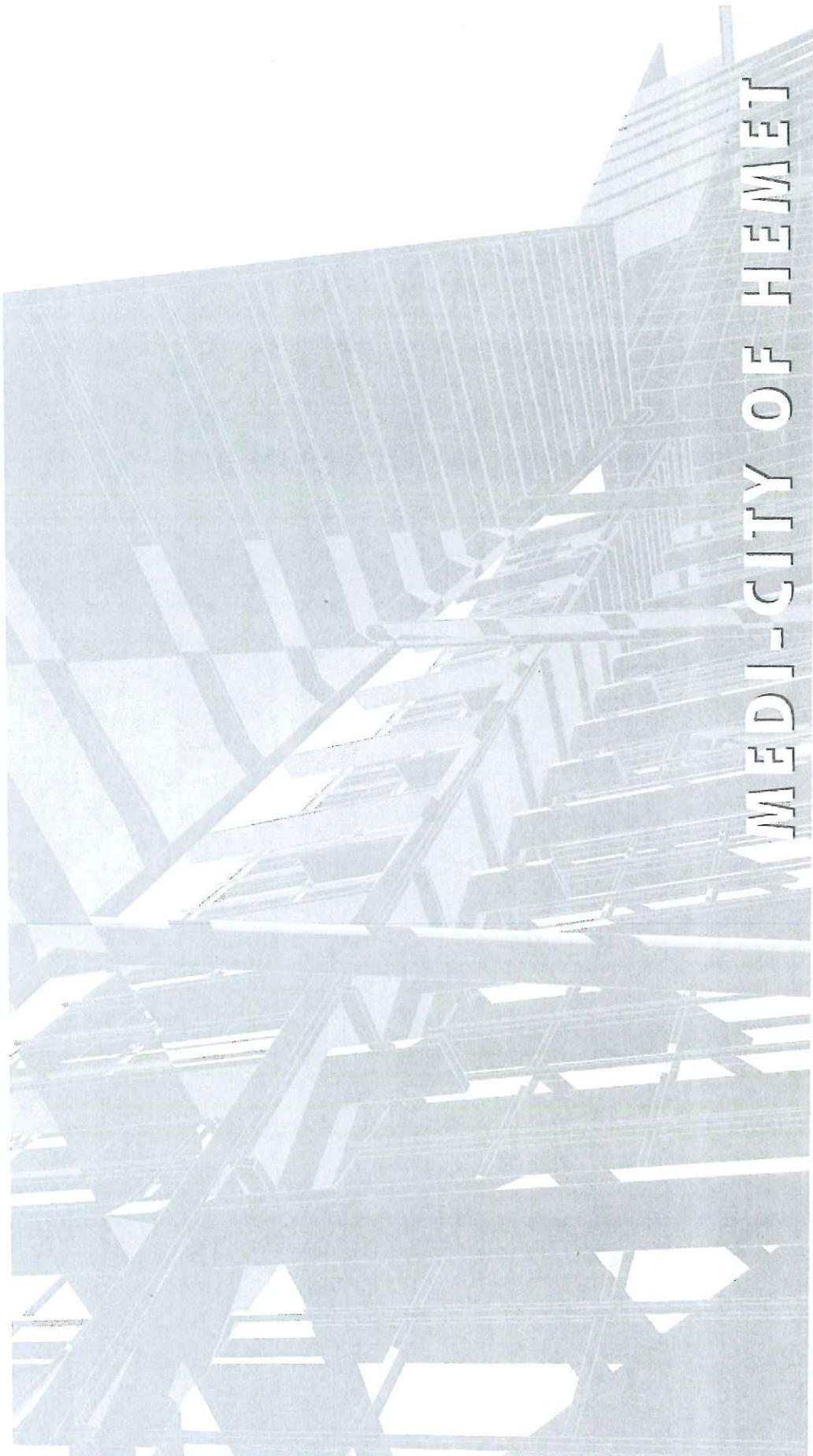
41  
42  
43       \_\_\_\_\_  
44       Nancie Shaw, Records Secretary  
45       Hemet Planning Commission

46  
47       **Planning Commission Resolution No. 11-018**  
48       **EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE PERMIT NO. 09-003 –**  
49       **MEDICITY**

50       Page 5 of 5

**Attachment  
No. 2A  
Site Plan &  
Elevations**

**Planning Commission  
Meeting of  
December 6, 2011**



# MEDI-CITY OF HEMET

**HMC**  
Architects

3400 CONCORD AVENUE, SUITE 200, CALIFORNIA, CA 95015



### LEGEND

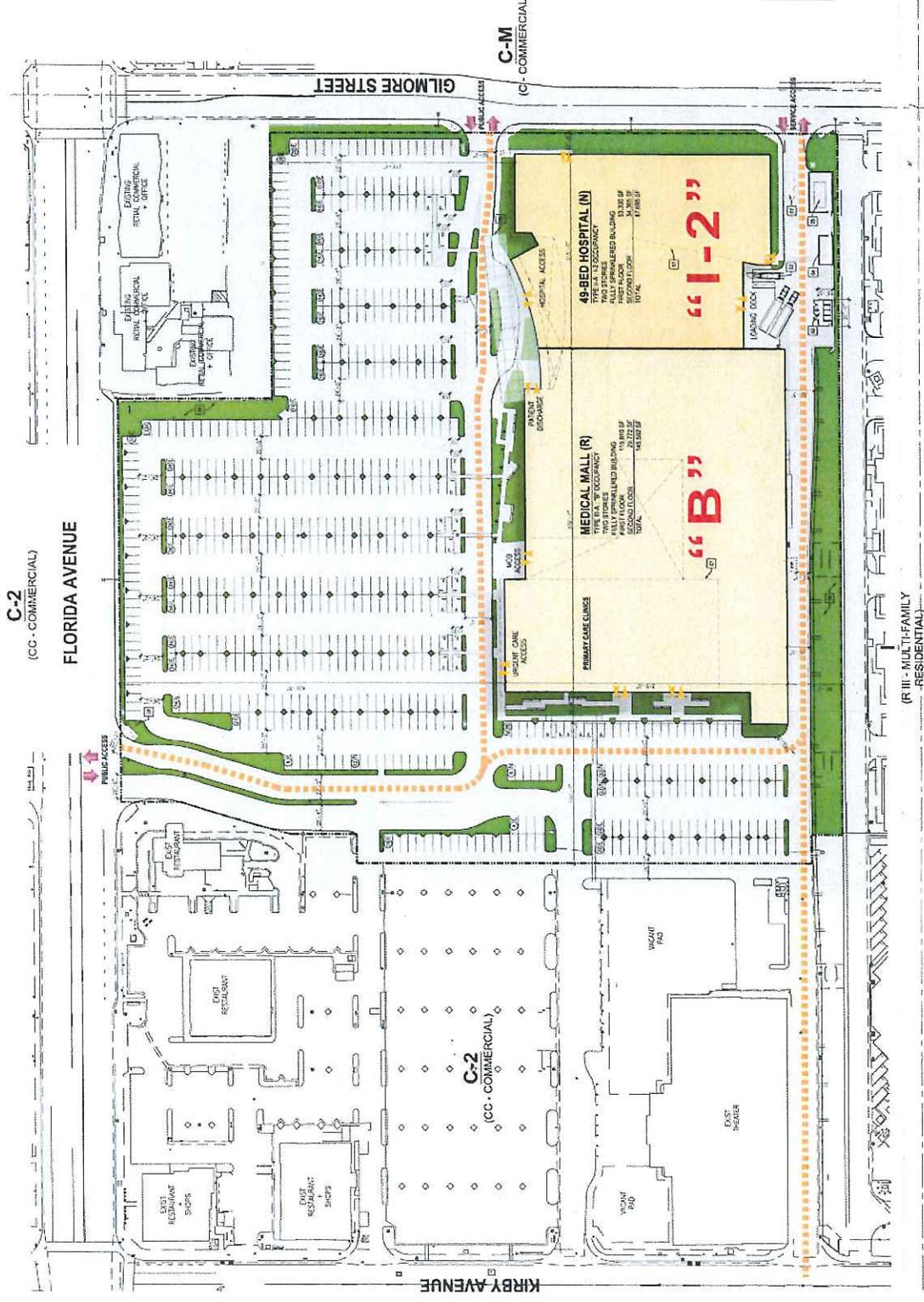
- (N) NEW
- (E) EXISTING
- (R) REIMAGED
- PROPERTY LINE
- FREE LAKE
- GENERAL KEYNOTE
- SITE ENTRANCE LOCATION
- BUILDING ENTRANCE LOCATION
- PARKING COURT
- PERIMETER

### KEYNOTES

- SECOND FLOOR ACCESS
- TRASH ENCLOSURE
- TRASH COMPACTOR
- MEDICAL GAS ENCLOSURE
- EMERGENCY GENERATION - 1500 KVA
- DROP OFF CANOPY
- LOCKER/STORAGE DIESEL FUEL TANK
- EXISTING SIGN TO REMAIN
- EXISTING SIGN TO REMAIN
- EXISTING SIGN TO REMAIN

### PARKING ANALYSIS

M.O.B.	AREA	REQUIREMENT	ACC REQ
AMBULATORY	13,000 SF	1 PER 200 SF = 65	15% = 15
SURGERY CENTER	1,000 SF	0	0
VEHICLE	13,744 SF	1 PER 200 SF = 68.72	20% = 12.5
TOTAL N.C.B.	143,900 SF	699	30
899 TOTAL REQUIRED: 678 STANDARD + 17 ACC. + 2 VAN			
HOSPITAL	48 BEES	REQUIREMENT	ACC REQ
HOSPITAL	48 BEES	1 PER 200 = 40	15% = 5
48 TOTAL REQUIRED: 44 STANDARD + 4 ACC. + 1 VAN			
TOTAL REQUIRED PARKING			
738 TOTAL REQUIRED: 714 STANDARD + 21 ACCESSIBLE + 3 VAN			
TOTAL PROVIDED PARKING			
739 TOTAL PROVIDED: 739 STANDARD + 21 ACCESSIBLE + 3 VAN			



## MEDI-CITY OF HEMET

## PROPOSED SITE PLAN

HMC Architects

3000 COTTONWOOD DRIVE, SUITE 200, HEMET, CA 94541-1174





MEDI-CITY OF HEMET



PROPOSED AERIAL VIEW



3445 COLLEGE STREET, SUITE 200, HEMET, CA 94303





**HMC**  
Architects

2400 CONDUITE STREET, SUITE 200, CALIFORNIA, CA 94504

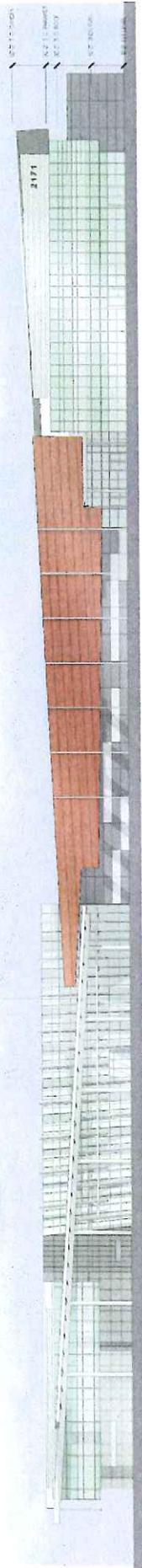
PROPOSED MEDICAL MALL ENTRANCE



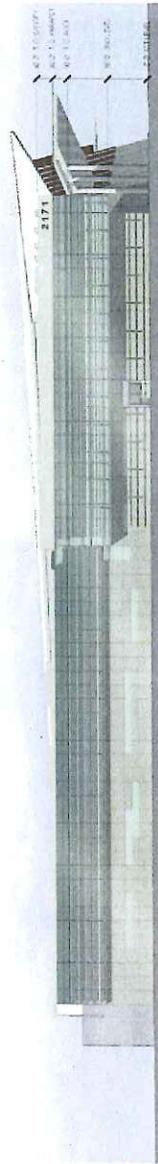
MEDI-CITY OF HEMET



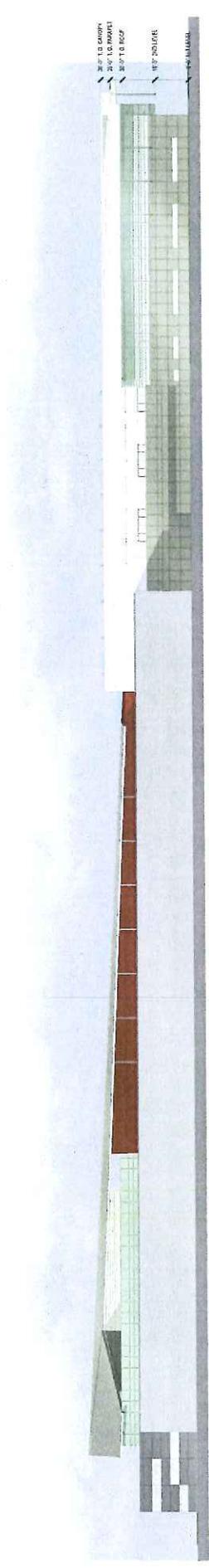
KPC  
GROUP



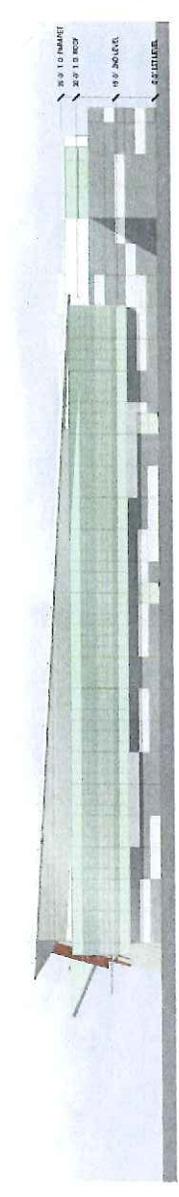
PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION



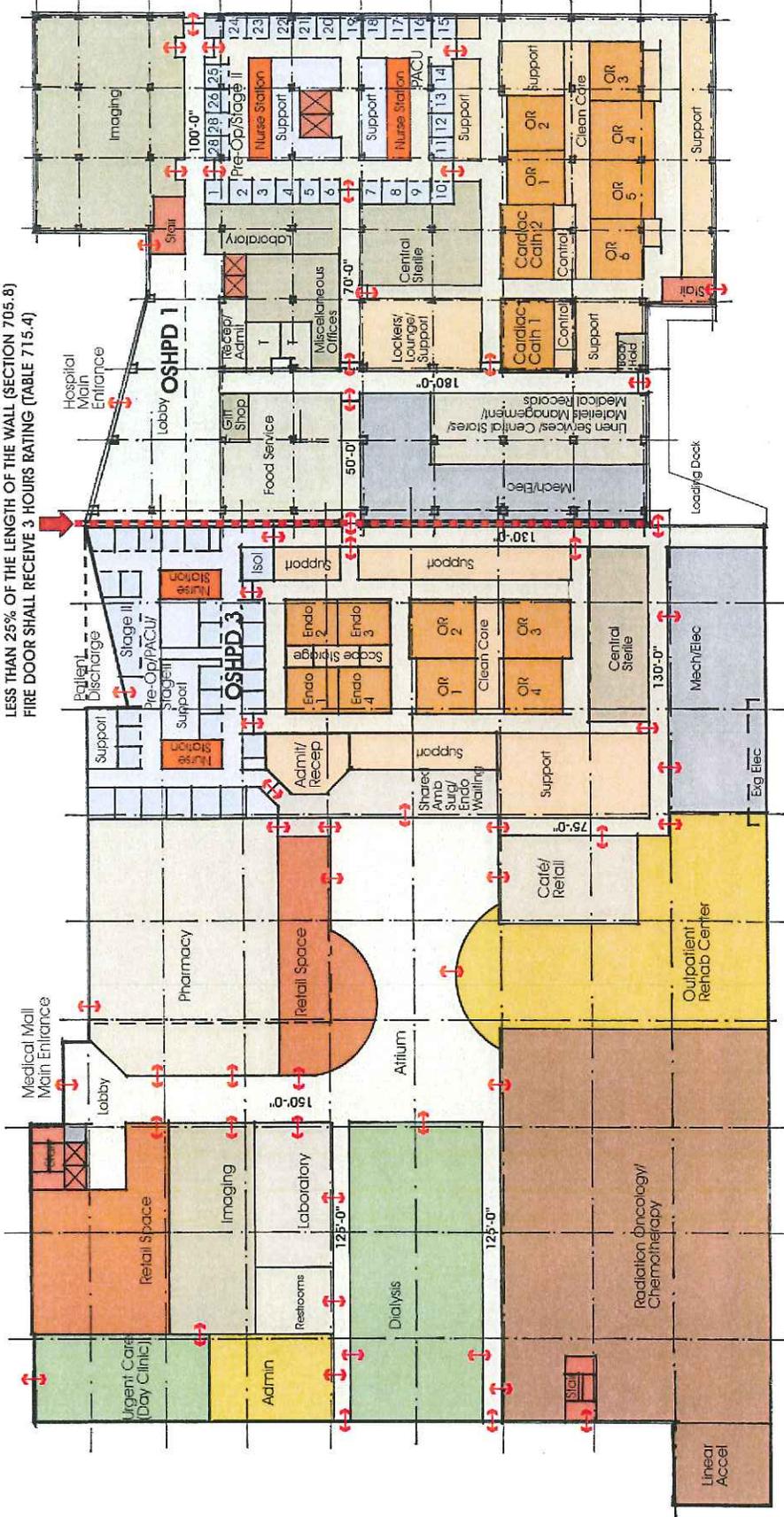
PROPOSED WEST ELEVATION





Department	IN-BED HOSPITAL			Comments	FLOOR DISTRIBUTION			SPACE PROGRAM SUMMARY			
	Dept DOSF New	Dept DOSF Tot	Unit Capacity		1st Floor	2nd Floor	Total	Dept DOSF New	Dept DOSF Tot	New Key Drivers	Space Program Summary Comments
<b>Patient Care Areas</b>											
Nursing Units	15,500	22,200	500	11,300 patient days		22,200	22,200	15,414	23,207	37	
Intensive Care Unit	7,200	8,640	600	3,750 patient days		8,640	8,640	7,727	9,272	12	
<b>Diagnostics and Treatment Areas</b>											
Imaging	1,600	2,100	900	10,000 scans	Digital	2,100	2,100	6,006	8,035	5	
Rad RIF	900	1,080	900	1,700 scans		1,080	1,080				
Nuclear Medicine	1,400	1,680	1,400	2,700 scans		1,680	1,680				
CT Scan	3,000	2,400	2,000	1,400 scans		2,400	2,400	3,038	3,646	2	
MRI	4,000	4,800	2,000	2,100 scans	8 hold inc in Pre-Op	4,800	4,800	12,330	14,796	6	Includes Cardiac Cath Recovery
Cardiac Cath	12,000	14,400	2,000	3,400 procedures	9+12+6+27 min	14,400	14,400	7,632	9,158	27	
Surgery	2,475	2,870	275			2,870	2,870				
Pre-Op/Recovery	3,300	3,660	275			3,660	3,660				
PACU											
Pre-Op/Stage II											
<b>Clinical Support Areas</b>											
Pharmacy	583	706	12			706	706	568	706		
Laboratory	960	1,176	20	49 per bed	1,176	1,176	1,176	883	1,165		
Respiratory Therapy	245	294	5	49 per bed		294	294	288	346		
Body Holding	160	216	1	49 per bed	216		216	140	168		
<b>Non-Clinical Support Areas</b>											
Cooking Services	1,980	2,352	40	49 per bed	2,352		2,352	2,202	2,642		
Central Sterile Services	1,500	1,800	250	6 per OR	1,800		1,800	1,524	1,820		
Central Supply	490	588	10	49 per bed	588		588	672	806		
Nurses Management	735	882	15	49 per bed	882		882	742	890		
Laundry/Linen Services	343	412	7	49 per bed	412		412	384	461		
Mechanical/Electrical	3,675	4,410	75	49 per bed	4,410		4,410	3,600	4,320		
Loading Dock	490	588	10	49 per bed	588		588	200	240		
<b>Administrative Support Areas</b>											
Administrative/HR	4,900	5,880	100	49 per bed	5,880		5,880	2,590	3,405		
Lobby	4,410	5,292	60	49 per bed	5,292		5,292	2,038	2,622		
Waiting	1,260	1,512	20	49 per bed	1,512		1,512	975	1,170		
Office	245	294	5	49 per bed	294		294	250	300		
Medical Records	490	588	10	49 per bed	588		588	593	711		
	75,806	90,807	BGSF		53,248	37,720	90,967	75,783	90,940		
			1,656	SF/bed	55,760	34,365	90,125				
<b>MEDICAL OFFICE BUILDING</b>											
Primary Care Clinic	24,960	29,952	520	103,000 visits		29,952	29,952	24,839	29,806	48	
<b>Primary Care Clinics</b>											
Medical Mall	10,400	12,480	2,600	4,200 procedures		12,480	12,480	9,856	11,827	4	
Ambulatory Surgery Center	5,400	6,480	300	3,000 procedures		6,480	6,480	9,384	11,237	28	Includes GI Holding
Pre-Op/PACU/Stage II	1,800	2,160	1,800	9,000 visits		2,160	2,160	1,620	1,944	4	
GI/Endoscopy	1,800	2,160	1,800	9,000 visits		2,160	2,160	1,620	1,944	4	
Uterine Sare Services	2,520	3,024	630	9,000 visits		3,024	3,024	2,549	3,059	12	
Uterine Center	6,720	8,064	560	5,800 procedures		8,064	8,064	6,576	7,891	12	
Outpatient Rehab Center	7,800	9,360	650	4,200 procedures		9,360	9,360	7,769	9,323	1	
Cancer Center: Radiation Therapy	8,000	9,600	800	4,200 procedures		9,600	9,600	8,006	9,607	1	
Cancer Center: Chemotherapy	12,000	14,400	500	9,600 visits		14,400	14,400	12,072	14,468	18	
Cancer Center: Radiation Therapy	3,000	3,600	1,500	3,100 scans	RF, Mammo	3,600	3,600	3,154	3,785	2	
Imaging	1,895	2,274	15			2,274	2,274	1,892	2,280		
Laboratory	8,310	11,172	70			11,172	11,172	9,600	11,852		
Outpatient Pharmacy	2,128	2,554	16			2,554	2,554	2,106	2,527		
Cafe	6,000	7,200				7,200	7,200	6,068	7,200		
Retail Spaces											
<b>Support Areas</b>											
Lobby/Plaza Spaces	5,700	6,840	130			6,840	6,840	5,466	6,553		
Administration	1,680	2,016	35			2,016	2,016	1,788	2,145		
Administrative/Technical/Electrical	4,256	5,107	32			5,107	5,107	4,200	5,040		
Loading Dock	532	639	4			639	639	500	600		
	121,661	145,863	BGSF		116,041	28,652	144,693	121,847	146,217		
			145,863	Available SF	176,910	29,772	146,682				

BUILDINGS SEPARATED BY FIRE WALL (SECTION 705.1)  
 FIRE WALL SHALL HAVE A FIRE-RESISTANCE RATING 3 HOURS (TABLE 705.4)  
 OPENING THRU FIRE WALL SHALL NOT EXCEED 120 S.F. AND  
 LESS THAN 25% OF THE LENGTH OF THE WALL (SECTION 705.8)  
 FIRE DOOR SHALL RECEIVE 3 HOURS RATING (TABLE 715.4)



OWNER'S RESPONSIBILITY TO OBTAIN DIFFERED APPROVAL, LICENSING, AND INSPECTION FOR OCCUPANCY UNDER OSHPD JURISDICTION.



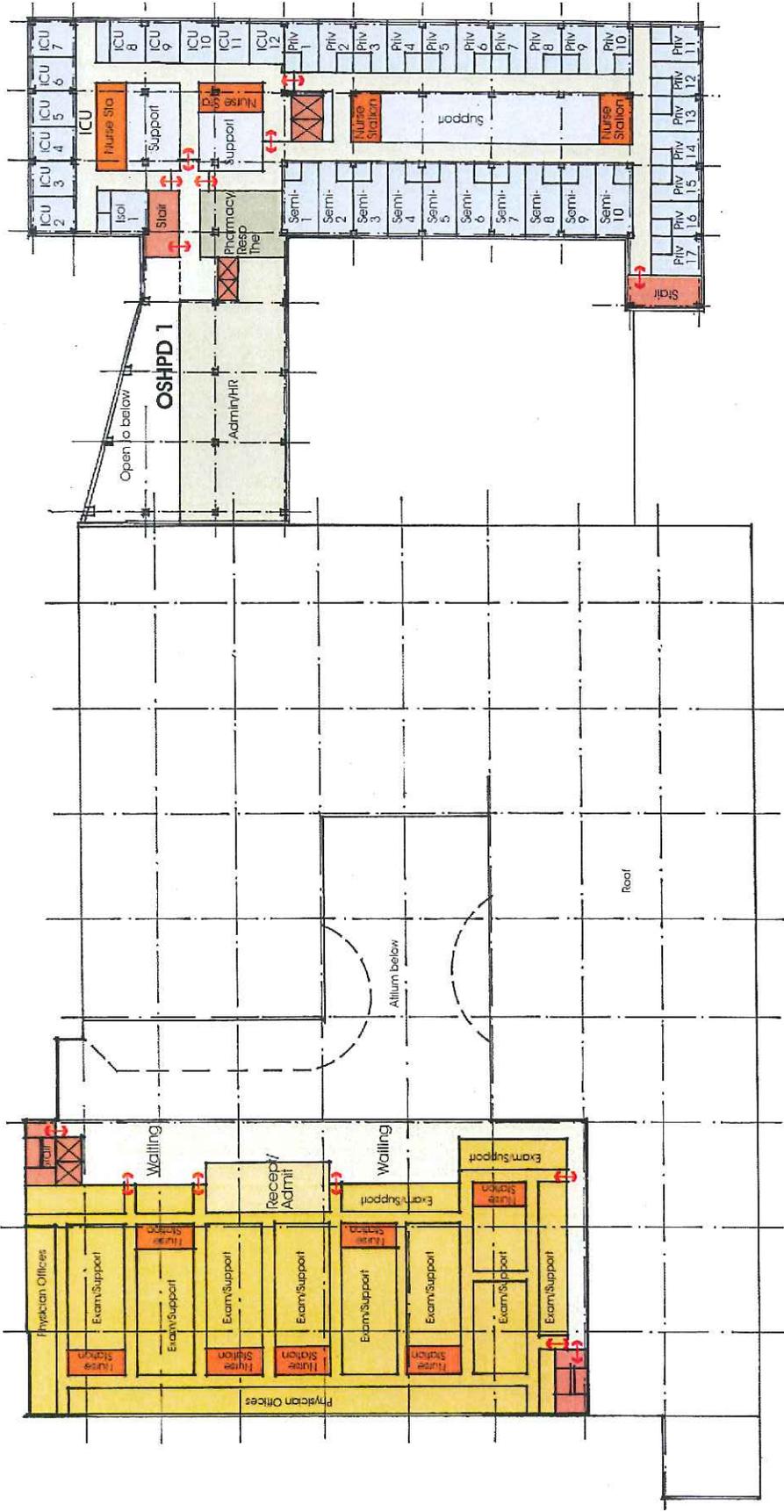
MEDI-CITY OF HEMET



PROPOSED 1ST LEVEL FLOOR PLAN



2014 CONSULTING ENGINEERS ARCHITECTS AND PLANNERS



OWNER'S RESPONSIBILITY TO OBTAIN DIFFERED APPROVAL, LICENSING, AND INSPECTION FOR OCCUPANCY UNDER OSHPD JURISDICTION.



**ATRIUM PLANT LEGEND**

PLANT	IRRIGATION SYSTEM	CENTRAL EQUIPMENT
1	Zone 1	Zone 1
2	Zone 2	Zone 2
3	Zone 3	Zone 3
4	Zone 4	Zone 4
5	Zone 5	Zone 5
6	Zone 6	Zone 6
7	Zone 7	Zone 7
8	Zone 8	Zone 8
9	Zone 9	Zone 9
10	Zone 10	Zone 10
11	Zone 11	Zone 11
12	Zone 12	Zone 12
13	Zone 13	Zone 13
14	Zone 14	Zone 14
15	Zone 15	Zone 15
16	Zone 16	Zone 16
17	Zone 17	Zone 17
18	Zone 18	Zone 18
19	Zone 19	Zone 19
20	Zone 20	Zone 20
21	Zone 21	Zone 21
22	Zone 22	Zone 22
23	Zone 23	Zone 23
24	Zone 24	Zone 24
25	Zone 25	Zone 25
26	Zone 26	Zone 26
27	Zone 27	Zone 27
28	Zone 28	Zone 28
29	Zone 29	Zone 29
30	Zone 30	Zone 30
31	Zone 31	Zone 31
32	Zone 32	Zone 32
33	Zone 33	Zone 33
34	Zone 34	Zone 34
35	Zone 35	Zone 35
36	Zone 36	Zone 36
37	Zone 37	Zone 37
38	Zone 38	Zone 38
39	Zone 39	Zone 39
40	Zone 40	Zone 40
41	Zone 41	Zone 41
42	Zone 42	Zone 42
43	Zone 43	Zone 43
44	Zone 44	Zone 44
45	Zone 45	Zone 45
46	Zone 46	Zone 46
47	Zone 47	Zone 47
48	Zone 48	Zone 48
49	Zone 49	Zone 49
50	Zone 50	Zone 50

**EXISTING HARDSCAPE / EASEMENTS**

EXISTING HARDSCAPE / EASEMENT
CHAIN LINK FENCE
CENTER LINE
CONCRETE BLOCK WALL
LOT LINE
GUARD POST
LIGHT STANDARD

1. AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF SOUTHERN CALIFORNIA Edison COMPANY CORPORATION, IN INSTRUMENT RECORDED AUGUST 13, 1992 AS INSTRUMENT NO. 301808 OF OFFICIAL RECORDS.
2. PROPOSED COLORED CONCRETE
3. SPLIT FACE CMU PLANTER WALL
4. CONCRETE BENCH

**IRRIGATION STATEMENT**

THE PROPOSED IRRIGATION PLAN FOR THIS PROJECT, MEANT INSTALLED IN HEMET, WILL COMPLY WITH CITY REQUIREMENTS FOR LONG TERM WATER CONSERVATION. THIS WILL BE ACCOMPLISHED BY INSTALLING WEATHER BASED AUTOMATIC IRRIGATION CONTROLLERS COMBINED WITH A RAIN SENSOR, FLOW SENSOR, AND SOIL MOISTURE SENSING DEVICES. PLANTS WILL BE GROUPED INTO AREAS BY THEIR RELATION TO MOISTURE CONTROL ZONES BASED ON SIMILARITY OF WATER REQUIREMENTS. SEPARATE VALVES WILL BE PROVIDED FOR SEPARATE HYDROZONES. DRIP IRRIGATION WILL BE APPLIED TO ALL SHRUB AREAS. ALL IRRIGATION SYSTEMS WILL BE INSTALLED WITH EFFICIENCY ISOLATION VALVES WILL BE INSTALLED STRATEGICALLY TO ALLOW FOR MORE EFFICIENT SYSTEM MAINTENANCE.

**Attachment  
No. 2B  
Conditions of  
Approval**

**Planning Commission  
Meeting of  
December 6, 2011**



CITY OF HEMET

**DRAFT**  
CONDITIONS OF APPROVAL

**PLANNING COMMISSION DATE  
FOR EXTENSION OF TIME NO. 11-002:**

**DECEMBER 6, 2011**

**ORIGINAL PLANNING COMMISSION DATE  
FOR CONDITIONAL USE PERMIT NO. 09-003:**

**OCTOBER 20, 2009**

**PROJECT NO.:** EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE  
PERMIT NO. 09-003

**APPLICANT:** Latham Management & Consulting

**AGENT:** John D. Petty

**LOCATION:** 2171 W. Florida Avenue

**OCCUPANCY:** This project has been reviewed as a **I-2/B** Occupancy for a 49-bed hospital facility and associated medical offices and related retail space; any other use will require further review.

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

**STANDARD CONDITIONS**

The following conditions of approval were approved by the City Council as standard conditions of approval for all projects. Questions regarding compliance with these conditions should be directed to the Planning Department at (951) 765-2375.

**General Requirements:**

1. Pursuant to **EXTENSION OF TIME NO. 11-002, CONDITIONAL USE PERMIT NO. 09-003** shall become null and void on **October 20, 2012**, unless use in reliance on the approved Conditional Use Permit is established prior to the expiration date. No formal notice of expiration will be given by the City.
2. Approval of **Conditional Use Permit No. 09-003** shall become effective on **October 20, 2009**. Approval of **EXTENSION OF TIME NO. 11-002** for Conditional Use Permit No. 09-003 shall become effective on December 17,

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City of Hemet - Conditions of Approval - Draft   
**EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE PERMIT NO. 09-003 –  
MEDICITY**

2011 (10 calendar days after action by the Planning Commission) unless appealed to the City Council by **December 16, 2011**.

3. This project site shall be developed in accordance with the approved plan(s) and the conditions contained herein.
4. This project shall comply with all sections of the Zoning Ordinance, Subdivision Ordinance and all other applicable Local, State and Federal laws and regulations in effect at the time of the building permit application and/or time of recordation, including the California Building Code, California Fire Code, and City and State Handicapped Accessibility Requirements (California Code of Regulations, Title 24).
5. The applicant shall be subject to all applicable development fees at the rate in effect at the time of building permit application. Such fees may include, but not be limited to: Park Fees, School Fees, Master Plan Storm Drainage Fees, Permit and Plan Checking Fees, Water and Sewer Service Fees, and Capital Facility Fees.
6. The applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in defense of the Action. (*City Council Resolution No. 3693, 12-17-02*)
7. Construction activity shall meet the requirements of the Hemet Municipal Code Chapter 30, Article II.

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**City of Hemet - Conditions of Approval - Draft**   
**EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE PERMIT NO. 09-003 –  
MEDICITY**

8. Parking lot lighting and public common area lighting shall be low pressure sodium and shall be shielded or designed to direct the lighting downward. All lighting shall be adjusted so that all lighting is contained within the boundaries of the site.

**Mechanical Equipment:**

9. All electrical and mechanical equipment, including but not limited to, air-conditioning units, electrical boxes, transformers, backflow preventers, and roof-mounted equipment shall be visually screened from public view. Screening shall be in accordance with city standards, to the satisfaction of the Planning Department and in compliance with the Building Code.

**Grading:**

10. Prior to any grading or drainage activity, a grading and/or drainage plan shall be prepared and submitted to the City Engineer for review and approval. No grading or drainage work shall occur without a grading permit and/or the permission of the City Engineer.

**PLANNING DEPARTMENT CONDITIONS**

The following conditions of approval are project specific and were recommended by the Planning Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Planning Department at (951) 765-2375.

**General:**

11. The Planning Director shall have the authority to adjust up to 10% of the development plans in the event changes occur to the building or site. The request will need to be in writing from the developer and shall be in compliance with City codes and Commercial Design Guidelines.
12. The building plans submitted for plan check shall include the location of all parking lot lighting and lighting standard specifications.

**Landscaping:**

13. Prior to grading for phase one of the development, the developer shall submit to the Planning Department and Public Works Department a detailed landscape and irrigation plan with automatic irrigation for landscaping on-site and for public areas, consistent with the project site plan. The plans shall be prepared on the approved grading plans and shall indicate the botanical and common names.

14. Prior to issuance of a Certificate of Occupancy or finalization of the Building Permit, landscaped areas shall have an irrigation system, with automatic timers, installed and operational unless cash or bond is posted to guarantee completion.
15. As part of the landscaping plan submittal, show all existing on-site mature trees; trees which are located in any area proposed for buildings and/or vehicular access need not be indicated. The applicant shall minimize the removal of mature trees, where possible. A mature tree shall be defined as a tree with a trunk measuring 4-inches in diameter, 4-feet from existing ground level. Mature trees removed shall be replaced by planting replacement trees at a ratio of 1:1 and a size of not less than 24-inch box.
16. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash, disease, vermin, and debris. Should the replacement of any landscaping be necessary, it shall be completed within 15 days of removal.
17. All graded slopes, equal to or greater than 3-feet in vertical height, and/or on slopes graded to a 2:1 or a greater ratio shall be planted with ground cover at a minimum spacing of 12-inches on-center to prevent erosion. A permanent irrigation system shall be installed for non-native vegetation. Irrigation shall not be required for slopes equal to or less than 3-feet in vertical height.
18. Applicant shall clean, trim and restore landscaping in the rear detention basins of the project site. ~~Additionally a five foot high minimum wrought iron fence shall be installed to protect intrusion in the detention area.~~ Applicant shall repair and replace where appropriate the chain link fencing securing the detention basin area. **[Modified at the 10/20/09 PC meeting.]**
19. Applicant shall revise the landscape plan to provide an alternative shrub specie along the Florida Avenue right-of-way that will provide a screen of a minimum 36" height.
20. This project shall comply with the landscape design requirements outlined in the City's Commercial Design Guidelines approved by the City Council on August 12, 2003 (CC Resolution No. 3744).
21. This project shall be subject to all the requirements listed in the Water Efficiency Landscaping Ordinance (Ordinance No. 1784, adopted by City Council on April 13, 2010).

**Signage:**

22. Signing is not approved as part of this Project. Signing, in accordance with the Zoning Ordinance, may be approved at a later time under a separate permit.

23. The sign program has not been submitted. A formal sign program shall be submitted to the City of Hemet's Planning Department's Commission for review and approval. Once the sign program is approved, all signs shall be designed per the standards of the approved sign program. **[Modified at the 10/20/09 PC meeting.]**

**Site Plan:**

24. Applicant shall modify the site plan to provide direct handicapped parking adjacent to major project entrances.
25. Applicant shall modify the site plan to provide pedestrian pathways per Alternative 2 as presented at the Planning Commission meeting towards the Florida Avenue and Kirby Avenue rights-of-way and the remainder of the commercial center to the west. **[Modified at the 10/20/09 PC meeting.]**

**Airport Land Use:**

26. Refuse containers at the project site shall be covered to prohibit attracting any wildlife to the project site.
27. Any use which would direct a steady light of red, white, green or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at the Hemet-Ryan Airport shall be prohibited. [Mitigation VII-4.1]
28. Any use which would cause sunlight to be reflected toward an aircraft engaged in initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at the Hemet-Ryan Airport shall be prohibited. [Mitigation VII-4.2]
29. Any use which would generate smoke or vapor or which could attract large concentrations of birds, or which may otherwise affect safe air navigation within the area shall be prohibited. [Mitigation VII-4.3]
30. Any use which would generate electrical interference that may be detrimental to the operation of aircraft instrumentation shall be prohibited. [Mitigation VII-4.4]
31. Prior to the issuance of building permits, the landowner shall provide evidence of recorded Avigation Easements covering the entire parcels proposed for development to the County of Riverside as owner-operator of Hemet-Ryan Airport. (Contact the Riverside County Economic Development Agency – Aviation Division for further information). The Avigation Easement shall be filed

with the Riverside County Clerk. Evidence of the filing will be submitted to the City of Hemet. [Mitigation VII-2]

32. A "Notice of Airport in Vicinity" shall be distributed to all who intend to work at the project site. The Notice should also be distributed within the disclosure section of the purchase agreement or lease agreement [Mitigation VII-2]:

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibrations, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Profession Code 11010 12 (A)

33. Any outdoor lighting installed shall be hooded and shielded to prevent either the spillage of lumens or reflection into the sky. All lighting plans shall be downward facing. [Mitigation VII-5]
34. The project applicant shall complete the Federal Aviation Administration Form 7460 and provide documentation to the City of Hemet that the form was submitted. Refer to <http://forms.faa.gov/forms/faa7460-1.pdg> for more information.

**Environmental Conditions:**

35. During construction apply soil stabilizers to inactive areas. [Mitigation III-1].
36. Prepare a high wind dust control plan and implement plan elements and terminate soil disturbance when winds exceed 25 m.p.h. [Mitigation III-2].
37. Stabilize previously disturbed areas if subsequent construction is delayed. [Mitigation III-3].
38. Water exposed surfaces 3 times/day. [Mitigation III-4].
39. Cover all stockpiles with tarps. [Mitigation III-5].
40. Replace ground cover in disturbed areas as soon as feasible. [Mitigation III-6].
41. Require 90-day low NOx tune-ups for off-road equipment. [Mitigation III-7].

42. Limit allowable idling to 5 minutes for trucks and heavy equipment. [Mitigation III-8].
43. Utilize equipment whose engines are equipped with diesel oxidation catalysts if available. [Mitigation III-9]
44. Utilize diesel particulate filter on heavy equipment where feasible. [Mitigation III-10].
45. Use low VOC coatings and high pressure-low volume paint sprayers. [Mitigation III-11].
46. Aqueous diesel fuel shall be used by construction equipment. [Mitigation III-12].
47. Where applicable or available, construction equipment shall use cooled exhaust gas recirculation (EGR), ACERT or a similar technology (EAP Tier 3 Emission Standards. [Mitigation III-13].
48. The construction contractor will utilize electric or natural gas powered equipment in lieu of gasoline or diesel powered engines, where feasible and where economically competitive. [Mitigation III-14]
49. All construction activities shall comply with the latest version of SCQMD Rule 403. [Mitigation III-15]
50. Architectural coatings shall emit a maximum of .00074 grams of solvent per square foot of applicable area. [Mitigation III-16]
51. During construction, should any archaeological artifacts be discovered, the Planning Department shall be notified immediately, and all work shall cease until a qualified archaeologist, approved by the Planning Department and financed by the applicant, has examined the artifacts and the site and submitted findings and recommendations directly to the Planning Department. Any further release of the information to any and all parties shall be only at the direction of the Planning Department. Recommencement of construction shall be upon approval of the Planning Department.
52. If cultural resources are discovered during project construction, all work in the area of the find shall cease, and a qualified archaeologist shall be retained by the project sponsor to investigate the find, and to make recommendations on its disposition. If human remains are encountered during construction, all work shall cease and the Riverside County Coroner's Office shall be contacted pursuant to procedures set forth in Section 7050.5 of the Health and Safety Code. [Mitigation V-1]

53. Any discoveries of Native American human remains will be addressed under procedures consistent with Public Resources Code Sec. 5097.98 et. al. In case of the discovery of archaeological resources, the City policy is to contact the Pechanga and Soboba Band of Lusieno Indians directly and is implemented, measure V-2 will be implemented. [Mitigation V-1]
54. If human remains are encountered, the Pechanga and Soboba Bands of Lusieno Indians will also be notified and afforded an opportunity to participate in the evaluation and recovery of any human remains. [Mitigation V-2]
55. If an accidental release of hazardous material occurs during construction or operations, the site manager will notify the City or County Fire Department Hazardous Materials Division; immediately initiate containment of the accidentally released hazardous or toxic material; collect and remove the material from the accident site; remediate the area contaminated with the material to a level that meets the maximum containment level allowed at the same time of the spill; and transport and dispose of the contaminated material at an appropriately licensed disposal site or recycling facility. [Mitigation VII-1]
56. Construction activities from project development may affect the nearest off-site residential uses. This can be mitigated by required compliance with grading/construction permits. Compliance with City of Hemet Noise Standards requires that [Mitigation XII-1]:
- Construction activities are limited to the hours of:
- June through September
- Weekdays: 6:00 a.m. to 6:00 p.m.  
Saturdays: 7:00 a.m. to 6:00 p.m.  
Sundays: No work
- October through May
- Weekdays: 7:00 a.m. to 6:00 p.m.  
Saturdays: 7:00 a.m. to 6:00 p.m.  
Sundays: No work
57. All construction equipment shall use properly operating mufflers. [Mitigation XI-2]
58. Because 6 a.m. construction activities during the summer in close proximity to existing residential areas could be perceived noise nuisance the following limits are required [Mitigation XI-3]:
- Monday through Friday 7:00 a.m. to 6:00 p.m.  
Saturday 8:00 a.m. to 6:00 p.m.  
Sunday No work

59. Truck deliveries to the loading dock area will be limited to after 7:00 a.m. to 8:00 p.m. [Mitigation XI-4]
60. The applicant shall establish a noise complaint response program and shall respond to any noise complaints received for this project by measuring noise levels at the affected receptor site. If the noise level exceeds the City's thresholds at the nearest residential receptor, the applicant will implement adequate measures (which may include portable sound attenuation walls, use of quieter equipment, shift of construction schedule to avoid the presence of sensitive receptors, etc. to reduce noise levels to the greatest extent feasible. [Mitigation VI-5]
61. The emergency generator shall not be tested between the hours of 10:00 p.m. to 7:00 a.m. in order to not exceed the nocturnal residential noise standard of 45 dB Leq at the nearest off-site sensitive residence. [Mitigation XII-5]
62. The project shall pay its fair-share contribution to circulation improvements based on percentage of utilization as show on Table 12-1 of the approved traffic study. Fair share may be paid through transportation fees, development impact fees, or other method acceptable to the City. [Mitigation XV-1]
63. The project shall construct the on-site circulation system in accordance with the detailed site plan. The developer shall install stop signs, stop bars, and stop legends at project access points, Florida Avenue (SR-74), Kirby Street, and Gilmore Street. The north project access on Project Driveway 1 and Florida Avenue will be restricted to right turns in/out only unless a traffic signal is installed. [Mitigation XV-2]

## **BUILDING DEPARTMENT CONDITIONS**

The following conditions of approval are project specific and were recommended by the Building Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Building Department at (951) 765-2475.

### **Building Code Requirements:**

64. As part of the plans for plan check, a detailed structural analysis, in compliance with Chapter 16 of the California Building Code for the building's intended use, shall be provided.
65. The electrical, plumbing and mechanical systems shall be upgraded in accordance with applicable adopted codes.

66. Existing building(s) shall be brought into conformance with current building and zoning regulations for the intended new use of the building(s) or the existing buildings(s) shall be demolished.
67. As part of the construction project, the existing roof coverings shall be removed and the structure shall be re-roofed with an approved roof covering or provide documentation that existing roof is at least Class "A".

**Setbacks and Openings:**

68. Provide an exiting plan with occupants loads.
69. Modify allowable floor area calculations prior to Building plan check and specify type of construction to IIIA per Table 503 California Building Code.
70. Allowable floor area calculations to comply with California Building Code.

**Handicap Requirements:**

71. This project is subject to State handicapped Accessibility Requirements. (California Code of Regulations, Title 24).
72. Handicapped restrooms shall be installed in accordance with California Code of Regulations, Title 24/California Building Code, Section 1115(b).
73. Handicap parking and signage shall be installed in compliance with applicable state and city codes for off-street parking per California Code of Regulations, Title 24/California Building Code, Section 1129(b).
74. All entrances and exits shall be handicapped accessible per California Code of Regulations, Title 24.
75. A handicapped accessible pedestrian access to the site shall be provided.
76. At least one accessible route shall be provided from public transportation stops, accessible parking and accessible loading zones and public streets or sidewalks to the accessible building entrance they serve. At least one accessible route shall connect accessible buildings and facilities.
77. When more than one building or facility is located, accessible routes of travel complying with Section 1114.B.1.2 shall be provided between buildings and accessible site facilities. The accessible route of travel shall be the most practical direct route between accessible buildings entrances, accessible site facilities and accessible building entrance to the site. CBC 1127.B.1.

78. In buildings with multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located closest to the accessible entrances. CBC 1129.B.1. Applicant shall revise site plan accordingly.
79. Show elements for compliances of path of travel. Provide the following:
- |    |                              |                |
|----|------------------------------|----------------|
| A) | Dimensions of parking spaces | CBC 1129 B.3   |
| B) | Location of path of travel   | CBC 1129 B.1   |
| C) | Curb ramps, if applicable    | CBC 1127 B.5   |
| D) | Detectable warnings          | CBC 1127 B.5   |
| E) | Zero curb face requirements  | CBC 1133 B.8.5 |

**Agency Approvals:**

80. Prior to the issuance of a building permit, Riverside County Environmental Health Department approval shall be obtained.
81. Prior to issuance of a building permit, Eastern Municipal Water District approval shall be obtained.

**General:**

82. Utilities shall be underground.

**ENGINEERING DEPARTMENT**

The following conditions of approval are project specific and were recommended by the Engineering Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Public Works - Engineering Department at (951) 765-2360.

**General:**

83. The applicant shall coordinate with affected utility companies and obtain any permits as necessary for the development of this project.
84. Easement(s) of record not shown on the site plan shall be relinquished or relocated. Lots affected by proposed easements or easements of record, which cannot be relinquished or relocated shall be redesigned.
85. Where survey monuments exist, such monuments shall be protected or shall be referenced and reset, pursuant to Business and Professions Code, Sections 8700 to 8805 (Land Surveyors Act).

86. Prior to any lane closure or detour, the Applicant shall submit a Construction Traffic Management Plan, for review and approval by the City Engineer. The plan shall include, but not limited to, signing, truck routes, and dirt hauling hours.

**Streets:**

Florida Avenue

87. The City Engineer shall determine whether Work along Florida Avenue shall be performed at night to prevent inconveniences due to the necessary traffic control measures. Applicant shall be responsible of the overtime charges for inspection by the City of Hemet and Caltrans. An encroachment permit shall be obtained from Caltrans for any work to be done on Florida Avenue.
88. Remove and replace existing sidewalk, if determined necessary by the City Engineer, in accordance with the City of Hemet Standard Specifications for Public Works Construction.

Gilmore Street

89. Remove and replace the existing concrete curb and gutter, if determined necessary by the City Engineer, in accordance with the City of Hemet Standard Specifications for Public Works Construction.
90. Remove and replace the existing street pavement to centerline in accordance with the City of Hemet Standard Specifications for Public Works Construction.
91. Street structural sections shall be designed for a Traffic Index (TI) of 7.0. Preliminary soils investigations shall be used by the City Engineer to determine an appropriate R-value and the pavement and the base thickness based on the established TI.
92. Handicap ramp(s) shall be in accordance with the City of Hemet Standard Specifications for Public Works Construction, Standard C-216A and Uniform Building Code Title 24.
93. Remove and replace existing sidewalk, if determined necessary by the City Engineer, in accordance with the City of Hemet Standard Specifications for Public Works Construction.
94. All existing and proposed aerial utility lines shall be relocated and installed underground, in accordance with the City of Hemet Ordinance Bill 05-100, amending Section 82-172 of the Municipal Code.

95. Install public street lights in accordance with the City of Hemet Standard Specifications for Public Works Construction, Standards G-805, G-808, and G-808A. The plans shall be designed by a registered electrical engineer.
96. Install street trees (40-feet on-center) in accordance with the City of Hemet Approved Street Tree List. Install automatic irrigations system to trees.
97. Digitized drawing files of all improvement plans, in a City's compatible CAD system, shall be submitted along with original mylar plans.
98. Existing City roads, which will require reconstruction, shall remain open for traffic at all times, with adequate detours, to the satisfaction of the City Engineer.
99. The applicant shall close any unused drive approach with standard concrete curb, gutter and sidewalk, and shall repair any damaged curb, gutter and sidewalk along the subject frontage prior to issuance of a Certificate of Occupancy.

**Parking:**

100. Prior to issuance of a Grading Permit or building permit, whichever occurs first, proof of the right to ingress and egress shall be obtained from adjacent property owner and provided to the City Engineer.
101. Prior to issuance of a Certificate of Occupancy or the finalization of building permit, install trash enclosure(s) in accordance with the City of Hemet Standard Specifications for Public Works Construction, Standards R-500 Series. The location(s) shall be approved by the City of Hemet Refuse Supervisor.
102. The parking lot shall be designed in accordance with the City of Hemet Parking Lot Design Criteria contained in the City of Hemet Standard Specification for Public Works Construction, Standards P-400 and 401, Uniform Building Code Title 24, and in accordance with Chapter 90, Article XL of the Hemet Municipal Code. The plans shall include the location of parking lot lighting, lighting standard specifications and required parking lot landscaping.
103. Prior to issuance of a Certificate of Occupancy, the parking lot paving shall be slurry coated and fog sealed.

**Drainage:**

104. Prior to issuance of the Building Permit, the Applicant shall pay the Master Storm Drain Plan fee, at the currently adopted rate for new construction.

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 MEDICITY**

105. Adequate provisions shall be made to intercept and conduct the drainage flows within and from the site in a manner which will not adversely affect adjacent or downstream properties.
106. Prior to the issuance of a Certificate of Occupancy, all existing stormwater detention facilities shall be cleaned from any debris, and dead landscaping (plants, trees, shrubs, etc.).
107. Effective January 1, 2006, all construction projects on one acre or more, in the San Jacinto Watershed, shall apply for coverage under the State General Permit for Storm Water Discharges Associated with Construction Activity (General Permit) Order No. 99-08-DWQ.
108. Prior to issuance of a Grading Permit, the applicant shall submit to the City for review and approval, a project-specific Water Quality Management Plan (WQMP). This plan shall address Site Design BMPs, incorporate the applicable Source Control BMPs, incorporate Treatment Control BMPs, describe the long-term operation and maintenance requirements for BMPs needing long-term maintenance, and describe the mechanism for funding the long-term operation and maintenance of the BMPs.
109. Prior to issuance of a Grading Permit, the applicant shall provide the City Engineer with proof of filing a Notice of Intent with the State Water Resources Control Board in Sacramento, obtain a WDID number from the Board, and have an approved WQMP from the City.
110. Prior to issuance of a Building Permit, the property owner shall record a "Covenant and Agreement" with the County Recorder, or other instrument acceptable to the City, to inform future property owners of the requirement to implement the approved project-specific WQMP
111. Prior to issuance of a Certificate of Occupancy, a Registered Civil Engineer shall submit to the City Engineer a written certification that all the components of the approved WQMP have been satisfactory installed and constructed. Certification shall be to grade, elevations, plantings, materials, and other elements included in the approved WQMP.
112. Any required underground storm drain lines and appurtenances, within the public right-of-way, shall be installed in accordance with the City of Hemet Standard Specifications for Public Works Construction.
113. Drainage easement(s), as required by the City Engineer, shall be shown on the improvement plans or grading plans. Easement(s) shall be recorded by deed.

## **Water:**

114. Prior to issuance of a Certificate of Occupancy install water mains in accordance with the City of Hemet Standard Specification for Public Works Construction, Standards W-701 Series, and W-709 and the Water & Sewer Master Plan.
115. Indicate, on the improvement plans, locations and sizes of proposed water service(s) and the connection(s) to the existing water line(s). It should be noted that water mains shall not "dead end" in cul-de-sacs, unless no other reasonable alternative acceptable to the City Engineer is available.
116. Separate hot taps shall be required for potable water, landscaping and fire services. Backflow devices shall be the same size as the hot taps. A minimum of 18-inch separation between hot taps shall be required.
117. Domestic and irrigation services shall be protected with RP devices, and fire services with RPDA, in accordance with the City of Hemet Standard Specification for Public Works Construction, Standards W-710, W-711, and W-713.
118. Installation of 1" - 8" water meters shall be in accordance with the City of Hemet Standard Specification for Public Works Construction Standard W-701.

## **Sewer:**

119. Install sewer mains and sewer laterals in accordance with City of Hemet Standard Specifications for Public Works Construction Standards S-600, S-600A, S-607, and S-610, It should be noted that there shall be no more than one separate connection per sewer lateral.
120. Install a clean-out at property line in accordance with City of Hemet Standard Specifications for Public Works Construction Standards S-611.
121. The improvement plans shall indicate the locations and sizes of any existing and all proposed sewer laterals.
122. Any existing concrete sewer lines shall be replaced with approved pipe materials listed on the current City of Hemet Standard Specifications for Public Works Construction.

## **Landscaping:**

123. Prior to issuance of a Grading Permit, a landscape plan for improvements within the public right-of-way, shall be submitted to Engineering for review and approval. Plans shall be prepared in 24" x 36" format with City's standard title block.

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MEDICITY**

124. The property is located within Lighting and Landscaping Maintenance District No. 19.
125. Prior to final acceptance of the public improvements, submit landscape "as-built" in public areas, and RP principle backflow prevention certification(s) for all water service.

## **FIRE DEPARTMENT CONDITIONS**

The following conditions of approval are project specific and were recommended by the Fire Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Fire Department, FIRE PREVENTION DIVISION at (951) 765-2450.

***Unless specifically stated herein, these conditions shall not be construed to permit or allow deviation from any Federal or State laws nor any of the local codes and ordinances adopted by this jurisdiction. Please contact the Hemet Fire Department, Fire Prevention Division for any questions regarding compliance with the applicable codes or following conditions:***

### **Agency Approvals:**

126. Prior to the issuance of a building permit written proof shall be provided from the water purveyor that sufficient capacity is available for fire protection. The minimum required fire flow for this project is 5,500 to 6,000 GPM @ 20psi residual pressure for a duration of 4 hours, per CFC Apendix III-A (dependant on the type of construction per California Building Code). Potential reductions to GPM requirements, per CFC Appendix III-A, may be available upon submittal and approval of a fire protection plan completed by a licensed fire protection engineer licensed by the State of California.
127. Facilities and equipment used for the storage and handling of flammable or combustible liquids and other hazardous materials (which meet or exceed reportable quantities) as defined by Federal, State and Local Laws shall be approved by the County of Riverside Environmental Health.

### **General:**

128. The final Conditions of Approval for this project shall be included in any site plan or construction plans submitted for permit issuance. Plans will not be approved without reference to these "conditions".

129. This project is subject to review and approval in accordance with the California Code of Regulations, Title 19 for Fire and Life Safety. This project shall be subject to an annual inspection and permit from the Hemet Fire Department for this type of occupancy (use).
130. Storage of combustible materials shall be in accordance with the 2007 California Fire Code. High-Piled Storage shall be in accordance with CFC, Chapter 23.
131. Provision for the storage or handling of hazardous materials, as defined by Federal, State, and Local Law, shall be in accordance with CFC, Chapter 27.
132. Storage and handling of flammable and combustible liquids shall be in accordance with the 2007 California Fire Code, Chapter 34 and NFPA 30 (2003), Flammable and Combustible Liquids Code.

#### **Hydrants and Fire Protection Systems:**

133. An approved water supply capable of supplying the required fire flow for fire protection shall be provided on site when any portion of the building or facility is in excess of 400 feet from an approved water supply on a public street. 2007 CFC Section 508. The location of on-site hydrants and mains shall be approved by the Fire Marshall prior to permit issuance.
134. Prior to combustible construction commencing, install and/or upgrade, as required by the 2007 CFC, street (off-site) fire hydrants pursuant to the City of Hemet Standard Specifications for Public Works Construction. Distance between fire hydrants shall not exceed 300 feet without approval from the Fire Marshal. Fire hydrants shall be located within 150 feet of Fire Department Connections (FDC) for Standpipes and Automatic fire sprinklers.
135. Prior to combustible construction install, as required by the City of Hemet Fire Marshal, on-site fire hydrants pursuant to the City of Hemet Standard Specifications for Public Works Construction. Travel distance along the fire access route shall not exceed 300 ft. between hydrants without approval from the Fire Marshal. CFC Section 508.
136. In accordance with the 2007 CFC Section 508, the water system (mains and hydrants) shall be tested and accepted by the Fire Marshal prior to the commencement of combustible construction. Hydrant markers (Blue Dots) shall be installed pursuant to the City of Hemet Standard Specifications for Public Works.

137. In accordance with the 2007 CFC Section 903, as amended and Article II, Chapter 14 of the Hemet Municipal Code, automatic fire sprinklers shall be installed throughout all buildings 5,000 square feet or larger pursuant to NFPA Standards. Systems with 100 heads or more shall be monitored by a UL listed central station alarm system meeting NFPA 72 and City of Hemet requirements.
138. In accordance with the Uniform Fire Code Section 901.2.2, prior to installations of a fire protection system, complete plans shall be submitted to the City of Hemet Fire Marshal for review and approval.
139. Portable fire extinguishers shall be installed and maintained in accordance with 2007 CFC section 906 and Chapter 3, Title 19 CCR. The type and spacing shall be approved by the City of Hemet Fire Marshal prior to installation.
140. Commercial cooking equipment that produces grease laden vapors shall be provided with a Type I hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system complying with U.L. 300 pursuant to 2007 CFC Section 904.11.
141. A fire alarm/monitoring system shall be installed and tested prior to final inspections in accordance with the Uniform Fire Code Section 1007 and pursuant to NFPA standards.
142. All check valves, post indicator valves, fire department controls, and connections shall be located as required and approved by the Fire Marshal of the City of Hemet. If multiple buildings, each building shall have separate (approved) control valves. A separate permit will be required for all underground piping for fire protection systems.

**Fire Department Access:**

143. Prior to delivery of combustible materials on site, provide and maintain a surfaced all weather access roadway 20-feet wide with a 13-foot 6-inch vertical clearance designed to support the imposed loads of fire apparatus in accordance with the 2007 CFC Section 503.1 (dirt or native soil does not meet the minimum standard). Minimum turning radius for fire apparatus is 52 feet (outside) and 32 feet (inside). Fire access is required to within 150 ft of all portions of every building unless otherwise approved by the Fire Marshal.
144. In accordance with the 2007 CFC Section 503.2.5, approved turnarounds are required on any access road in excess of 150 feet in length, per City of Hemet Fire Department Standards.

145. Fire Department access roads shall have an unobstructed minimum width of 26 feet where fire hydrants are located along the access roadway or as otherwise determined by the Fire Marshal in accordance with 2007 CFC Section 503.2.2.
146. Provide secondary access/egress per 2007 CFC Section 503.1.2 as required by the Fire Department. No portion of any public or private street used for fire access shall exceed 12% grade without approval from the Fire Marshal. All cul-de-sacs shall conform to City Standards for length, width and turnaround radius.
147. Prior to the issuance of a Certificate of Occupancy, "No Parking - Fire Lane" signs, red curbing, street signs and other required markings shall be provided to the specifications of the City of Hemet Fire Marshal in accordance with the 2007 CFC Section 503.3 and California Vehicle Code Section 22500.1.
148. Prior to final inspection, addresses shall be provided on all new and existing buildings in accordance with the 2007 CFC Section 505.
149. In accordance with the 2007 CFC Section 503, security gates if installed, shall be installed with approved automatic devices and/or key switches to allow Fire and Police Department access and egress pursuant to the City of Hemet Municipal Code and Fire Department Standards.
150. Install Knox key boxes and/or Knox locks for Fire and/or Police Department access in accordance with 2007 CFC Section 506 and the Hemet Municipal Code.
151. Minimum turning radius for fire apparatus is 52 feet (outside) and 32 feet (inside). Fire access turn-around areas must be clear from obstructions including outside storage, trash enclosures and parked vehicles.
152. A fence enclosure, if installed, shall lead to a safe dispersal area 50-feet from buildings or shall have gates which comply with 2007 CFC Section 1008 which lead to a public way.

**Miscellaneous:**

153. Interior finish, decorative materials and furnishings shall be in accordance in 2007 CFC Chapter 8. Classification and acceptance criteria of interior finishes shall comply with NFPA standards. Interior wall and ceiling finish shall not have a flame spread index greater than that specified in CFC Table 803.3.

154. Illuminated exit signs shall be provided and means of egress shall be illuminated with light having an intensity of not less than one (1) footcandle at floor level while structure is occupied. Fixtures required for means of egress illumination shall be supplied from a separate circuit or source of power when required by California Fire Code section 3213 and 3214.
155. An annual permit and a "Hazardous Materials Management Plan" (HMMP) will be required pursuant to 2007 CFC Section 2701. This facility shall be subject to the standards of NFPA 704 or some other means of identifying hazardous materials for emergency responders as approved by the Fire Marshal.
156. Prior to the issuance of a Certificate of Occupancy, an electronic version of the final tract map or site plan shall be submitted for fire suppression use. The scale shall be such that the site plan shall be clearly legible, showing all streets, the building footprints and addresses, fire hydrant locations, Knox box locations (if applicable), and access driveways. The format shall be compatible with the latest version of "AutoCAD" or equivalent.
157. No change in use or occupancy shall be made to any existing building or structure unless the means of egress system is made to comply with the requirements for the new use or occupancy in accordance with 2007 CFC Chapter 10.
158. Access during construction: Access for fire fighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13'-6". Fire department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs. Access shall be provided to within 150 feet of combustible construction pursuant to 2007 CFC Chapter 14.
159. Trash containers with an individual capacity of 1.5 cubic yards or greater shall not be stored in buildings or within 5 feet of combustible walls, openings, eaves, etc. unless protected by an approved means (automatic fire sprinkler system and/or an approved 4-hour fire separation).

## **POLICE DEPARTMENT CONDITIONS**

The following conditions of approval are project specific and were recommended by the Police Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Police Department at (951) 765-2400.

The Police Department has no conditions.

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MEDICITY**

OTHER CONDITIONS

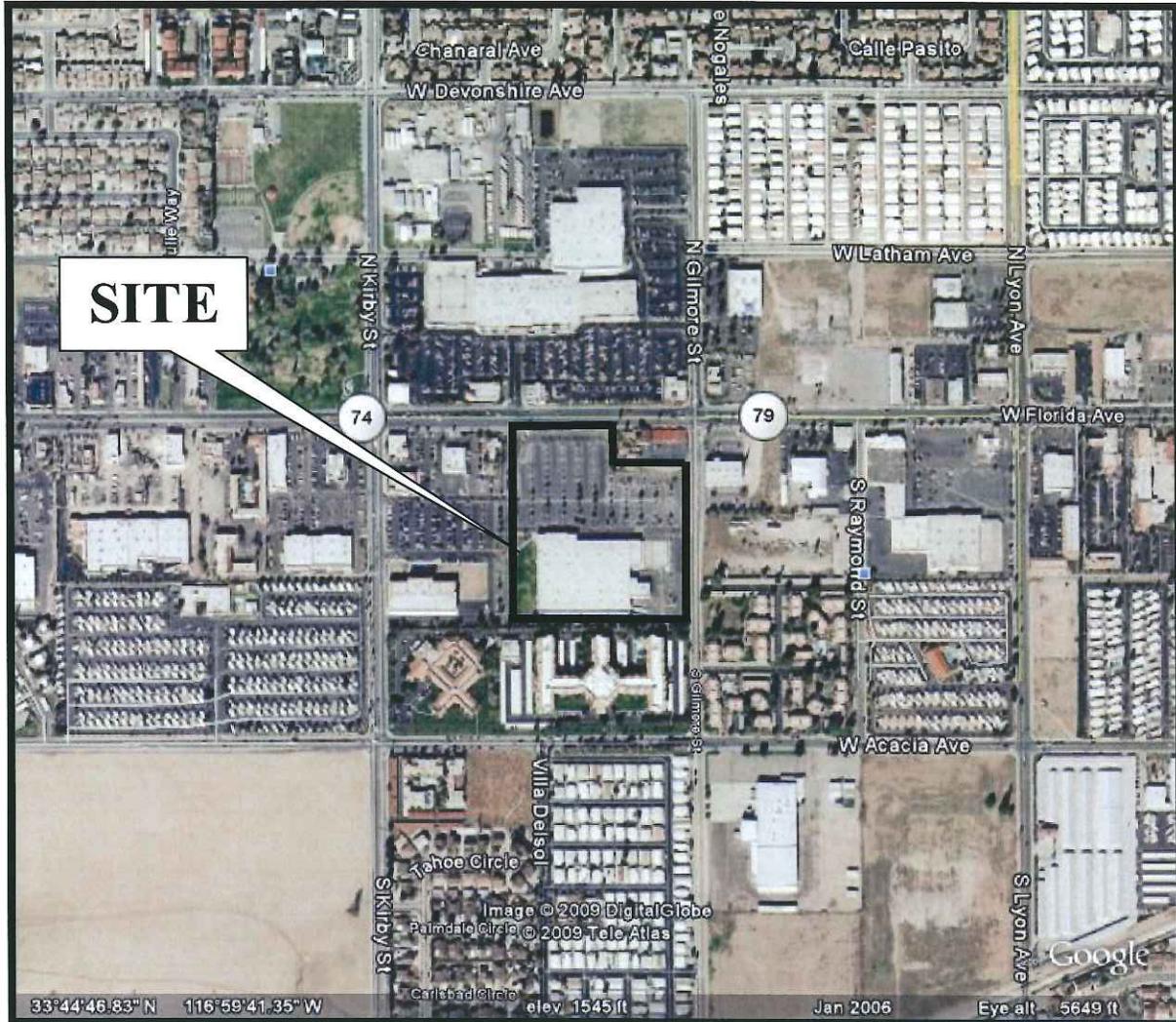
160. Decorative bollards shall be placed in front of the medical facility building and hospital to separate pedestrian areas from vehicular travel ways. [Added at the 10/20/09 PC meeting.]

**END**

**Attachment  
No. 3  
Aerial Photo Exhibit**

**Planning Commission  
Meeting of  
December 6, 2011**

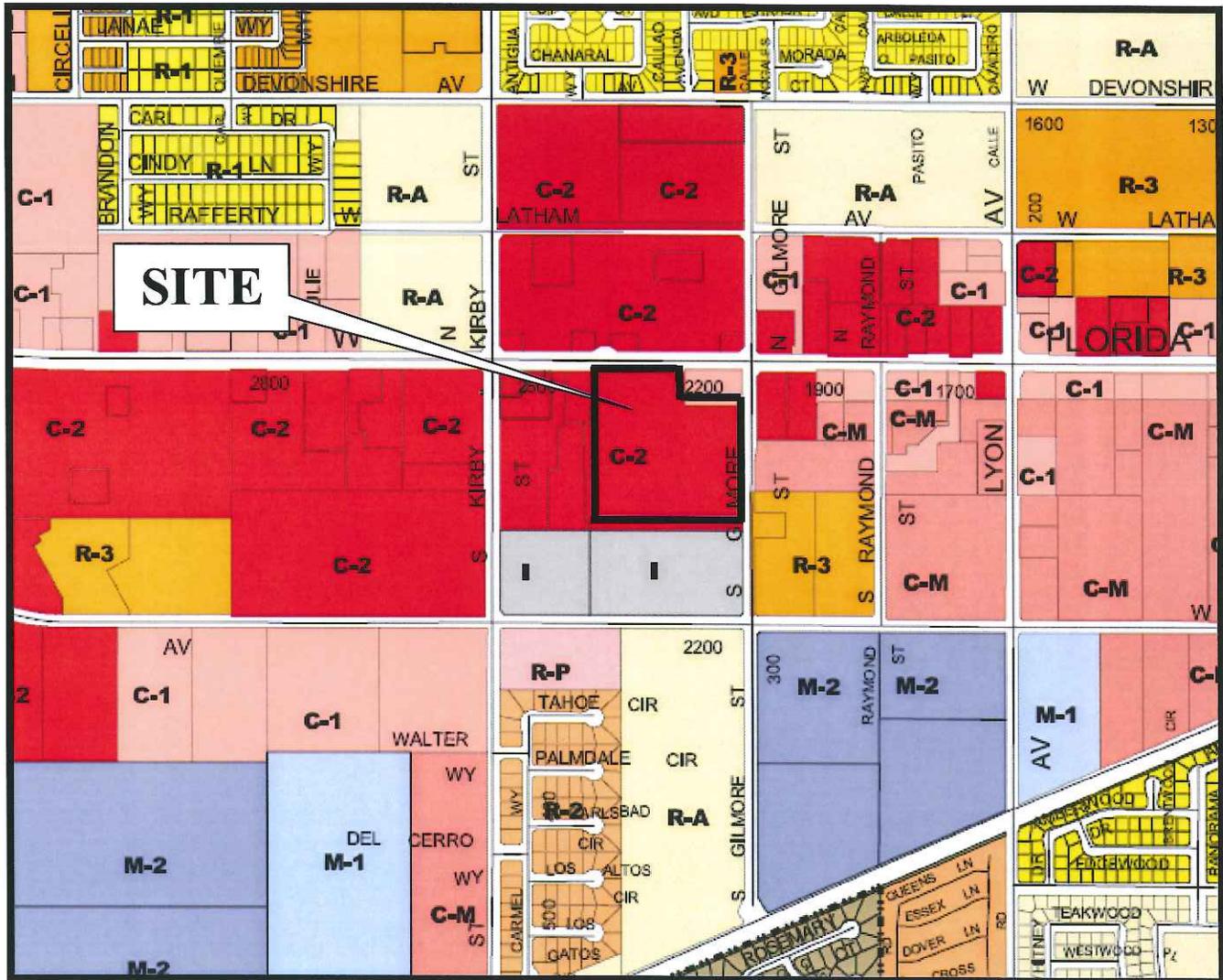
# EXTENSION OF TIME NO. 11-002 FOR CONDITIONAL USE PERMIT NO. 09-003 AERIAL PHOTO



# Attachment No. 4 Zoning Map

Planning Commission  
Meeting of  
December 6, 2011

# EXTENSION OF TIME NO. 11-002 CONDITIONAL USE PERMIT NO. 09-003 ZONING MAP





# MEMO

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**TO:** Chairman Gifford, Vice-Chair Deuber, Commissioner Overmyer, Commissioner Rogers and Commissioner Thompson

**FROM:** Carole Kendrick, Assistant Planner

**DATE:** December 1, 2011

**RE:** Extension of Time No. 11-002

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**COMMENTS:**

The attached letter from Mr. Azam Sher, the property owner to the west of the project site, was received after the preparation of the staff report.

The letter will be incorporated into the project file and noted in the staff presentation.

**Sherington, LLC**

P.O. Box 4901  
West Hills, California 91308  
Telephone: (818) 887-2006  
Facsimile: (818) 887-1886  
masher@sherington.com

November 30, 2011

Mr. John Gifford  
Chairman,  
City of Hemet Planning Commission  
City Council Chambers  
450 East Latham Avenue  
Hemet, California 92543

Re.: "MediCity" C.U.P. 09-003 Extension Request

Dear Mr. Gifford:

We understand that Latham Management is requesting an extension of the Conditional Use Permit pertaining to their property in the Hemet Towne Center ("MediCity").

Sherington LLC, ("Sherington") owns property on the west side of the old Wal-Mart building in the Hemet Towne Center.

We at Sherington would like to bring the following items to the Planning Commission's attention:

- Sherington, like others, is supportive of Latham Management pursuing their "MediCity" facility at the proposed site
- This is a large and visible property. Absent proactive and vigilant management, such a property will attract the wrong elements and encourage the only too real issues of gang violence, rowdy hooliganism and other undesirable behavior. This is simply not conducive to the long term well being of a thriving retail center
- Regretfully the Site has not always been managed proactively and vigilantly over the past two years and this has negatively impacted our tenants at the Hemet Towne Center
- We are enclosing some recent photographs that do not show the property in a particularly good light:
  - Trash is present, as are abandoned shopping carts

Mr. John Gifford  
November 30, 2011  
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- Fencing at the rear of the property has been vandalized creating potentially hazardous conditions in and around the flood control ditch
- The main Center Pole Sign is no longer lit and adds to the general air of urban blight
- Parking lot lights are not lit at night, encouraging the wrong element
- Finally, the removal of the 24 hour security just enables and encourages the anti-social behavior that feeds on itself. It makes this large, unlit and unguarded site especially attractive to the wrong element; especially at night

In closing we are supportive of Latham Management putting this valuable piece of property to good, economic use for the benefit of the whole community. Indeed we cooperated with them to change the CC&R's of the Hemet Towne Center to permit their intended medical / hospital use.

We would only ask that Latham Management maintain the property in an appropriate manner and minimize the negative impact on the community of this very visible and valuable piece of property.

We believe that Latham Management desires this as well and that any past lapses were mere oversights; however this remains a belief, as in the past, we have been somewhat unsuccessful in communicating with them.

Accordingly, we would respectfully ask the planning commission to consider granting Latham Management a one year extension: in this way, Latham Management can receive their extension while at the same time being provided an opportunity to demonstrate to the community their intent and desire to meet code guidelines.

Respectfully submitted,



Azam Sher  
Sherington, LLC

cc. Planning Commissioners  
Mr. Emery Papp, Principal Planner  
Ms. Carole L. Kendrick, Assistant Planner

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## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director  
Emery J. Papp, Principal Planner

DATE: December 6, 2011

RE: **WORK STUDY TO REVIEW AND DISCUSS PROPOSED REVISIONS TO THE ZONING CODE REGARDING FENCES AND WALLS** – A work study session to discuss issues with the existing Hemet Municipal Code concerning fencing and proposed requirements for new and replacement fencing in all zoning districts.

### **RECOMMENDED ACTIONS:**

*A request for Planning Commission review and comment, with possible direction to staff, regarding proposed modifications to the zoning ordinance for fences and walls.*

### **PURPOSE OF THE WORKSTUDY**

Staff seeks comments and direction from the Planning Commission in regard to creating one comprehensive Article in the zoning ordinance to address fences and walls. The current zoning ordinance does not require Building Permits for most walls and fences, and does not sufficiently address approved materials, design, or the connection to adopted Specific Plans or the City of Hemet Design Guidelines. Additionally, a significant number of residential property owners have requested relief from the current front yard height restrictions due to security issues. Examples of different fence and wall treatments and some of the issues staff is encountering will be presented at the work study.

By way of this work study report and presentation to the Planning Commission, staff will point out recommended changes to the current Zoning Code, and suggest revisions to the following:

- Hemet Municipal Code sections regarding fences and walls
- Current practices for Building Permit issuance
- Height and development standards, and
- Acceptable fence and wall materials.

□ City of Hemet - Planning Department □  
Planning Commission Meeting of October 18, 2011

## **PROJECT DESCRIPTION**

Proposed revisions to the HMC regarding fencing are intended to condense the requirements for fencing into one comprehensive chapter that addresses development standards, acceptable building materials, prohibited materials, fence and wall design, building permit requirements, exceptions, and special wall and fencing requirements.

## **MAJOR ISSUES**

Hemet Municipal Code (HMC) standards and regulations for walls and fences are discussed in each separate zoning designation of the HMC and are mentioned in 40 different sections of the existing HMC. However, these sections provide few development standards other than height and line of sight for corner lots. There are no regulations or codified guidelines regarding the type of materials, the citations in the HMC do not align with or reference the City of Hemet Design Guidelines or adopted Specific Plans, nor do they state if building permits are required. The primary issues of concern are addressed in greater detail below.

1. Building Permits Process. Currently the HMC only requires Building Permits for block walls, or fences that exceed six feet in height. Therefore, all non-block fences or walls less than six feet in height do not require a permit and are not regulated through the plan check process. As a result, problems such as improper placement of walls ( e.g., Line of sight issues, outside of property lines or over easements), exceeding height limits, improper design and/or construction methods, and unacceptable materials encountered in the field are reactively dealt with by Code Enforcement after the fence or wall has been erected.

To effectively correct this issue, and create a pro-active solution to reduce conflicts and violations encountered in the field, Staff recommends requiring Building Permits for all new fences and walls over two feet in height. Building Permits for wall and fences could be reviewed and issued over the counter for expedited service.

2. Acceptable Building Materials. In 2003, the Planning Commission and the City Council looked into the potential of banning wood fencing as an approved material due to long term maintenance issues. This process culminated in the adoption of a new standard condition of approval for wood fencing that included a standard detail drawing. However, wood fences less than six feet in height do not currently require a building permit so there is no way to enforce the standard drawing. The same is true for any building material other than block.

Staff recommends requiring Building Permits for all fences and walls greater than two feet in height. In addition, staff would like the Planning Commission to provide an opinion on other types of fencing materials commonly being used today such as: brick, decorative block, natural stone, engineered stone veneer, pre-cast concrete, engineered wood, wood or vinyl rail fencing, glass or acrylic glass view fencing, chain link, wrought iron, tubular steel, corrugated metal; perforated sheet metal, expanded steel, bamboo, straw bale, and other renewable resources. It should be noted that in 2009, staff presented to the

Planning Commission a proposed zoning amendment to prohibit the use of chain link fencing except as a temporary material.

3. Municipal Code Development Standards. With the exception of height and line of sight issues the HMC is rather silent on fences and walls (see Attachment 1). The lack of requirement for permits, development criteria and design standards for fences and walls has created aesthetic issues and ongoing Code Enforcement problems in the field.

Staff proposes to prepare one comprehensive Chapter in the zoning ordinance to address development standards including materials, styles, height, temporary fencing, potential exceptions, and location within:

- Single Family Residential zones (consider a separate standard for Downtown?)
- Multi-Family Residential zones
- Commercial and Institutional zones
- Industrial and auto related zones
- Agricultural zones

Under current HMC provisions, the maximum front yard fence height in all zoning districts is 42 inches. The adoption of this requirement stems from several reasons such as preservation of line of sight for fences placed on or near a front property line, defensible space planning, aesthetics and sense of openness. However, in recent months, the City has had numerous requests for higher front yard fences because of security issues. Staff is concerned about raising the height restriction for front yards of single-family neighborhoods, particularly on lot sizes less than 10,000 square feet. However, there may be circumstances that warrant it and staff seeks direction from the Planning Commission on maximum height and design requirements.

4. Design Guidelines and Specific Plans. There is nothing in the current HMC that compels property owners and/or developers to be aware of or to abide by the provisions of the Design Guidelines (Attachment 2) for fences and walls. Any proposed revision to the HMC regarding fences and walls should require adherence to the Design Guidelines and adopted Specific Plans which may contain their own standards.

Other issues of concern to staff that require input from the Planning Commission include:

5. Amortization. Staff seeks the Planning Commission's views regarding provisions to amortize illegally erected and nonconforming fences and walls. Amortization programs can be an effective way of eliminating undesirable walls and fences, but such programs tend to be unpopular with the general public due to significant costs to property owners.

6. Exceptions to HMC Provisions. The zoning ordinance should contain provisions for exceptions to certain development standards and design criteria. This should include:

- Types of exceptions that may be considered
- When, how, and why exceptions would apply.

6. Grade Differentials. Treatments for properties that are on slopes or terraced.
7. Temporary Fencing. Acceptable methods and/or materials for erecting temporary fences such as construction fencing, siltation prevention, and security fencing.

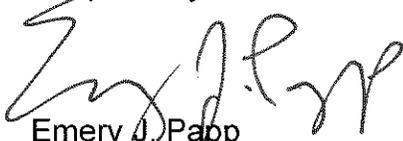
## **SUMMARY**

Prior to undertaking the task of amending the zoning ordinance as it relates to fences and walls, staff wanted to take an opportunity to present perceived issues to the Planning Commission for its review and consideration. In short, staff is requesting feedback in the following topic areas:

1. Proposed requirement for Building Permits
2. Acceptable Fence and Wall Materials
3. Prohibited Materials
4. Development Standards
5. Location, Height, Style
6. Variations by Zone or Use
7. Incorporate Design Guidelines and Specific Plans by Reference
8. Amortization
9. Exceptions
10. Temporary Fencing
11. Other issues discussed by the Commission

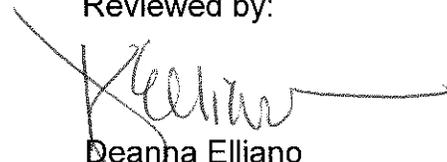
Staff will incorporate the feedback received from the Commission into a comprehensive draft ordinance and will present the draft at a future work study. Proposed amendments to the zoning code will be designed to ensure attractive treatments, appropriate placement and construction methods.

Respectfully submitted,



Emery J. Papp  
Principal Planner

Reviewed by:



Deanna Elliano  
Community Development Director

## **ATTACHMENTS**

1. Existing Hemet Municipal Code Excerpts – Zoning requirements for Fences and Walls
2. Existing Design Guideline Excerpts

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□ City of Hemet - Planning Department □  
Planning Commission Meeting of December 6, 2011

# Attachment No. 1

Hemet Municipal Code  
Excerpts - Zoning

Planning Commission  
Work Study of  
December 6, 2011

## Section 90-315 Single Family Site Development Requirements

(f)

Walls **fencing**, screening and landscaping. This section provides for the regulation of location and height of walls, **fencing**, screening and landscaping so as to allow the enjoyment of the use of the property and the safety of persons using sidewalks and streets related to the property.

(1)

**Fencing generally.** Walls, **fences**, screening and hedge planting up to a maximum of six feet in height, measured from the higher of the two finished grades adjoining the wall or **fence**, any be permitted in any required yard, or along the edge of any yard.

a.

Walls, **fences**, screening or hedge plantings in any required front yard shall be a maximum of 42 inches in height when measured from the adjacent sidewalk or street, unless expressly permitted by other applicable sections of this chapter.

b.

On a corner lot a wall, **fence** or hedge up to six feet in height may be located parallel to the edge of the sidewalk on the street side yard adjacent to the lot, whether the sidewalk area is monolithic or has a planted parkway.

c.

On corner lots the corner cutback area shall be free and clear of visual obstructions in excess of 42 inches in height. The corner cutback shall be defined by a line on a horizontal plane connecting two points along the front and street side property lines and forming a triangle. These points shall be measured 30 feet back from the intersection of the prolongation of the front and street side property lines.

d.

On lots where the driveway is adjacent to the rear yard of a neighboring lot the corner cutback area shall be free and clear of visual obstructions of 42 inches in height. The cutback lines shall be determined by measuring from the projection of the coterminous front and rear property line ten feet along the inside edge of the sidewalk and ten feet back from the street connecting the two points forming a 45-degree triangle.

(2)

**Swimming pool fencing.** Swimming pools shall be entirely enclosed by buildings **fences** or walls. The **fence** or wall shall be at least a minimum of five feet above grade level immediately adjacent thereto, and shall be equipped with self-latching gates or doors, with the latching device not less than four feet above the ground. Prior to filling the pool the required **fencing** or walls must be in place and approved by the city building department.

(3)

When a church, school, or college, or public facilities are adjacent to a A or R zone a solid six-foot masonry wall shall be constructed on the adjoining A or R zone property line. A ten-foot landscaped area adjacent to the wall shall also be installed and maintained on the church side of the wall. The landscaping shall consist of plant material, including a minimum 15-gallon evergreen trees planted on 20-foot centers.

**Section 90-385 Multiple Family Site Development Requirements**

(i)

**Walls, fencing, screening and landscaping.** This section provides for the regulation of location and height of walls, **fencing**, screening and landscaping so as to allow the enjoyment of the use of property and for the safety of persons using sidewalks and streets related to the property.

(1)

**Fencing generally.** Walls, **fences**, screening and hedge planting up to a maximum of six feet in height from the highest finished grade may be permitted in any required yard, or along the edge of any yard.

a.

Walls, **fences**, screening or hedge plantings in any required front yard shall be a maximum of 42 inches in height when measured from the adjacent sidewalk or street, unless expressly permitted by other applicable sections of this chapter.

b.

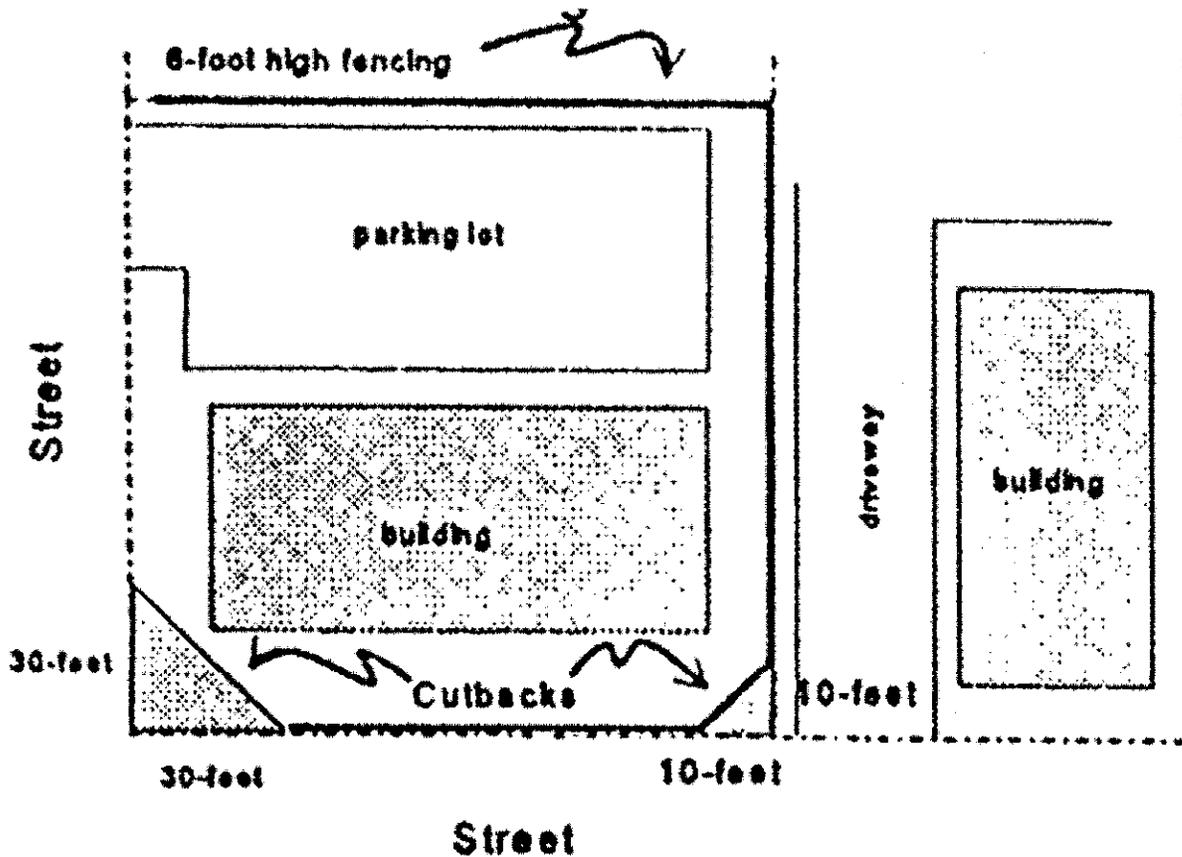
A wall, **fence** or hedge up to six feet in height may be located parallel to the edge of the sidewalk on the street side yard adjacent to the lot, whether the sidewalk area is monolithic or has a planted parkway.

c.

On corner lots the corner cutback area shall be free and clear of visual obstructions in excess of 42 inches in height. The corner cutback shall be defined by a line on a horizontal plane connecting two points along the front and street side property lines and forming a triangle. These points shall be measured 30 feet back from the intersection of the prolongation of the front and street side property lines.

d.

On lots where the driveway is adjacent to the rear yard of a neighboring lot the corner cutback area shall be free and clear of visual obstructions in excess of 42 inches in height. The cutback lines shall be determined by measuring from the projection of the coterminous front and rear property line ten feet along the inside edge of the sidewalk and ten feet back from the street connecting the two points forming a 45-degree triangle.



Corner Cutback Lines

(2)

*Wall and landscape buffer for yards adjoining certain uses.* When a site adjoins a single-family zone, or a site general planned for low density single-family use, a solid masonry wall six feet in height shall be located adjoining the property line, except adjoining a required front yard; and an area at least five feet in depth adjoining the property line shall be landscaped with live plant material, including trees. Where a carport or garage is placed within three feet of a property line adjoining a single-family zone or a site general planned for low density single-family use, no landscaped buffer is required.

(3)

*Block walls or opaque fencing or landscaping materials used for screening purposes* shall not be placed within any required front yard or street side yards. Block walls or opaque fencing may be used in other locations.

(4)

*Swimming pool fencing.* Swimming pools shall be entirely enclosed by buildings, fences or walls. The fence or wall shall be at least a minimum of five feet above grade level immediately adjacent thereto, and shall be equipped with self-latching gates or doors, with the latching device not less than four feet above the ground. Prior to filling the pool the required fencing must be in place and approved by the city building department.

(5)

**Security fencing.** Nothing in this section shall be deemed to set aside or reduce the requirements established for security **fencing** by either local, state or federal law, or by safety requirements of the board of education. A **fence** or wall shall be constructed along the perimeter of all areas considered by the director to be dangerous to the public health and safety. The height of **fence** or wall in excess of six feet in height shall be as determined by the director in relation to the danger or hazard involved. Such **fence** or wall may be required when a use requires a permit, or at the discretion of the director, according to the danger or hazard involved.

(6)

For multiple-family or high density developments such as duplexes, apartments, condominiums, mobile home parks, convalescent homes or similar residential uses, perimeter **fencing** may be permitted within yard setbacks up to a maximum of six feet in height, greater **fence** heights may be allowed when the **fencing** is for security reasons and meet the requirements of section 90-385(i)(5). In all cases the following requirements shall be met:

a.

There shall be at least eight units.

b.

**Fencing** shall be wrought iron, tubular steel, or similar materials in combination with masonry no higher than 42 inches in height and wrought iron designed and located in a manner which does not hinder surveillance activities of the police.

c.

The color of wrought iron shall be either black, white or beige. Any other color requires approval by the director.

d.

Pilasters shall be up to 18 inches square, and the distance between pilasters shall be at least eight feet edge to edge for the main run of the **fence**.

e.

Gates shall provide emergency access with the installation of a Knox box system or other similar method approved by the fire department.

f.

Access shall be provided for essential city services, including but not limited to refuse pickup.

g.

A means of access to visitor parking spaces, such as call boxes, shall be provided to the public.

h.

Intersection and driveway visibility is maintained by limiting opaque **fencing**, including pilasters, to 42 inches in height within cutback areas.

i.

Adequate area for vehicle stacking at the entrance(s) and exit(s) of the development shall be provided and approved by the city traffic engineer.

j.

Concertina, razor, barbed wire, electrified or chainlink materials are expressly prohibited.

k.

A minimum of five feet of live landscaping shall be planted between the curb and fence line (i.e., within the parkway), to soften the appearance of the fence.

**Fencing** constructed in accordance with this section shall obtain appropriate building permits and inspections. Plans shall be submitted to the building department for review and approval by all affected departments prior to the issuance of permits. The project shall meet applicable requirements of the I.C.B.O. Uniform Building Code, Uniform Fire Code, and related codes.

(7)

*For recreational vehicle storage.* **Fences** for recreational vehicle storage shall be six-foot solid walls (no wood permitted). An additional five feet of fence height may be permitted, consisting of chainlink or wire or any combination thereof, placed on top of the solid wall but not exceeding a total height of 11 feet.

(8)

*Landscaping.* Where landscaping is required by this chapter, it shall consist predominantly of plant materials, except for necessary walks and drives. Planted areas, where prescribed, shall be landscaped exclusively with live plant materials. Required landscaping shall be installed in accord with landscaping standards approved by the planning commission, and shall be of types and sizes prescribed in the standards. All screening and landscaping shall be permanently maintained in an orderly condition. Plant materials shall be watered, weeded, pruned and replaced as necessary to screen or ornament the site.

(9)

When a church, school or college, or public facilities are adjacent to an A or R zone a solid six-foot masonry wall shall be constructed on the adjoining A or R zone property line. A ten-foot landscaped area adjacent to the wall shall also be installed and maintained on the church side of the wall. The landscaping shall consist of plant material, including a minimum 15-gallon evergreen trees planted on 20-foot centers.

**Section 90-395 Commercial Site Development Requirements**

(g)

**Walls, fencing screening and landscaping.** This section provides for the regulation of location and height of walls, **fencing**, screening and landscaping so as to allow the enjoyment of the use of property and for the safety of persons using sidewalks and streets related to the property.

(1)

**Fencing generally.** Walls, **fences**, screening and hedge planting up to a maximum of six feet in height from the higher of the two finished grades adjoining the wall or **fence** may be permitted in any required yard, or along the edge of any yard.

a.

Walls, **fences**, screening or hedge plantings in any required front yard shall be up to 42 inches in height when measured from the adjacent sidewalk or street, unless expressly permitted by other applicable sections of this chapter.

b.

A wall, **fence** or hedge up to six feet in height may be located parallel to the edge of the sidewalk on the street side yard adjacent to the lot, whether the sidewalk area is monolithic or has a planted parkway.

c.

On corner lots the corner cutback area shall be free and clear of visual obstructions in excess of 42 inches in height. The corner cutback shall be defined by a line on a horizontal plane connecting two points along the front and street side property lines and forming a triangle. These points shall be measured 30 feet back from the intersection of the prolongation of the front and street side property lines.

d.

On lots where the driveway is adjacent to the rear yard of a neighboring lot the corner cutback area shall be free and clear of visual obstructions in excess of 42 inches in height. The cutback lines shall be determined by measuring from the projection of the coterminous front and rear property line ten feet along the inside edge of the sidewalk and ten feet back from the street connecting the two points forming a 45 degree triangle.

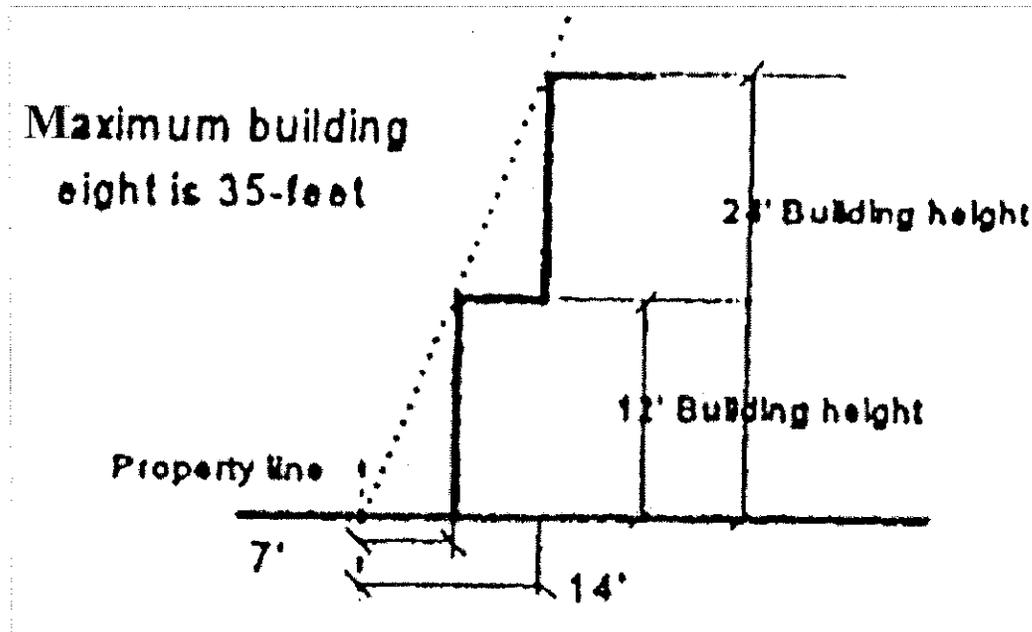


Figure 1

(2)

**Swimming pool fencing.** Swimming pools shall be entirely enclosed by buildings, fences or walls. The fence or wall shall be at least a minimum of five feet above grade level immediately adjacent thereto, and shall be equipped with self-latching gates or doors, with the latching device not less than four feet above the ground. Prior to filling the pool the required fencing or walls must be in place and approved by the city building department.

(3)

**Wall and landscape buffer for yards adjoining certain uses.** When a site adjoins a single-family zone, or a site general planned for low density single-family use, a solid masonry wall six feet in height shall be located adjoining the property line, except adjoining a required front yard; and an area at least five feet in depth adjoining the property line shall be landscaped with live plant material, including trees. Where a carport or garage is placed within three feet of a property line adjoining a single-family zone or a site general planned for low density single-family use, no landscaped buffer is required.

(4)

**Block walls or opaque fencing or landscaping materials used for screening purposes** shall not be placed within any required front yard or street side yards. Block walls or opaque fencing may be used in other locations. All outdoor storage shall be screened by a six-foot high wall, fence or slatted chain-link fence and shall meet the requirements of section 90-895(g).

(5)

**Security fencing.** Nothing in this section shall be deemed to set aside or reduce the requirements established for security fencing by either local, state or federal law, or by safety requirements of the board of education. The maximum height of masonry, concrete, or steel walls or wood fences shall be six feet.

(6)

*For recreational vehicle storage. Fences* for recreational vehicles storage shall be six-foot solid walls (no wood permitted). An additional five feet of fence height may be permitted consisting of chain-link or wire or any combination thereof placed on top of the solid wall but not exceeding a total height of 11 feet.

(7)

*Screening of roof-mounted equipment.* All roof mounted equipment shall be screened from general view by the public and from public streets.

(8)

*Landscaping.* Where landscaping is required by this chapter, it shall consist predominantly of plant materials, except for necessary walks and drives. Planted areas, where prescribed, shall be landscaped exclusively with live plant materials. Required landscaping shall be installed in accord with landscaping standards approved by the commission, and shall be of types and sizes prescribed in the standards. All screening and landscaping shall be permanently maintained in an orderly condition. Plant materials shall be watered, weeded, pruned and replaced as necessary to screen or ornament the site.

(9)

When a church, school or college, or public facilities are adjacent to an A or R zone a solid six-foot masonry wall shall be constructed on the adjoining A or R zone property line. A ten-foot landscaped area adjacent to the wall shall also be installed and maintained on the church side of the wall. The landscaping shall consist of plant material, including a minimum 15-gallon evergreen trees planted on 20-foot centers.

(10)

*Above-ground fuel storage tanks.* The storage tanks shall be screened from adjoining streets and neighboring properties. Screening may consist of walls, fencing, landscaping, or a combination thereof. The tanks and appurtenances for propane, natural, and similar fuels shall not exceed a maximum height of eight feet. All other fuel storage tanks shall not exceed 25 feet in height. All tanks shall be located in such a manner so as not to impede on-site vehicular traffic and shall not be located in an on-site area of high vehicular traffic.

# Attachment No. 2

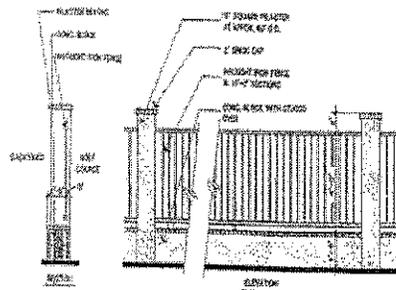
Design Guideline Excerpts

Planning Commission  
Work Study of  
December 6, 2011

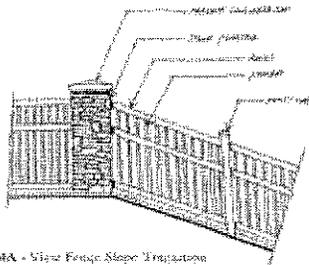
## Single-Family Residential Design Standards

### 11.0 Wall and Fence Guidelines

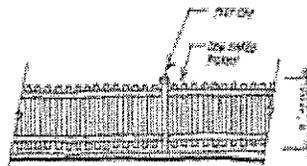
- 11.1 Project perimeter fencing adjacent to the public right of way should be required for all projects except where lots face streets.
- 11.1.1 All perimeter fencing should be decorative block, textured concrete or stucco with pilasters and caps and/or other material consistent with any adopted policy, guideline or standard in effect at time of approval.
- 11.1.2 Wrought iron view fences are also permitted with pilasters and caps. Decorative block includes items such as split face block, slumpstone, etc., but specifically excludes precision block (unless completely covered by stucco), wood fences, and similar treatments.
- 11.1.3 All perimeter fencing should have vines planted next to the wall to help soften the effect of block walls, with said vines being planted at least 10-feet on center.
- 11.1.4 Other landscape techniques can be considered in lieu of vines (such as hedge plantings next to the wall) as long as said techniques helps break up the monotony of long perimeter walls and which would provide similar anti-graffiti characteristics.



Exceptions: wood fencing, such as split rail and/or post and rail fencing may be considered in very large projects (average lot size over 10,000 sq. ft.) where the clear intent is to provide an equestrian atmosphere and rural lifestyle.



DETAIL 4A - View Fence Stone Foundation



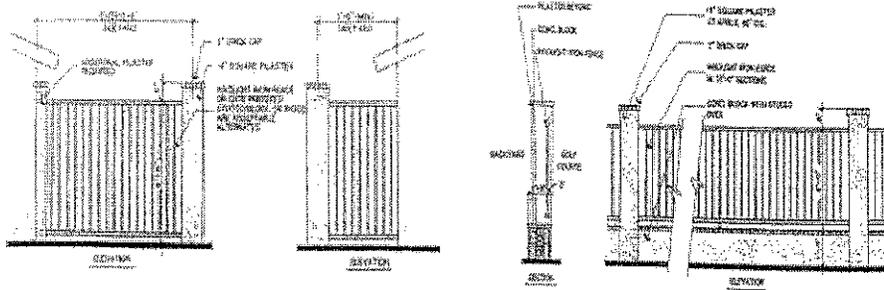
DETAIL 5 - Low View Decorative Fences



DETAIL 6 - Low Hedge

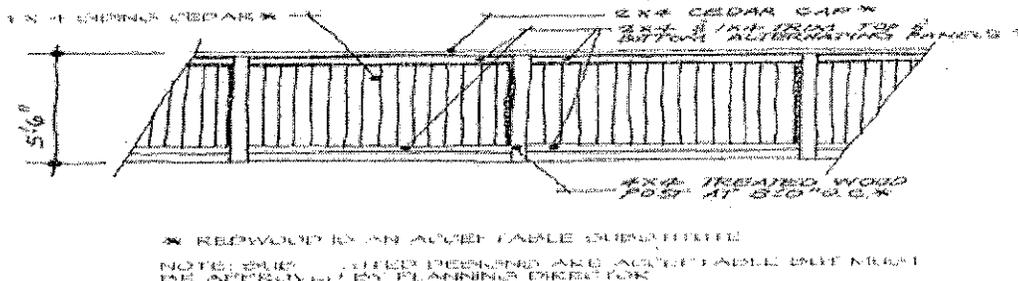
11.2 Residential lot fencing:

11.2.1 Walls visible to public view: any wall visible to public view (front yard returns, exterior side lot line walls, etc.) should be of the same material as the perimeter walls so as to continue a thematic element throughout the project.



11.2.2 Gates visible to public view: Pedestrian gates (typical gates which open onto backyards) may be wood or wrought iron/tubular steel. No chain link is permitted. If wood, the wood should be painted the same color as the primary color of the adjoining home. Vehicle gates (side yard gates for RV's, etc.) should be opaque. The gate may be wood if painted the same color as the adjoining home, or a complementary color.

11.2.3 Interior lot line fences: Interior lot line fences should be comprised of masonry block walls, vinyl, wood or other materials which comply with any applicable policy, guideline or standard in effect at time of approval. See also, Appendix D, City Council Resolution No. 3697.



11.3 Project Entries: Most tract home development should be provided with enhanced entries to establish neighborhood identity and develop a sense of arrival unless precluded by existing conditions



## **Commercial Design Standards**

### F. Walls and Fences

1. Unless required for a specific screening or security purpose, walls should not be used within commercial areas. When used, walls should be kept as low as possible while still performing their screening or security function.
2. Walls should be compatible with the architectural character of the primary structures and the surrounding area. Both sides of all walls should be finished.
3. Long expanses of wall or fence surface should be architecturally designed to avoid monotony. Pilasters should be provided at intervals consistent with the length and scale of the wall but at a minimum of every fifty (50) feet. Landscaping should also be used to break long expanses of wall or fence surface.
4. Visible retaining walls should be constructed of finished decorative material which is compatible with the primary material used on the main building.
5. When barriers are necessary for security, open view fencing, such as wrought iron or metal tubing, should be used. Chain link fencing should be avoided. Open view fencing should have columns of a material which complements the building architecture.



## Staff Report

TO: Honorable Chairman and Members of the Planning Commission  
FROM: Deanna Elliano, Community Development Director  
DATE: December 6, 2011  
RE: **Summary Presentation on the Economic Forecast for the Inland Empire**

### **Recommended Action:**

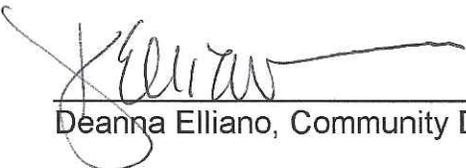
*For information and discussion purposes, no action required.*

### **Work Study Description:**

Staff will present an overview of some of the key findings of the *2011 Riverside/San Bernardino Economic Forecast* as prepared by Beacon Economics, LLC, and presented at a recent conference in the City of Ontario. Also presented will be some local demographic and economic factors for the City of Hemet, and highlights of the *Inland Empire Quarterly Economic Report (October 2011)*, which is included as an attachment to this staff report.

The purpose of the work study is to give the Planning Commission information regarding the current economic context and trends for the region and the City of Hemet as it may relate to new development proposals.

Respectfully submitted;

  
Deanna Elliano, Community Development Director

### **Attachments:**

1. Inland Empire Quarterly Economic Report , October 2011



## WHY BUILDING GREEN TODAY WILL BENEFIT WESTERN RIVERSIDE'S FUTURE

by  
**Rick Bishop**  
Western Riverside Council of Governments

Think about the quality of the buildings that will be built to accommodate the next 800,000 residents and 400,000 employees who will locate in Western Riverside county during the next 25 years. How these buildings (300,000 homes and several thousand non-residential structures) are built and how they perform might very well be a key ingredient to the subregion's future success – or failure – as this subregion competes with the rest of Southern California for economic standing, and strives to improve overall quality of life. Christine Ervin, former U.S. Assistant Secretary of Energy and the First President and CEO of the U.S. Green Building Council, told attendees at a recent WRCOG event that the subregion's future economic success will largely depend on its commitment to "building green." She stated that green buildings are increasingly becoming a standard desired by young entrepreneurs and business leaders, and that those who skimp by building "conventional" structures or think of the green movement as a novelty risk future economic development success.

Any skeptics of Ervin's thoughts will have a hard time disputing the increasing collection of studies, reports and surveys that confirm the practical and financial viability of sustainable buildings. Benefits of green buildings include increased energy and water efficiencies, increased durability, and reduced costs for energy, water, operations and maintenance compared to conventionally-constructed structures. For example, a [New Buildings Institute study](#) concluded that on average, LEED buildings deliver 25-30% energy savings compared to the national average. A [2008 General Ser-](#)

*Continued on back page*

## INLAND EMPIRE

# QUARTERLY ECONOMIC REPORT

RIVERSIDE & SAN BERNARDINO COUNTIES, CALIFORNIA

VOL. 23 NO. 4

OCTOBER 2011

\$5.00

## INLAND EMPIRE CITY PROFILE 2011

*John E. Husing, Ph.D.*

Often, questions are asked about the relative strengths of the Inland Empire's 51 cities (*52 next year*). The annual Inland Empire City Profile (*Exhibits 1 & 2*) provides much of this information. The sources are the most recently available data for population, taxable sales, assessed valuation, bank deposits, housing prices and volumes, and income. [*Note: Eastvale omitted in cases where data is not yet available.*]

**Population.** From 2000-2011, the CA Finance Department reports that the Inland Empire added 1,014,649 people to reach 4,270,175, up 31.2% including 1.4% in 2010-2011. This occurred despite the Census Bureau's downward adjustments. Eleven cities continued to have over 100,000 people, led by Riverside (306,779) and San Bernardino (211,076) followed by Fontana (198,456) and Moreno Valley (195,216). The newest cities are Eastvale (54,303) and Jurupa Valley (80,000). The smallest cities were Needles (4,874), Indian Wells (5,010), and Big Bear Lake (5,051). Five cities added over 50,000 people from 2000-2011: Fontana (69,528), Murrieta (60,177), Victorville (53,190), Moreno Valley (52,837) and Riverside (51,613). Four cities have added under 1,000 people: Needles (44), Grand Terrace (483), Canyon Lake (695), Calimesa (802). Two cities shrank: Big Bear Lake (-387) and Blythe (-307).

Of California's 481 cities, the Inland Empire's five largest places ranked: Riverside (12<sup>th</sup>), San Bernardino (17<sup>th</sup>), Fontana (20<sup>th</sup>), Moreno Valley (21<sup>st</sup>), Rancho Cucamonga (27<sup>th</sup>). The housing slowdown reduced population growth from 2010-2011. The area had four of the state's 12 fastest growth rates (*not shown*): Desert Hot Springs (5.9%, 1<sup>st</sup>), Beaumont (4.7%; 2<sup>nd</sup>), Menifee (2.8%, 11<sup>th</sup>), Perris (2.8%, 12<sup>th</sup>). Three ranked in the top 12 in absolute growth: Riverside (3,965, 9<sup>th</sup>), San Bernardino (3,080; 11<sup>th</sup>) and Fontana (3,003; 12<sup>th</sup>).

**Taxable Retail Sales.** Taxable sales are a major city revenue source that has been hit hard in the current downturn. The CA Board of Equalization reports the data quarterly, a year after they occur. Hinterliter DeLlomas provides data within three months. In fiscal year 2009-2010, San Bernardino County's sales rose 3.9% to \$24.5 billion. Riverside County's sales increased 3.9% to \$23.1 billion (*Exhibit 1*). Inland Empire (3.9%) growth was a little below California (4.6%). In the first half of 2011, inland sales expanded by 10.0%.

Inland Empire's cities mostly gained in 2010 retail sales. Ontario (\$4.82 billion) and Riverside (\$3.72 billion) had the most sales, followed by Corona (\$2.40 billion), Temecula (\$2.18 billion) and San Bernardino (\$2.08 billion). Fontana (\$2.03 billion) regained sixth, passing Rancho Cucamonga (\$1.92 billion). Victorville (\$1.36 billion) moved to eighth ahead of Chino (\$1.30 billion) and Palm Desert (\$1.26 billion). Sales fell in only 8 of 50 Inland Empire cities. Banning (-6.5%) led, followed by Indian Wells (-4.0%), Yucca Valley (-3.1%) and Redlands (-3.0%). Of the 42 cities with expanding sales, the largest gains were in three smaller cities: Canyon Lake (24.8%), Desert Hot Springs (21.5%) and Calimesa (14.5%), plus Fontana (13.4%). These gains came despite unemployment fluctuating on either side of 14%.

Per capita sales reveal how well sales taxes finance city services for each resident. In 2010, the leaders were Ontario (\$28,406), Big Bear Lake

*Continued on page 2*

1 INLAND EMPIRE CITY PROFILE																		
City	Population				Taxable Retail Sales				Assessed Valuation				Financial Deposits					
	2011	Rank	2000-2011 Change	Rank	2010 (mil)	Rank	% Chg.	Per Capita	Rank	July 1, 2011 (mil)	Rank	% Chg	Per Capita	Rank	2010 (mil)	Rank	Per Capita	Rank
<b>SAN BERNARDINO COUNTY</b>																		
Adelanto	31,671	36	13,541	22	\$128	42	8.8%	\$4,412	44	\$1,503	41	-2.8%	\$49,328	45	\$66	48	\$2,161	47
Apple Valley	69,668	20	15,429	20	\$434	28	1.0%	\$6,219	38	\$4,519	23	-0.7%	\$64,867	33	\$630	20	\$9,076	31
Barstow	22,839	42	1,720	43	\$577	22	10.9%	\$24,476	4	\$1,211	45	-2.6%	\$53,012	40	\$337	32	\$14,874	17
Big Bear Lake	5,051	49	(387)	50	\$151	39	0.6%	\$26,689	2	\$2,913	31	-1.5%	\$576,673	2	\$273	35	\$54,309	3
Chino	78,537	15	11,369	23	\$1,302	9	0.9%	\$18,113	8	\$8,814	13	0.2%	\$128,109	7	\$1,320	12	\$19,265	12
Chino Hills	75,345	17	8,558	29	\$530	25	0.5%	\$6,868	34	\$8,926	12	0.7%	\$118,462	9	\$1,080	14	\$14,394	18
Colton	52,498	25	4,836	36	\$498	27	4.2%	\$9,555	27	\$2,552	34	-1.2%	\$48,610	46	\$223	37	\$4,264	43
Fontana	198,456	3	69,528	1	\$2,027	6	13.4%	\$10,427	24	\$13,428	5	-0.9%	\$67,663	29	\$947	16	\$4,807	41
G. Terrace	12,109	46	483	47	\$77	46	11.5%	\$6,230	37	\$756	48	-1.2%	\$62,454	34	\$116	45	\$9,612	28
Hesperia	90,726	12	28,136	11	\$557	24	10.9%	\$6,217	39	\$4,329	25	-0.9%	\$47,715	47	\$654	19	\$7,232	36
Highland	53,444	23	8,819	28	\$162	38	10.2%	\$3,064	49	\$2,710	32	-0.1%	\$50,701	42	\$180	39	\$3,386	45
Loma Linda	23,395	41	4,167	38	\$308	32	5.5%	\$13,353	14	\$1,585	39	0.2%	\$67,746	28	\$375	29	\$16,085	15
Montclair	37,031	34	3,982	39	\$856	13	1.3%	\$22,969	5	\$2,519	35	0.3%	\$68,012	27	\$281	33	\$7,623	33
Needles	4,874	51	44	48	\$34	49	-2.4%	\$6,359	36	\$321	51	-2.9%	\$65,874	31	\$60	49	\$12,428	20
Ontario	165,392	6	7,385	32	\$4,828	1	4.6%	\$28,406	1	\$18,515	3	-1.3%	\$111,946	12	\$2,055	6	\$12,484	19
R. Cucamonga	168,181	5	40,438	7	\$1,922	7	0.0%	\$11,309	20	\$19,403	2	-0.1%	\$117,909	10	\$1,891	7	\$11,602	23
Redlands	69,231	21	5,640	35	\$800	17	-3.0%	\$11,339	19	\$6,585	17	-1.8%	\$95,118	16	\$2,119	5	\$30,730	4
Rialto	100,021	11	8,139	30	\$835	15	9.0%	\$8,342	29	\$5,545	22	-1.3%	\$55,437	36	\$466	24	\$4,680	42
San Bdn	211,076	2	25,694	14	\$2,075	5	3.8%	\$10,326	25	\$10,303	10	-1.8%	\$50,480	43	\$2,224	3	\$10,927	25
29 Palms	24,646	40	9,882	26	\$99	44	2.1%	\$3,568	46	\$815	47	0.8%	\$33,062	50	\$277	34	\$11,165	24
Upland	74,207	18	5,814	34	\$842	14	1.3%	\$11,208	21	\$6,958	16	1.5%	\$93,767	17	\$1,477	10	\$19,971	11
Victorville	117,219	8	53,190	3	\$1,362	8	2.9%	\$12,445	16	\$6,502	18	-2.7%	\$58,034	35	\$1,120	13	\$10,063	27
Yucaipa	51,717	26	10,510	25	\$212	36	-1.4%	\$4,106	45	\$3,346	30	0.4%	\$71,896	23	\$430	26	\$8,340	32
Yuca Valley	20,834	43	3,969	40	\$242	35	-3.1%	\$11,493	17	\$1,366	42	-0.2%	\$65,543	32	\$434	25	\$20,925	9
<b>SB County</b>	<b>2,052,397</b>		<b>342,258</b>		<b>\$24,571</b>		<b>3.9%</b>	<b>\$12,068</b>		<b>\$161,427</b>		<b>-0.9%</b>	<b>\$79,690</b>		<b>\$19,480</b>		<b>\$9,662</b>	
<b>RIVERSIDE COUNTY</b>																		
Banning	29,844	37	6,282	33	\$146	40	-6.5%	\$4,987	42	\$1,582	40	-4.2%	\$53,022	39	\$366	30	\$12,324	21
Beaumont	38,195	32	26,811	13	\$293	33	9.2%	\$8,104	31	\$2,652	33	-4.1%	\$69,424	25	\$239	36	\$6,391	38
Blythe	20,158	44	(307)	49	\$139	41	2.8%	\$10,752	22	\$607	49	-0.7%	\$49,974	44	\$135	42	\$10,772	26
Calimesa	7,941	48	802	45	\$61	48	14.5%	\$7,846	32	\$556	50	-1.2%	\$69,979	24	\$189	38	\$23,936	7
Canyon Lake	10,647	47	695	46	\$13	50	24.8%	\$1,197	50	\$1,319	44	-0.6%	\$123,890	8	\$78	47	\$7,390	34
Cathedral City	51,603	27	8,956	27	\$558	23	2.1%	\$10,688	23	\$3,424	29	-4.0%	\$66,345	30	\$149	41	\$2,895	46
Coachella	41,502	31	18,778	18	\$268	34	10.1%	\$6,369	35	\$1,365	43	-6.4%	\$32,891	51	\$60	50	\$1,457	50
Corona	153,649	7	28,683	10	\$2,395	3	-1.3%	\$15,756	10	\$15,772	4	-1.0%	\$102,653	15	\$1,814	8	\$11,875	22
Dsr't Hot Spr.	27,383	38	10,801	24	\$96	45	21.5%	\$3,550	47	\$1,195	46	1.0%	\$43,638	49	\$161	40	\$6,060	39
Eastvale	54,303	22	NA	NA	\$0	NA	NA	NA	NA	\$5,960	19	NA	\$109,754	14	\$133	43	\$4,896	40
Hemet	79,607	13	20,795	17	\$756	18	6.0%	\$9,723	26	\$4,071	26	-1.1%	\$51,139	41	\$1,607	9	\$20,349	10
Indian Wells	5,010	50	1,194	44	\$71	47	-4.0%	\$14,053	13	\$4,447	24	-3.7%	\$887,684	1	\$363	31	\$72,932	1
Indio	77,165	16	28,049	12	\$590	20	4.2%	\$7,339	33	\$5,919	20	-5.9%	\$76,702	19	\$527	22	\$6,922	37
Lk Elsinore	52,503	24	23,573	15	\$589	21	5.0%	\$11,377	18	\$3,880	27	-0.1%	\$73,909	20	\$384	28	\$7,388	35
La Quinta	37,836	33	14,142	21	\$625	19	0.2%	\$15,186	12	\$10,331	9	-5.0%	\$273,058	4	\$598	21	\$15,924	16
Menifee	79,444	14	36,375	8	\$381	29	10.9%	\$5,141	41	\$5,821	21	1.2%	\$73,268	21	\$742	17	\$9,475	30
Moreno Vly.	195,216	4	52,837	4	\$1,076	11	5.7%	\$5,608	40	\$10,445	8	0.7%	\$53,505	38	\$719	18	\$3,710	44
Murrieta	104,459	9	60,177	2	\$892	12	2.0%	\$8,662	28	\$9,645	11	-0.6%	\$92,337	18	\$987	15	\$9,511	29
Norco	27,060	39	2,903	41	\$356	31	4.4%	\$15,603	11	\$2,499	36	-0.0%	\$110,328	13	\$423	27	\$18,670	13
Palm Desert	49,111	28	7,956	31	\$1,258	10	3.6%	\$24,865	3	\$12,051	6	-4.6%	\$245,383	5	\$2,724	2	\$56,031	2
Palm Springs	45,002	29	2,197	42	\$823	16	7.8%	\$17,687	9	\$8,731	14	-3.6%	\$194,020	6	\$1,353	11	\$30,262	6
Perris	69,781	19	33,592	9	\$512	26	4.6%	\$8,200	30	\$3,838	28	1.2%	\$55,005	37	\$119	44	\$1,731	49
Rancho Mirage	17,463	45	4,214	37	\$356	30	-1.3%	\$20,650	7	\$7,160	15	-2.7%	\$410,017	3	\$526	23	\$30,397	5
Riverside	306,779	1	51,613	5	\$3,719	2	6.2%	\$12,584	15	\$22,039	1	-0.1%	\$72,099	22	\$5,457	1	\$18,507	14
San Jacinto	44,597	30	20,818	16	\$185	37	5.3%	\$4,531	43	\$2,069	38	-1.8%	\$46,402	48	\$89	46	\$2,010	48
Temecula	101,657	10	43,941	6	\$2,181	4	6.1%	\$21,109	6	\$11,728	7	0.2%	\$115,372	11	\$2,174	4	\$21,607	8
Wildomar	32,543	35	18,479	19	\$110	43	9.7%	\$3,405	48	\$2,232	37	-2.1%	\$68,595	26	\$45	51	\$1,399	51
<b>Riv County</b>	<b>2,217,778</b>		<b>672,391</b>		<b>\$23,093</b>		<b>3.9%</b>	<b>\$10,709</b>		<b>\$198,388</b>		<b>-1.6%</b>	<b>\$90,003</b>		<b>\$22,280</b>		<b>\$10,237</b>	
<b>Inl. Empire</b>	<b>4,270,175</b>		<b>1,014,649</b>		<b>\$47,664</b>		<b>3.9%</b>	<b>\$11,369</b>		<b>\$359,815</b>		<b>-1.3%</b>	<b>\$85,064</b>		<b>\$41,760</b>		<b>\$9,961</b>	

Source: CA Finance Dept., E-5 Population Report; CA Bd. of Equalization, Taxable Retail Sales; San Bernardino/Riverside Co. Assessors' Offices, High Line Data

City	EXISTING HOMES						NEW HOMES						INCOME					
	2010 Volume	09-10 Rank	09-10 %Chg	2011 2nd Q Median P	10-11 Rank	2011 %Chg	2011 Pmt.	2010 Volume	09-10 Rank	09-10 %Chg	2011 2nd Q Median P	10-11 Rank	2011 %Chg	2011 Pmt.	2009 Median	2009 Rank	2009 (mil.)	2009 Rank
<b>SAN BERNARDINO COUNTY</b>																		
Adelanto	747	28	-34.1%	\$81,000	49	-5.8%	\$375	36	29	-74.1%	\$179,000	40	0.6%	\$828	\$39,645	43	\$294	47
Apple Valley	1,333	17	-17.4%	\$100,057	44	-9.0%	\$463	85	19	-57.7%	\$227,609	29	30.5%	\$1,053	\$53,692	24	\$1,513	19
Barstow	326	43	-6.6%	\$50,000	51	-5.7%	\$231	30	30	-18.9%	\$204,000	36	-13.7%	\$944	\$47,265	35	\$445	40
Big Bear Lk	439	39	14.0%	\$220,000	18	-10.9%	\$1,018	3	43	-57.1%	\$155,000	42	-32.6%	\$717	\$32,425	48	\$155	49
Chino	598	33	-3.9%	\$280,885	10	-6.4%	\$1,299	217	11	-33.2%	\$409,587	4	11.7%	\$2,038	\$68,932	11	\$1,722	17
Chino Hills	697	29	-8.8%	\$415,000	3	-8.8%	\$2,065	78	23	-22.0%	\$761,000	2	127.7%	\$3,786	\$99,172	2	\$2,219	10
Colton	550	34	-23.1%	\$130,000	37	-7.1%	\$601	3	43	200.0%	\$105,000	47	17.3%	\$486	\$45,396	36	\$802	29
Fontana	3,112	5	-24.0%	\$213,338	20	-4.4%	\$987	312	6	-38.5%	\$312,500	14	10.7%	\$1,446	\$59,185	18	\$3,171	5
G. Terrace	96	48	-5.0%	\$183,500	24	-18.4%	\$849	0	NA	NA	\$200,000	38	NA	\$925	\$61,293	17	\$303	46
Hesperia	1,787	11	-19.9%	\$100,000	45	-2.4%	\$463	22	36	-4.3%	\$150,000	45	20.0%	\$694	\$47,307	34	\$1,314	22
Highland	610	32	-17.0%	\$175,000	27	1.9%	\$810	13	38	-64.9%	\$330,000	13	450.0%	\$1,527	\$59,097	19	\$1,052	27
Loma Linda	183	46	11.6%	\$240,000	14	-4.2%	\$1,110	1	47	-87.5%	NA	NA	NA	NA	\$52,388	26	\$617	36
Montclair	287	44	-8.9%	\$220,500	17	-8.1%	\$1,020	37	28	2.8%	\$290,000	16	-12.7%	\$1,342	\$51,101	28	\$540	39
Needles	45	51	73.1%	\$54,000	50	-21.7%	\$250	0	NA	NA	NA	NA	NA	\$30,114	50	\$97	50	
Ontario	1,163	19	-15.4%	\$218,037	19	-3.0%	\$1,009	79	22	-28.8%	\$250,607	22	-7.2%	\$1,159	\$53,224	25	\$3,097	6
R. Cucamonga	1,513	14	-0.9%	\$354,588	5	3.1%	\$1,640	249	10	-17.3%	\$520,300	3	11.5%	\$2,589	\$73,103	9	\$5,442	2
Redlands	641	30	-1.1%	\$227,333	16	-5.5%	\$1,052	26	31	-40.9%	\$239,500	26	8.8%	\$1,108	\$67,258	12	\$2,068	11
Rialto	1,425	16	-17.1%	\$162,629	29	1.2%	\$752	52	26	73.3%	\$222,458	31	-22.1%	\$1,029	\$49,977	32	\$1,435	20
San Bdn	3,469	2	-23.5%	\$127,461	38	6.3%	\$590	134	16	-10.7%	\$248,629	24	13.2%	\$1,150	\$35,978	47	\$2,735	7
29 Palms	260	45	-0.8%	\$91,000	46	30.0%	\$421	26	31	-16.1%	\$211,000	34	11.1%	\$976	\$44,629	38	\$569	38
Upland	528	35	-11.3%	\$360,258	4	-4.8%	\$1,793	23	34	27.8%	\$343,077	10	-46.0%	\$1,587	\$65,333	14	\$1,977	13
Victorville	2,243	7	-21.0%	\$114,819	42	-4.0%	\$531	253	9	-11.5%	\$181,115	39	-4.4%	\$838	\$50,496	31	\$1,797	15
Yucaipa	636	31	13.2%	\$198,000	23	1.5%	\$916	12	39	-80.0%	\$340,750	11	-22.9%	\$1,576	\$56,914	20	\$1,274	23
Yucca Valley	509	36	-9.3%	\$85,000	48	-6.1%	\$393	21	37	133.3%	\$265,000	19	20.5%	\$1,226	\$44,091	40	\$443	41
<b>SB County</b>	<b>27,020</b>		<b>-15.7%</b>	<b>\$150,000</b>		<b>-3.2%</b>	<b>\$694</b>	<b>1,730</b>		<b>-26.0%</b>	<b>\$260,000</b>		<b>-1.2%</b>	<b>\$1,203</b>	<b>\$52,320</b>		<b>\$39,963</b>	
<b>RIVERSIDE COUNTY</b>																		
Banning	494	37	-12.3%	\$125,250	39	-3.7%	\$579	2	46	-50.0%	\$105,000	47	-41.2%	\$486	\$36,815	46	\$571	37
Beaumont	863	25	1.5%	\$172,500	28	-8.6%	\$798	416	4	-25.7%	\$243,000	25	10.5%	\$1,124	\$64,741	15	\$752	31
Blythe	78	49	1.3%	\$116,250	41	-11.9%	\$538	6	41	-25.0%	\$226,000	30	1.8%	\$1,046	\$41,440	42	\$304	45
Calimesa	57	50	-30.5%	\$152,500	32	-7.3%	\$706	1	47	0.0%	NA	NA	NA	NA	\$50,893	29	\$195	48
Canyon Lake	427	40	-19.9%	\$207,000	21	1.2%	\$958	3	43	-70.0%	\$265,000	19	-11.7%	\$1,226	\$88,382	3	\$386	44
Cathedral City	800	27	-10.5%	\$145,000	34	-9.4%	\$671	25	33	78.6%	\$153,500	44	-27.6%	\$710	\$42,927	41	\$1,103	26
Coachella	443	38	-29.9%	\$118,500	40	-15.7%	\$548	71	24	-19.3%	\$155,000	42	-8.4%	\$717	\$39,475	44	\$412	42
Corona	3,232	4	-16.5%	\$307,466	9	-3.2%	\$1,422	828	1	9.5%	\$387,575	6	0.0%	\$1,928	\$74,349	8	\$3,367	3
Dsr't Hot Spr.	1,020	22	-24.3%	\$88,645	47	-12.0%	\$410	23	34	-69.7%	\$121,500	46	-41.3%	\$562	\$36,933	45	\$389	43
Eastvale	913	23	0.0%	\$340,000	6	-4.2%	\$1,573	650	2	0.0%	\$380,000	7	-5.2%	\$1,891	NA	NA	NA	NA
Hemet	1,864	10	-19.6%	\$113,863	43	-7.7%	\$527	108	17	-23.4%	\$207,000	35	0.0%	\$958	\$31,032	49	\$1,154	25
Indian Wells	147	47	48.5%	\$556,818	1	-33.5%	\$2,771	9	40	350.0%	\$876,250	1	-36.7%	\$4,360	\$134,615	1	\$620	35
Indio	1,598	13	-3.4%	\$153,424	31	-15.7%	\$710	210	12	-37.3%	\$229,667	27	3.1%	\$1,063	\$45,263	37	\$1,403	21
Lk Elsinore	1,433	15	-19.6%	\$181,667	25	0.4%	\$840	169	14	-19.5%	\$255,221	21	-7.8%	\$1,181	\$62,644	16	\$987	28
La Quinta	1,110	20	8.7%	\$232,000	15	-39.6%	\$1,073	69	25	-43.0%	\$360,000	9	-24.5%	\$1,791	\$75,344	7	\$1,917	14
Menifee	1,948	9	-6.6%	\$178,318	26	-0.0%	\$825	421	3	-4.5%	\$220,799	33	-19.8%	\$1,021	\$50,886	30	\$1,631	18
Moreno Vly.	3,279	3	-29.1%	\$160,680	30	-1.9%	\$743	135	15	-27.4%	\$266,000	18	-8.0%	\$1,231	\$55,344	23	\$3,352	4
Murrieta	2,323	6	-12.3%	\$247,316	13	-3.3%	\$1,144	312	6	43.1%	\$283,175	17	-3.7%	\$1,310	\$78,588	5	\$2,688	8
Norco	346	42	-9.7%	\$313,000	8	1.8%	\$1,448	0	NA	NA	\$229,000	28	-58.0%	\$1,059	\$86,777	4	\$677	33
Palm Desert	874	24	16.7%	\$278,996	11	-19.5%	\$1,291	50	27	-40.1%	\$249,123	23	31.9%	\$1,153	\$55,691	22	\$1,999	12
Palm Springs	863	25	14.8%	\$317,245	7	-11.0%	\$1,468	85	19	-17.4%	\$375,900	8	-3.7%	\$1,870	\$44,219	39	\$1,734	16
Perris	1,610	12	-32.8%	\$150,000	33	-4.4%	\$694	307	8	20.1%	\$221,188	32	7.8%	\$1,023	\$51,218	27	\$752	30
Rancho Mirage	376	41	17.1%	\$510,000	2	-15.4%	\$2,538	6	41	-67.4%	\$393,750	5	-34.9%	\$1,959	\$71,833	10	\$1,185	24
Riverside	4,702	1	-14.9%	\$202,677	22	0.2%	\$938	198	13	-40.7%	\$308,729	15	-35.3%	\$1,428	\$56,552	21	\$6,322	1
San Jacinto	1,052	21	-27.2%	\$130,500	36	-5.7%	\$604	103	18	32.0%	\$166,375	41	-16.0%	\$770	\$47,530	33	\$641	34
Temecula	2,039	8	-2.4%	\$274,540	12	-1.9%	\$1,270	408	5	10.4%	\$330,310	12	3.8%	\$1,528	\$76,221	6	\$2,583	9
Wildomar	1,191	18	-23.1%	\$141,830	35	-4.5%	\$656	82	21	-76.5%	\$202,500	37	-9.4%	\$937	\$66,491	13	\$738	32
<b>Riv County</b>	<b>34,935</b>		<b>-14.7%</b>	<b>\$189,000</b>		<b>-5.0%</b>	<b>\$874</b>	<b>4,343</b>		<b>-14.3%</b>	<b>\$290,000</b>	<b>40</b>	<b>7.4%</b>	<b>\$1,342</b>	<b>\$55,352</b>		<b>\$45,980</b>	
<b>Inl. Empire</b>	<b>61,955</b>		<b>15.2%</b>	<b>\$171,800</b>		<b>-4.4%</b>	<b>\$795</b>	<b>6,073</b>		<b>-18.0%</b>	<b>\$281,400</b>	<b>29</b>	<b>4.7%</b>	<b>\$1,302</b>	<b>\$53,906</b>		<b>\$85,943</b>	

Source: Dataquik, U.S. Census Bureau, Economics &amp; Politics, Inc. Mortgage payments based on 3% down, 30-year term at 4.11% rate (5.70% for jumbo loans).

(\$26,689) and Palm Desert (\$24,685). Barstow (\$24,476) moved up to fourth passing Montclair (\$22,969). Canyon Lake (\$1,197), Highland (\$3,064) and Wildomar (\$3,405) were the weakest [Note: *population not in per capita calculations*].

**Assessed Valuation.** Assessed valuation is important since property taxes are also a major municipal revenue source with values again impacted by declining property values. On July 1, 2011, San Bernardino County's valuation was \$161 billion, down -0.9%. Riverside County's was \$198 billion, down -1.6%. For cities, assessed valuation tends to follow industrial and housing development. The top five cities were unchanged from 2010: Riverside (\$22.0 billion), Rancho Cucamonga (\$19.4 billion), Ontario (\$18.5 billion), Corona (\$15.8 billion) and Fontana (\$13.4 billion). Though San Bernardino is second in population and has an industrial base, its low home values put its valuation (\$10.3 billion) at just tenth. 37 of 50 cities saw their FY 2012 assessed valuation decline led by declines of -2% to -6% by Coachella Valley cities, except Desert Hot Springs (+1.0%). The 13 cities with increases were led by Upland (1.5%).

Assessed value per capita measures the ability of property taxes to support city services for each resident. Here, five Coachella Valley cities continued to be the strongest led by Indian Wells (\$887,684) and third ranked Rancho Mirage (\$410,017) followed by La Quinta (\$273,058), Palm Desert (\$245,383) and Palm Springs (\$194,020). Two smaller cities did well: 2<sup>nd</sup> ranked Big Bear Lake (\$576,673) and 8<sup>th</sup> ranked Canyon Lake (\$123,890). Ranked 7<sup>th</sup> and 9<sup>th</sup> to 11<sup>th</sup> were cities near the coastal counties: Chino (\$128,109), Chino Hills (\$118,462), Rancho Cucamonga (\$117,909) and Temecula (\$115,372). Four East SB Valley cities were weak: Highland (42<sup>nd</sup>, \$50,701), San Bernardino (43<sup>rd</sup>, \$50,480) and Colton (46<sup>th</sup>, \$48,610) as was San Jacinto (48<sup>th</sup>, \$46,402). Outlying desert cities ranked in the bottom tier: Hesperia (47<sup>th</sup>, \$47,715), Desert Hot Springs (49<sup>th</sup>, \$43,638), Twentynine Palms (50<sup>th</sup>, \$33,062) and Coachella (51<sup>st</sup>, \$32,891).

**Financial Deposits.** Financial deposits are the only available indicator of local wealth since there is no local measure of stock market investments. In 2010, Inland Empire's deposits from HighLine Data were up 3.4% to \$41.7 billion. Riverside County's deposits rose 0.4% to \$22.3 billion; San Bernardino County's rose 7.0% to \$19.5 billion.

Riverside (\$5.46 billion) had the most deposits followed by Palm Desert (\$2.72 billion) which passed San Bernardino (\$2.22 billion). Temecula (\$2.17 billion) was next along with Redlands (\$2.12 billion) which re-passed Ontario (\$2.05 billion). Coachella Valley cities had the highest deposits per capita led by Indian Wells (\$72,932) and Palm Desert (\$56,031). Big Bear Lake (\$54,309) ranked third, followed by Redlands (\$30,730), Rancho Mirage (\$30,397) and Palm Springs (\$30,262).

**Home Sales Volumes.** Dataquick provides home deed recordings by zip code using county recorders' data. In 2010, sales declined owing to the fear in the marketplace despite low rates and prices plus high affordability. San Bernardino County's 2010 **existing home sales** recordings fell -15.7% to 27,020 units; Riverside County decreased by -14.7% to 34,935 (Exhibit 2). Except for Ontario (1,163, 19<sup>th</sup>), the largest cities had the most existing home sales. The five leaders were Riverside (4,702), San Bernardino (3,469), Moreno Valley (3,279), Corona (3,232) and Fontana (3,112). Just 11 of 51 inland cities saw existing home sales growth with small markets dominant. Needles (73.1%; \$54,000) led with the lowest prices.

Indian Wells (48.5%; \$556,818) and Rancho Mirage (17.1%; \$510,000) were next with the highest prices. Sales declines occurred 38 of 50 inland cities. Except for Calimesa (-30.5%), the biggest declines were in former housing "hot spots:" Adelanto (-34.1%), Perris (-32.8%), Coachella (-29.9%), San Jacinto (-27.2%).

Riverside County's 2010 **new home sales** fell -14.3% to 4,343 units; San Bernardino County saw a drop of -26.0% to 1,730. Sales exceeded 400 in Corona (828), Eastvale (650), Menifee (421), Beaumont (416) and Temecula (408). Only 12 of 51 cities had increased new home sales all to low levels. They were led by Indian Wells (350.0% to 9), Colton (200.0% to 3), Yucca Valley (133.3% to 21), Cathedral City (78.6% to 25) and Rialto (73.3% to 52). Three cities had no new home sales in 2010.

**Home Prices.** From third quarter 2010-2011, Riverside County's **median existing home price** fell -5.0% to \$189,000; San Bernardino County's fell -3.2% to \$150,000. The highest 2011 prices were in Indian Wells (\$556,818), Rancho Mirage (\$510,000), Chino Hills (\$415,000), Upland (\$360,258) and Rancho Cucamonga (\$354,588). Three outlying desert cities again saw the lowest prices: Adelanto (\$81,000), Needles (\$54,000) and Barstow (\$50,000). Prices increased in 10 of 51 cities led by: Twentynine Palms (30.0% to \$91,000), San Bernardino (6.3% to \$127,461) and Rancho Cucamonga (3.1% to \$354,588).

San Bernardino County's **median new home price** fell -1.2% to \$260,000; Riverside County's increased 7.4% to \$290,000. The highest prices were in Indian Wells (\$876,250), Chino Hills (\$761,000), Rancho Cucamonga (\$520,300), Chino (\$409,587) and Rancho Mirage (\$393,750). At \$150,000 or less were: Colton and Banning (\$105,000), Desert Hot Springs (\$121,500) and Hesperia (\$150,000).

Lower prices and mortgages mean Inland Empire homes cost less per month in 2011. Using 3% down, 30-year FHA financing at a 4.11% interest rate (5.75% *jumbo*), Exhibit 2 shows each city's median home payment in second quarter 2011, including points, fees, taxes and insurance. In San Bernardino County, payments were \$694 on its \$150,000 median **existing home** versus \$713 in 2010. In Riverside County, they were \$874 on its \$200,000 median existing home versus \$950 in 2010.

**Income.** The income levels for 20 cities of 65,000 or more are from the 2009 American Community Survey (ACS). Another 24 cities with 20,000-64,999 people are from the 2007-2009 American Community Survey. The seven cities under 20,000 people are from 2005-2009 data. The highest median incomes were in Indian Wells (\$134,615), Chino Hills (\$99,172), Canyon Lake (\$88,382), Norco (\$86,777) and Murrieta (\$78,588). For comparison, Beverly Hills was \$84,336. Total personal income was led by Riverside (\$6.32 billion), Rancho Cucamonga (\$5.44 billion) and Corona (\$3.37 billion). Moreno Valley (\$3.35 billion) passed Fontana (\$3.17 billion).

**Most Prosperous?** Which Inland Empire cities are the most economically prosperous? Summing city rankings for *per capita* retail sales, *per capita* assessed value, *per capita* financial deposits, as well as absolute population growth, median income and median price of all homes, commute times balances could yield a perfect score of 7 for seven first places or a worst score of 350 from seven 50<sup>th</sup> places. In 2010-2011, the best 10 scores on these criteria were: Temecula (53), Palm Desert (66), Rancho Cucamonga (69), Corona (71), Rancho Mirage and Chino (79), Riverside (81), La Quinta (82), Palm Springs (88), Ontario (91). ■

## INLAND EMPIRE EMPLOYMENT ... FINALLY, JOB GROWTH!

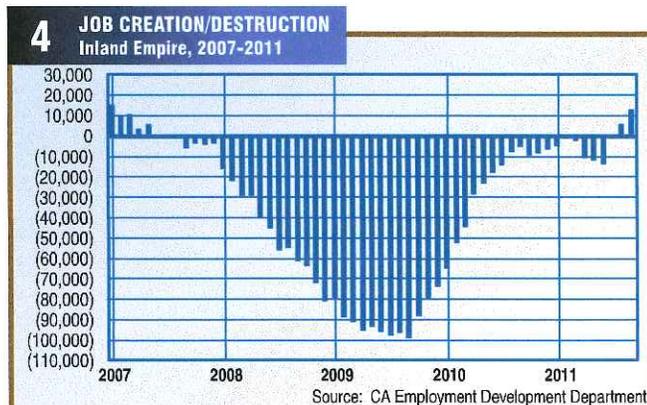
In September 2011, the CA Employment Development Department estimated that the Inland Empire was up 12,700 jobs or 1.1% from September 2010 (*Exhibit 3*). Combined with dramatically revised August data (-12,600 to +5,900), these were the first job gains in four years (*June 2007*) (*Exhibit 4*). The area's September 2011 unemployment rate of 13.4% was down from 14.6% last year, with 20,000 more people working and 100 more people re-entering the workforce.

### CLEAN WORK, GOOD PAY: -2,800 JOBS (-1.5%)

For the Inland Empire, the weakest group was its higher paying sectors. Since September 2010, they lost -2,800 jobs (-1.5%). Higher education gained 800 positions (5.4%) as people flocked to schools. Utilities added 200 jobs (3.4%) and mining added 100 jobs (10.0%). However, budget difficulties caused local governments to drop -400 positions (-0.5%) and federal and state government to lose -800 (-2.0%). The disappointment was a loss of -2,700 jobs in management and professions (-6.2%).

### CLEAN WORK, MODERATE PAY: +8,400 JOBS (2.8%)

Sectors paying moderate incomes to white collar workers were the Inland Empire's strongest group, adding 8,400 jobs (2.8%). Administrative support firms performing routine activities for the day-to-day operations of other organizations added 5,200 jobs (12.2%). K-12 education added 1,200 jobs despite the budget crisis (1.2%). Health care continued growing, up 3,400 jobs (3.3%) due to out-patient office and hospital growth. Publishing/information added 200 positions (1.3%) as its long term decline halted. The financial sector lost -1,600 people (-3.9%) due to the continuing impact of the mortgage crisis.



### 3 INLAND EMPIRE EMPLOYMENT INFORMATION 2010-2011

Sector	Jul-11	Aug-11	Sep-11	Sep-10	10-11 Change	Percent
Higher Education	14,800	14,300	15,600	14,800	800	5.4%
Utilities	5,900	5,900	6,000	5,800	200	3.4%
Mining	1,100	1,100	1,100	1,000	100	10.0%
Local Government	77,400	78,100	78,300	78,700	(400)	-0.5%
Federal & State	39,400	39,400	39,300	40,100	(800)	-2.0%
Mgmt & Professions	40,300	40,800	40,700	43,400	(2,700)	-6.2%
<b>Clean Work, Good Pay</b>	<b>178,900</b>	<b>179,600</b>	<b>181,000</b>	<b>183,800</b>	<b>(2,800)</b>	<b>-1.5%</b>
Admin. Support	44,500	47,400	47,900	42,700	5,200	12.2%
Health Care	108,500	108,000	107,700	104,300	3,400	3.3%
Education	89,300	96,400	97,400	96,200	1,200	1.2%
Publish, telecomm, Other	16,300	16,900	16,100	15,900	200	1.3%
Financial Activities	40,800	40,400	39,400	41,000	(1,600)	-3.9%
<b>Clean Work, Moderate Pay</b>	<b>299,400</b>	<b>308,500</b>	<b>308,500</b>	<b>300,100</b>	<b>8,400</b>	<b>2.8%</b>
Distribution & Transportation	113,600	113,800	115,500	110,400	5,100	4.6%
Construction	59,500	59,500	60,500	59,600	900	1.5%
Manufacturing	85,800	85,700	85,100	85,100	0	0.0%
<b>Dirty Work, Moderate Pay</b>	<b>258,900</b>	<b>259,000</b>	<b>261,100</b>	<b>255,100</b>	<b>6,000</b>	<b>2.4%</b>
Employment Agcy	36,500	37,100	37,800	36,800	1,000	2.7%
Retail Trade	153,200	154,100	153,800	152,800	1,000	0.7%
Social Assistance	13,000	14,000	14,400	13,500	900	6.7%
Other Services	36,900	37,100	37,800	37,000	800	2.2%
Amusement	15,100	14,900	14,500	14,300	200	1.4%
Agriculture	15,000	12,500	12,800	12,900	(100)	-0.8%
Accommodation	13,300	13,200	13,100	13,200	(100)	-0.8%
Eating & Drinking	90,800	89,300	89,500	92,100	(2,600)	-2.8%
<b>Lower Paying Jobs</b>	<b>373,800</b>	<b>372,200</b>	<b>373,700</b>	<b>372,600</b>	<b>1,100</b>	<b>0.3%</b>
<b>Total, All Industries</b>	<b>1,111,000</b>	<b>1,119,300</b>	<b>1,124,300</b>	<b>1,111,600</b>	<b>12,700</b>	<b>1.1%</b>
Civilian Labor Force	1,749,400	1,748,200	1,753,800	1,753,700	100	0.0%
Employment	1,492,700	1,502,200	1,518,100	1,498,000	20,100	1.3%
Unemployment	256,700	246,000	235,700	255,700	(20,000)	-7.8%
Unemployment Rate	14.7%	14.1%	13.4%	14.6%	-1.1%	-7.8%

Source: Employment Development Department

### DIRTY WORK, MODERATE PAY: +6,000 (2.4%)

From September 2010-2011, the Inland Empire's blue collar sectors that fundamentally drive its economy added 6,000 jobs (2.4%). Distribution and warehousing gained 5,100 jobs (4.6%) as the growth of trade through Southern California's ports boosted the area. Construction increased by 900 jobs (1.5%) largely due to non-residential building, the first gain since September 2006. Manufacturing was flat (0.0%) as firms paused in light of weak national economic news.

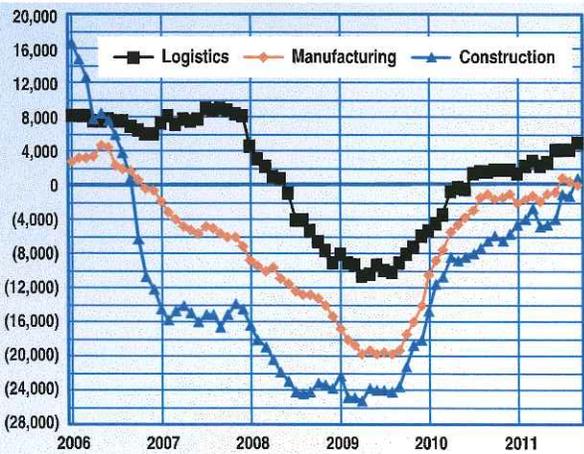
### LOWER PAYING JOBS: +1,100 (0.3%)

With the job growth just starting, there was only slight growth in population serving jobs, up 1,100 (0.3%). They normally lag behind growth in the sectors bringing money to the area. Employment agencies added 1,000 jobs (2.7%), another sign that recovery is starting. Retailing added 1,000 positions (0.7%), other services increased by 800 (2.2) and amusement was up 200 (1.4%) as consumers finally increased their spending. Social assistance was up 900 jobs (6.7%) as many families still need help. The greatest weakness was in eating and drinking, -2,600 jobs (-2.8%) as families are still being careful with their budgets.

### COMMENT

The hoped for recovery in 2011 may finally be starting. The private sector has been adding jobs for much of the year. Public sector losses are no longer overshadowing them. ■

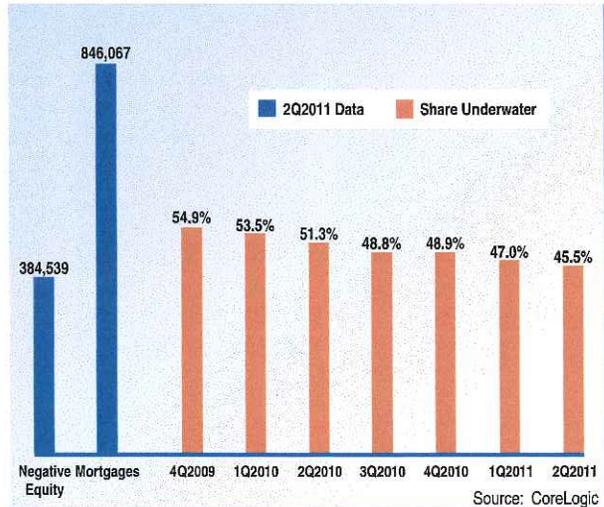
## 5 BLUE COLLAR JOB CREATION / DESTRUCTION Inland Empire, 2006-2011



Note: Change from same month prior year  
Source: CA Employment Development Department

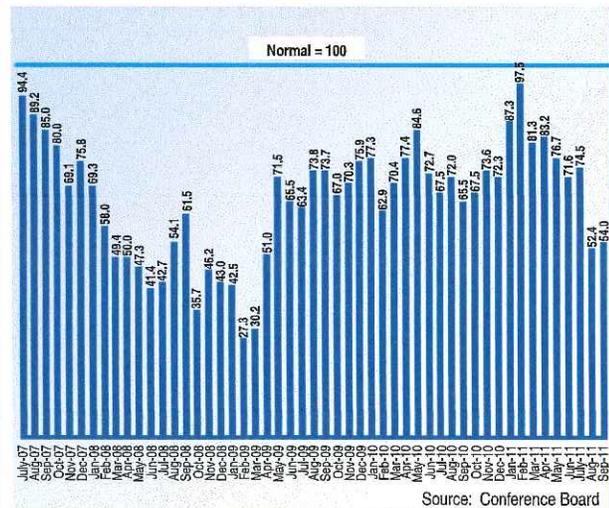
**Blue Collar Job Trend.** Fundamentally, the Inland Empire's economy is driven by blue collar sectors bringing money to it from the rest of the world. These sectors are crucial given the 47% of inland adults with high school or less schooling. These sectors were all shrinking by mid-2008 due to the Great Recession. The last to decline and the first to turn positive was logistics due to port related trade handled in local warehouses. In the past three months, manufacturing went positive but has now drifted down to flat. Construction had its first increase in four years in September 2011.

## 6 SHARE OF MORTGAGES UNDERWATER Inland Empire, 4th 2009 - 2nd 2011



**Homes Underwater.** In second quarter 2011, 846,067 of the Inland Empire's 1,086,305 homes had mortgages. The other 240,238 were paid off. Unfortunately, of those with mortgage debt, 384,539 had negative equity or were "underwater." If they were sold tomorrow, the owners would still owe money on them. That represents 35.4% of all the area's homes (not shown) and 45.5% of those with mortgages. That is down from 54.9% in fourth quarter 2009, so the trend is good. However, until the number underwater houses approaches zero, the region will not see much, if any, residential construction and its economic difficulties will continue.

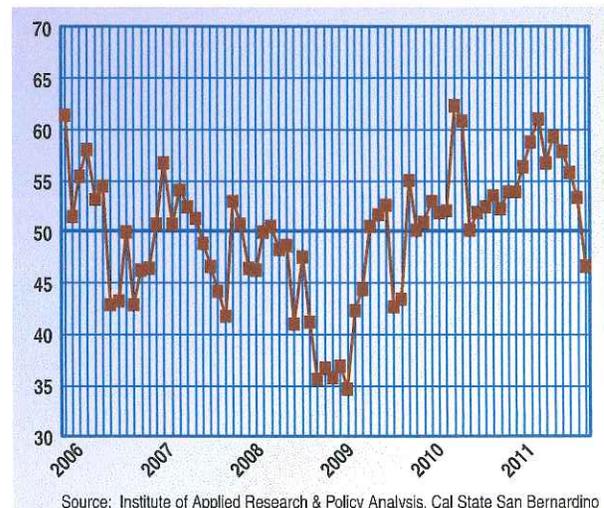
## 7 U.S. CONSUMER CONFIDENCE Future Outlook, July 2007 - Present



Source: Conference Board

**Consumer Confidence.** In September 2011, the Conference Board's Consumer Confidence future outlook measure was at 54.0 (100 = normal), roughly equal to its April 2009 level. That is down from 97.5 as recently as February 2011 and shows how much the Congressional budget fight, wild stock market swings and European financial crisis have raised the fear level in the U.S. These future views are important in decisions to buy items like houses and autos. Importantly, if continuing budget battles convince people that the U.S. cannot be governed, a double dip recession is possible.

## 8 PURCHASING MANAGER'S INDEX Inland Empire, 2006-2011



Source: Institute of Applied Research & Policy Analysis, Cal State San Bernardino

**Purchasing Managers Index.** To track the likely direction of manufacturing activity, economists interview the purchasing managers charged with buying or canceling orders for the supplies needed for production. Cal State San Bernardino does this in the Inland Empire. Any reading over 50 indicates expansion. This had occurred from mid 2010 to August 2011. The index correctly predicted that local manufacturing employment would rise. However, the index went below 50 in September 2011 just as manufacturing job growth fell to zero. Locally, this is where the fear of a double dip recession is showing up in business decision making.

9

**SINGLE FAMILY HOME PRICES**  
 3rd Quarter, 2010-2011

County	3rd Qtr-10	3rd Qtr-11	% Chg.
<b>NEW HOMES</b>			
Riverside	\$270,000	\$290,000	7.4%
San Bernardino	263,250	260,000	-1.2%
Los Angeles	425,000	362,000	-14.8%
Orange	604,000	583,000	-3.5%
San Diego	465,000	455,000	-2.2%
Ventura	340,000	343,000	0.9%
So. California	\$393,200	\$382,700	-2.7%
<b>EXISTING HOMES</b>			
Riverside	\$199,000	\$189,000	-5.0%
San Bernardino	155,000	150,000	-3.2%
Los Angeles	349,000	329,000	-5.7%
Orange	522,500	485,000	-7.2%
San Diego	375,000	352,000	-6.1%
Ventura	420,000	399,000	-5.0%
So. California	\$313,400	\$298,100	-4.9%

Source: Dataquick

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**HOME DEED RECORDINGS**  
 Inland Empire, 3rd Quarter, 2010-2011

NEW HOMES				EXISTING HOMES			
Area	3rd-10	3rd-11	% Chg.	Area	3rd-10	3rd-11	% Chg.
Redlands, Loma Linda, Yucaipa	7	30	328.6%	SB Desert	407	450	10.6%
San Bernardino, Highland	27	36	33.3%	SB Mountains	578	613	6.1%
SB Mountains	4	5	25.0%	Victor Valley	1,484	1,561	5.2%
Victor Valley	117	112	-4.3%	Redlands, Loma Linda, Yucaipa	396	408	3.0%
SB Desert	22	15	-31.8%	Chino, CHill, Mtcl, Ont, RC, Upl	1,212	1,197	-1.2%
Chino, CHill, Mtcl, Ont, RC, Upl	145	97	-33.1%	Fontana, Rialto, Colton, GT	1,395	1,313	-5.9%
Fontana, Rialto, Colton, GT	77	43	-44.2%	San Bernardino, Highland	837	765	-8.6%
<b>SAN BDNO COUNTY</b>	<b>399</b>	<b>338</b>	<b>-15.3%</b>	<b>SAN BDNO COUNTY</b>	<b>6,309</b>	<b>6,307</b>	<b>-0.0%</b>
Coachella Valley	54	73	35.2%	Beaumont, Banning, Calimesa	328	417	27.1%
Murrieta, Temecula, L. Elsinore, Wildomar	238	270	13.4%	Riverside Rural	581	693	19.3%
Riverside Rural	69	64	-7.2%	Coachella Valley	1,199	1,317	9.8%
Moreno Valley	21	18	-14.3%	Riverside, Jurupa Valley	1,157	1,177	1.7%
Corona, Norco, Eastvale	230	190	-17.4%	Corona, Norco, Eastvale	884	879	-0.6%
Riverside, Jurupa Valley	51	38	-25.5%	Murrieta, Temecula, L. Elsinore, Wildomar	1,757	1,679	-4.4%
Perris, Hemet, S. Jacinto, Menifee	281	145	-48.4%	Moreno Valley	776	736	-5.2%
Beaumont, Banning, Calimesa	117	52	-55.6%	Perris, Hemet, S. Jacinto, Menifee	1,960	1,849	-5.7%
<b>RIVERSIDE COUNTY</b>	<b>1,061</b>	<b>850</b>	<b>-19.9%</b>	<b>RIVERSIDE COUNTY</b>	<b>8,642</b>	<b>8,747</b>	<b>1.2%</b>
<b>INLAND EMPIRE</b>	<b>1,460</b>	<b>1,188</b>	<b>-18.6%</b>	<b>INLAND EMPIRE</b>	<b>14,951</b>	<b>15,054</b>	<b>0.7%</b>

Source: Dataquick

## HOME MARKETS: PRICES UP, VOLUME DECLINING SLOWLY

In second quarter 2011, the Inland Empire recorded 15,349 *seasonally adjusted* existing and new home sales. Volume has been relatively flat the past four quarters since reaching the 20,782 sales in the first quarter 2009 (*Exhibit 11*). For the first six months of 2011, the inland region was responsible for 35.7% of all home sales in Southern California (*Mexican border to Ventura County*).

**Sales.** Riverside County had 8,747 existing home sales in third quarter 2011, up 1.2% from 2010. As recordings come at the end of escrow, this included many sales from the second quarter. The Pass Area had the largest percentage gain, rising to 417 units (+27.1%). Perris, Hemet, San Jacinto, Menifee was the volume leader (1,849 sales; -5.7%). The county recorded 850 new home sales in third quarter 2011, off -19.9% from 2010 (*Exhibit 10*). The Coachella Valley led, growing 35.2% to 73 units. The volume leader was Murrieta, Temecula, Lake Elsinore, Wildomar (270 sales; up 13.4%).

San Bernardino County's existing home sales were essentially flat at 6,307 units from third quarter 2010-2011.

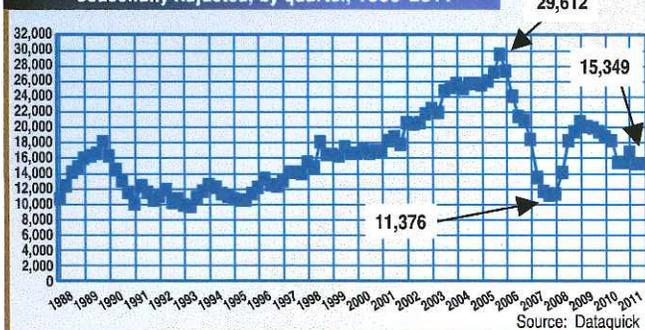
The outlying desert areas had the largest percentage gain, rising 10.6% to 450 units. The Victor Valley led in volume (1,561 sales; up 5.2%). The county's second quarter 2011 new home sales fell to 338 units, off -15.3% from 2010. Sales in Redlands, Loma Linda, Yucaipa had the best performance, up 328.6% to 30 units. The volume leader was the Victor Valley (112 sales; -4.3%).

**Prices.** Riverside County's third quarter 2011 median new home price was \$290,000, up slightly from \$289,000 in the prior quarter and up 7.4% from 2010 (\$270,000) (*Exhibit 9*). Its third quarter 2011 median existing home price was \$189,000, down -5.0% from \$199,000 in 2010 and above just under the prior quarter's \$190,000. San Bernardino County's median new home price was \$260,000 in third quarter 2011, down -1.2% from 2010 (\$263,250) but well above second quarter's \$230,000. Its existing median home price of \$150,000 was down -3.2% from 2010 (\$155,000) but above second quarter's \$146,000. Southern California's third quarter 2011 new home price of \$382,700 was off -2.7% from 2010 (\$393,200). The region's existing home price of \$298,100 was down -4.9% from \$313,400 in 2010.

Note: The Inland Empire's median price for all homes is much cheaper than for Southern California's coastal counties. Differences range from \$151,000 for Los Angeles County to \$313,000 for Orange County (*not shown*).

**The Future.** With affordability at record levels, interest rates low and 2011 prices relatively stable and remaining above the early 2009 lows, a firm floor has been put under the Inland Empire's housing market. How long it will be stuck at this level will still depend on the dissipation of consumer fears, the willingness of banks to lend, and the share of the large volume of "underwater" homes that become delinquent are taken by lenders and put on the market. ■

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**ALL HOME SALES, INLAND EMPIRE**  
 Seasonally Adjusted, by quarter, 1988-2011


Source: Dataquick

## WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS

*Continued from front page*

[vices Administration study](#) of federal LEED buildings found that the sustainably designed buildings cost less to operate and have superior energy performance compared to typical commercial buildings.

Not only do green buildings save costs through utility efficiencies, there is increasing evidence that they also result in higher assessed values and yield higher rents. A [landmark 2009 study](#) conducted by the University of San Diego and CB Richard Ellis Group, Inc. showed that green buildings have 3.5% lower vacancy rates and 13% higher rental rates than the market. A 2010 paper published in the [Journal of Real Estate Finance and Economics](#) reached similar conclusions, stating that “The evidence indicates that ‘green’ buildings achieve superior rents and sustain significantly higher occupancy. The improved performance in the rental market is reflected in a significant premium for the selling price of Energy Star-labeled and LEED-certified properties.” So did a study performed in 2009 examining the [effects of LEED certification on assessed and market values](#). That study concluded that buildings with LEED ratings and certifications have substantially increased assessed and market values.

If increased property and market values and decreased utility costs aren't enough, consider studies that suggest that employees are more productive in green buildings. One study conducted in Seattle of more than 30 green buildings found that worker absenteeism was 40% lower than in conventional

buildings. The previously-mentioned CBRE study found that tenants in green buildings are more productive, based on reduced sick days taken and measuring productivity increases. A [2010 study on the effects of green buildings on employee health and productivity](#) found that improved indoor environmental qualities contained in green buildings may positively affect public health.

Looking at these data, it seems to be a relative no brainer that public and private sector commitment to building green should be a matter of common practice. Several local governments already have, including the Riverside County Board of Supervisors which in 2009 adopted a policy requiring that all new county building projects meet the criteria for LEED certification. That policy also encourages private construction projects to incorporate LEED building practices. But in this downturned economy, practical doesn't always win out when the panic button gets hit. Despite mounting evidence supporting the financial viability of building green, the sometimes additional construction costs associated with building green can fuel protests against green mandates as a barrier to temporarily boosting construction. But the aforementioned studies, bolstered by countless additional work touting green jobs as a significant player in existing and future U.S. and world economies, should lay any calls for short-term mandates relief to rest. When it comes to how we build our structures in the future, going green already has proven to be practical, cost efficient, healthy and profitable.



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