

# PLANNING COMMISSION

## AGENDA

REGULAR MEETING OF THE HEMET PLANNING COMMISSION  
City Council Chambers  
450 East Latham Avenue, Hemet CA 92543

September 20, 2011  
6:00 PM

*If you wish to make a statement regarding any item on the agenda, please complete a Speaker Card and hand it to the clerk. When the Chairman calls for comments from the public on the item you wish to address, step forward to the lectern and state your name and address. **Only testimony given from the lectern will be heard by the Planning Commission and included in the record.***

### 1. CALL TO ORDER:

**Roll Call:** Chairman John Gifford, Vice Chairman Sharon Deuber, and Commissioners Vince Overmyer, David Rogers and Chauncey Thompson.

**Invocation and Flag Salute:** Commissioner Overmyer

### 2. INTRODUCTION OF NEW PRINCIPAL PLANNER – MR. EMERY PAPP – CDD *Deanna Elliano*

### 3. APPROVAL OF MINUTES:

A. Minutes for the Planning Commission Meeting of August 16, 2011

### 4. PUBLIC COMMENTS:

*Anyone who wishes to address the Commission regarding items **not on the agenda** may do so at this time. Please line up at the lectern when the Chairman asks if there are any communications from the public. When you are recognized, please give your name and address. Please complete a Speaker Card and hand it to the Clerk so that we have an accurate recording of your name and address for the minutes.*

5. **TRES CERRITOS EAST SPECIFIC PLAN AMENDMENT** – *It should be noted that this item is NOT a public hearing and no new action will be taken. The Resolution noted below is simply an affirmation of the Planning Commission's recommendation of denial that was imposed at the August 16, 2011 meeting.*

**A. Resolution of Denial for Tres Cerritos East Specific Plan Amendment No. 06-001**

“A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA RECOMMENDING TO THE CITY COUNCIL DENIAL OF SPECIFIC PLAN AMENDMENT NO. 06-001 AMENDING THE EASTER 162.8 ACRE PORTION OF THE HEMET VALLEY COUNTRY CLUB ESTATES SPECIFIC PLAN (SP 90-009) LOCATED ON THE NORTHWEST CORNER OF CAWSTON AVENUE AND DEVONSHIRE AVENUE (APN: 445-100-001, et. al.) AND RECOMMENDING THAT THE CITY COUNCIL CONSIDER THE REDUCED INTENSITY ALTERNATIVE AS PRESENTED IN THE ENVIRONMENTAL IMPACT REPORT.”

**B. Verbal Update on Tres Cerritos East Specific Plan Amendment No. 06-001** – *Ron Running*

**WORK STUDY ITEMS**

6. **WEST COURT VILLAS (Formerly CUP 06-014)**

APPLICANT: Empresa Construction, LLC  
AGENT: Nader Khoshniyati – ASAN, Inc.  
LOCATION: West side of Sanderson Avenue, north of Devonshire Avenue and South of Menlo Avenue  
PLANNER: Carole Kendrick  
DESCRIPTION: A work study session with discussion and possible direction to staff regarding a proposed conditional use permit for construction of the second phase of an existing four-plex condominium project, adding 12, two-story buildings that will house 48 units located on Delapp Drive.

7. **OVERVIEW OF ENVIRONMENTAL IMPACT REPORT PROCESS, STATEMENTS OF OVERRIDING CONSIDERATIONS, FINDINGS, AND FINAL EIR** – *Verbal presentation by CDD Deanna Elliano / City Attorney Tom Jex*

8. **DISCUSSION REGARDING APA PLANNING COMMISSION WORKSHOP OF AUGUST 19, 2011** – *Commission and staff comments regarding the workshop.*

## DEPARTMENT REPORTS

9. **INTRODUCTION AND PREVIEW OF THE DRAFT COMPREHENSIVE UPDATE TO THE GENERAL PLAN** – *Verbal presentation by CDD Deanna Elliano*
10. **COMMUNITY DEVELOPMENT DIRECTOR REPORTS:**
  - A. Report on City Council actions from the September 13<sup>th</sup> meeting
  - B. Cancellation of the October 4, 2011 Planning Commission meeting
11. **CITY ATTORNEY REPORTS:** *Verbal reports from Assistant City Attorney Tom Jex on items of interest to the Planning Commission*
12. **PLANNING COMMISSIONER REPORTS:** *Commissioner reports on meetings attended or other matters of Planning interest*
  - A. Chairman Gifford
  - B. Vice Chairman Deuber
  - C. Commissioner Overmyer
  - D. Commissioner Rogers
  - E. Commissioner Thompson
13. **FUTURE AGENDA ITEMS:** *Items to be scheduled for upcoming Planning Commission Meetings*
  - A. Report on “Human Signs” and other temporary signage in the City
  - B. Zoning Ordinance Amendment for Special Housing Classifications
  - C. Status report on Hemet ROCS
  - D. Status report on foreclosure activity
  - E. Downtown Façade Improvements
  - F. Medi-City Project Status Report
  - G. Report on Industrial Development Opportunities
14. **ADJOURNMENT:** To the regular meeting of the City of Hemet Planning Commission scheduled for **October 18, 2011 at 6:00 p.m.** to be held at the City of Hemet Council Chambers located at 450 E. Latham Avenue, Hemet, California 92543.

### NOTICE TO THE PUBLIC:

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Planning Department counter of City Hall located at 445 E. Florida Avenue during normal business hours. Agendas for Planning Commission meetings are posted at least 72 hours prior to the meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in the meeting, please contact the Planning Department office at (951) 765-2375. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to insure accessibility to the meeting. (28 CFR 35.102-35.104 ADA Title II).

PLANNING  COMMISSION

MEETING MINUTES

DATE: August 16, 2011 CALLED TO ORDER: 6:00 P.M.

MEETING LOCATION: City Council Chambers
450 East Latham Avenue
Hemet, CA 92543

1. CALL TO ORDER:

PRESENT: Chairman John Gifford, Vice Chairman Sharon Deuber, and Commissioners Vince Overmyer, David Rogers and Chauncey Thompson

ABSENT: None

Invocation and Flag Salute: Vice Chairman Deuber

2. APPROVAL OF MINUTES:

A. Minutes for the Planning Commission Meeting of July 19, 2011

It was MOVED by Commissioner Overmyer and SECONDED by Commissioner Thompson to approve the July 19, 2011 minutes, with the following changes:

- 1. Change page 3, line 42 to Commissioner David Rogers abstaining from the vote rather than approving.

The MOTION was carried by the following vote:

AYES: Chairman Gifford, Vice Chairman Deuber, and Commissioners Overmyer, Rogers, and Thompson
NOES: None
ABSTAIN: None
ABSENT: None

3. APPOINTMENT OF COMMISSIONER OVERMYER AS PLANNING COMMISSION LIAISON TO THE TRAFFIC & PARKING COMMISSION

Chairman Gifford asked Commissioner Overmyer if he was willing to accept the responsibility of Liaison to the Traffic & Parking Commission, and Commissioner Overmyer responded affirmatively.

It was MOVED by Commissioner Thompson and SECONDED by Commissioner

1 Rogers to appoint Commissioner Overmyer as Planning Commission Liaison to the  
2 Traffic & Parking Commission.

3  
4 The MOTION was carried by the following vote:

5  
6 AYES: Chairman Gifford, Vice Chairman Deuber, and Commissioners Overmyer,  
7 Rogers and Thompson

8 NOES: None

9 ABSTAIN: None

10 ABSENT: None

11  
12 **4. PUBLIC COMMENTS:** None

13  
14 **PUBLIC HEARINGS**

15  
16  
17 **5. SPECIFIC PLAN AMENDMENT NO. 06-001 & ENVIRONMENTAL ASSESSMENT**  
18 **NO. 06-019 (Tres Cerritos East) – (Continued from 7/19/11)**

19  
20 **OWNERS:** Signal Family Hemet, LLC; Omni Financial, LLC; and  
21 MJ&M, LLC

22 **APPLICANT:** David Leonard

23 **LOCATION:** Northwest corner of Cawston and Devonshire Avenues  
24 (APN: 448-100-001 thru 018 and 448-110-001 thru 022)

25 **PLANNER:** Ron Running – (951) 765-2375

26 **DESCRIPTION:** A request for Planning Commission review and  
27 recommendation to the City Council regarding a proposed amendment to the  
28 Hemet Valley Country Club Estates Specific Plan (SP 90-009) modifying the  
29 eastern 146 acres adding 221 residential units in various density categories,  
30 providing for public and private park sites and trails, and the addition of a 16.9  
31 acre site, with re-adoption as the Tres Cerritos Specific Plan 90-009, along  
32 with an Environmental Impact Report for the proposed changes.

33  
34 The staff report was presented by City Planner Ron Running, who gave a Power Point  
35 presentation to the Commission.

36  
37 Chairman Gifford explained to the audience that this item had been before the  
38 Commission three times as presented now, but had also been considered a couple of  
39 other times previously. The main concerns had to do with density, the number of units  
40 in the plan, drainage, traffic, and the configuration of Menlo Avenue. He noted from the  
41 report that the density had not changed significantly, but the units had been decreased  
42 from six-packs to duplexes and a couple four-packs.

43  
44 Planner Running confirmed that analysis.

45  
46 Vice Chairman Deuber had questions about density but deferred them to the  
47 applicant's presentation. She did, however, impose questions regarding the 16.9 acre  
48 interim detention basin and how townhomes could be built there after the permanent  
49 80-acre basin described in the master plan was constructed.

1 Planner Running explained that the interim basin would be replaced offsite to the west  
2 by an 80-acre detention basin that was part of the regional master plan, and once that's  
3 achieved, the upstream capacity would be relieved.  
4

5 Chairman Gifford explained that the drainage issues being discussed were regional,  
6 and that each of the specific plans, when they come up, were part of that total solution.  
7 He noted that these were temporary measures until the total solution could be put into  
8 place.  
9

10 Planner Running added that the city had been collecting development impact fees from  
11 every project to implement the regional solution.  
12

13 Commissioner Overmyer asked about the time table for the ultimate large basin, to  
14 which Planner Running responded that it would probably happen before the  
15 development was completed. Development fees, however, would only be used for the  
16 regional basin, not the interim basins, which would be financed by the developers.  
17 There will always be some size of a basin in the interim basin site, because all projects  
18 have to retain for some period and clarify the water that's going through their project  
19 before it goes offsite.  
20

21 Chairman Gifford opened the public hearing and invited the applicant to the lectern.  
22

23 Tom Shollin (no address given), addressed the Commission as a co-applicant for the  
24 project, stating that he wished to address drainage, circulation, traffic, parks, density,  
25 design, benefits to the city, and Pepper Tree concerns in his presentation.  
26

27 Mr. Shollin explained the capacity of the channel, the backup on Cawston Avenue, and  
28 the need to move the water to a place where it can be pumped. The channel is 50 feet  
29 wide, 10 feet deep, riprap-sided, and designed to handle the water coming from the  
30 Seattle Channel to the temporary basin, with its 112-acres of capacity and 100-year  
31 storm design, until the new retention areas are established. The channel and basin will  
32 be fenced for safety purposes. He outlined the changes to the traffic circulation, stating  
33 that the extension of Menlo Avenue would help divert traffic off of Cawston Avenue.  
34 Also, when the project is complete, there will be about 24 acres of combined public and  
35 private park areas within the project. He explained the setbacks on Cawston and  
36 Devonshire Avenues as being 169 feet before the first house appears. He also  
37 outlined the recreation center, pool, and parking area amenities, as well as the  
38 maintenance responsibility.  
39

40 David Leonard of David Leonard Associates (1770 Iowa Avenue, Suite 100, Riverside,  
41 CA) addressed the design guidelines, stating that the three-story building provisions in  
42 the courtyard product had been removed. He stressed that the plan they were looking  
43 at was a plan for the future, not a physical development project. There will be a  
44 number of subdivision maps that will be presented later with substantially more detail.  
45 He noted that in planning areas 8, 9, 11, 12, 13, and 14, the density had been changed  
46 from up to 18 units per acre down to 6 to 8 units per acre. In planning areas 6 through  
47 11, the dwelling units were modified from the townhomes, the quad homes, and the  
48 courtyard homes into the 5,000 square-foot lot categories. These would be primarily  
49 between the new Menlo Avenue alignment and west of Cawston Avenue.  
50

1 Mr. Leonard continued to illustrate different types of housing designs to be allocated to  
2 areas within the plan. He offered comparisons of density with the Heartland plan, and  
3 enumeration of benefits to the city, which include \$21.6 million in infrastructure  
4 enhancements and \$318,000 per year in annual sales tax. He stressed that each of  
5 the planning areas would be included in at least one homeowners association, and  
6 most of the time, in two – a master association that maintains the linear parks and  
7 street improvements, and individual neighborhood associations that care for the  
8 maintenance and improvements in the different planning areas.

9  
10 Martin Boone of Omni Financial, addressed the Commission as one of the project  
11 applicants, and showed them a six-unit product that they had utilized in the Central  
12 Valley. He stated that "density" was not a bad word because it meets a growing need  
13 without the disadvantage of "urban sprawl."

14  
15 Mr. Shollin concluded the applicant comments by stating that they were trying to  
16 represent quality and a standard they wish to build in and maintain for the projects.

17  
18 Chairman Gifford called for a recess of ten minutes.

19  
20 (Brief recess was taken.)

21  
22 The public was invited by Chairman Gifford to express their opinions.

23  
24 Michael Hirschbein (602 Zaharias, Four Seasons, Hemet, CA) expressed concerns  
25 about the traffic issue, the schools, the retention walls along the sidewalks, and  
26 drainage. He also stated that less than 1,600 homes had been built in the Heartland  
27 project, not the proposed 1,775.

28  
29 William Tate (10970 Turnleaf Lane, Tustin, CA), an attorney representing Douglas P.  
30 Wilson as receiver for PCG Pepper Tree LP, or the Pepper Tree project, stated that  
31 they had concerns with respect to the interface between the projects and the  
32 realignment of Menlo Avenue. However, after meeting with Tom Shollin and the  
33 planning staff of the city, who added conditions to the approval, Pepper Tree was now  
34 in support of the project in that their concerns had been addressed, with the exception  
35 of one of the intersections at Menlo Avenue. However, the city traffic engineer will take  
36 a look at that and a solution to address those concerns was proposed to be  
37 promulgated. That being the case, Pepper Tree would be in support of the currently  
38 proposed specific plan amendment.

39  
40 Community Development Director (CDD) Deanna Elliano addressed the change to  
41 Condition No. 36, relative to Mr. Tate's comments, proposing the following language:

42  
43 ***"Applicant shall modify the Specific Plan text Chapter IV.A. (Circulation) to***  
44 ***address the driveway and access configuration for the northerly driveway***  
45 ***on Menlo Avenue to ensure safe and sufficient access for the Pepper Tree***  
46 ***project subject to approval of the city engineer and in cooperation with the***  
47 ***Pepper Tree development representatives."***  
48

49  
50 Shirley Fialko (557 Pooley Drive, Hemet), Betty Crase (531 Casper Drive, Hemet) and  
Don Sims (531 Casper Drive, Hemet) elected to give their time to Gene Hikel.

1 Gene Hikel (8405 Singh Court, Hemet, CA), chair of the Four Seasons Community  
2 Awareness Committee, stated that the advantages mentioned regarding the project,  
3 such as impact fees and other kinds of fees, would be necessary for any development  
4 that went in. Their concerns include air quality impact, Menlo Avenue drainage, and  
5 the grading done under the existing plan. He made reference to the General Plan,  
6 stating that this development does not meet the standard established for this area, one  
7 of a premier community. He was also apprehensive about the private conversations  
8 the applicants had with Commissioners. He asked that the Commission deny this  
9 project because there was very little benefit for the City.

10  
11 Chairman Gifford and Vice Chairman Deuber both responded that Commissioners  
12 follow very strict rules when speaking with applicants outside of Commission meetings,  
13 as outlined by City Attorney Jex.

14  
15 Chairman Gifford noted that Seth Meeker (4092 Via Barcelona, Hemet, CA), Joshua  
16 Meeker (4092 Via Barcelona, Hemet, CA), and Ryan Meeker (4092 Via Barcelona,  
17 Hemet, CA) were assigning their time to Diane Norberg.

18  
19 Diane Norberg (4092 Via Barcelona, Hemet, CA) reminded the Commission of photos  
20 and concerns she had sent via e-mail and of the many opinions of the people at the  
21 June meeting. She said that her concerns have led to a part-time job with the research  
22 necessary to understand the proposals of the applicant. She also said that many of the  
23 surrounding neighbors either believe the project has already passed or that the land  
24 cannot be used because of endangered species – both misconceptions. Her concerns  
25 include the fact that typically most townhomes, quad homes, duplexes, etc., are not  
26 owner-occupied, but rentals. The new proposal only cuts the previous unit count by  
27 four, with no larger park and no school. She felt that Pepper Tree's support of the  
28 project was because it would provide free help with their drainage problem. She  
29 suggested that the City sees this as a way to use the developer to pay to fix the  
30 flooding of the Seattle Channel, expand Cawston Avenue, and put in a traffic light at  
31 Menlo Avenue, noting that all of these things need to happen, but not at the cost of  
32 putting in 750 additional homes in the area. She urged denial of the specific plan  
33 amendment.  
34

35  
36 Ryan Meeker (4092 Via Barcelona, Hemet, CA) added his voice in opposition, noting  
37 ruination of the ecosystem, loss of runoff basin, crowding of vehicles, shortage of  
38 water, and nonconformance with the General Plan guidelines proposed for the area.

39  
40 Sharon Sims (531 Casper, Four Seasons, Hemet) decried the traffic congestion, the  
41 probability of fire in the box canyon, the lack of actual resources to the city broken  
42 down in 10 to 15 years, and the devalued worth of the homes.

43  
44 John Damm (322 Montero, Hemet) mentioned the need for another school, the fact  
45 that developers don't usually stand behind their products, the pest control issues at  
46 retention basins, the reduction in city workers for fire, maintenance, roads and police,  
47 and the fact that these smaller homes bring in more low income families which  
48 increases the potential for crime.  
49  
50

1 Chairman Gifford reminded the audience that this issue will come before the City  
2 Council regardless of the Commission's recommendation, so they will have another  
3 chance to voice their concerns.  
4

5 Jim Crase (388 Casper Drive, Hemet, CA) stated that the Commission's decision  
6 impacts the future of the city and sets a precedent of what kind of a city Hemet will be.  
7 He urged the Commission not to allow a developer dictate what was best for the city of  
8 Hemet. He compared the projected development unfavorably with the Four Seasons.  
9

10 John Torres (7775 Couples Way, Hemet, CA) wished to go on record as opposing the  
11 project.  
12

13 Rik Dennis (645 Parnevik, Hemet, CA – in Four Seasons) advised that there are no  
14 organized play areas in which older kids can play. He also reiterated the concerns  
15 mentioned by others regarding elimination of the wetlands, stressing that wetlands do a  
16 better job of taking care of pollution than do drainage ditches. He felt that this  
17 development would be a downgrade for the area and that Pepper Tree, therefore,  
18 would have a harder time selling additional units.  
19

20 Gary Page (8647 Mann Lane, Hemet, CA) felt that any new proposed plan should be  
21 better than the already-approved plan, and that this one was not better.  
22

23 John Fialko (no address given) stated that the Tres Cerritos East specific plan was  
24 developed by a highly competent individual, and changes to it should only be  
25 considered when the major objectives of the plan were not violated. A major objective  
26 of the original plan was community growth in a healthy environment. He felt this  
27 project directly opposes that objective because of park size, density and environmental  
28 hazards.  
29

30 Renetta Griffin (242 Appaloosa Drive, Hemet, CA) stood in opposition to the project.  
31

32 Don Digby (25085 California Ave., Hemet, CA) owns 44 acres across from the Four  
33 Seasons community and is a long-time resident of Hemet. He commented about the  
34 changes in Hemet over the tenure of his residency, including Florida Avenue  
35 transients, the high rate of foreclosures, and traffic. He urged the developers to put in  
36 a project like Four Seasons, which he feels is a gem in the valley.  
37

38 Margo Dennis (645 Parnevik, Hemet, CA) is opposed to the project because of the  
39 small parks, difficulty in supervision of them, density of the project, lack of schools,  
40 traffic, and proliferation of unsold homes in the area.  
41

42 Harold Townsend (366 Chi Chi Circle, Hemet, CA) urged the members of the  
43 Commission to show vision in their decision about this project.  
44

45 Linnea Rowden (560 Tewell Drive, Hemet, CA) went on record to oppose the project.  
46

47 Cora Egly (276 Baugh Lane, Hemet, CA) went on record to oppose the project.  
48

49 Paul Egly (276 Baugh Lane, Hemet, CA) noted the cutbacks in the police and fire  
50 departments, even though the population is increasing, the traffic congestion, the

1 infrastructure problems, and many conditions in town that need improving. He would  
2 like to see those conditions addressed before adding more problems to the area.

3  
4 Harold Rowden (560 Tewehh Drive, Hemet, CA), a retired LAPD detective, noted that  
5 high density is one of the biggest problems for a police department. Some of these  
6 projects end up as HUD areas, where the state or federal government comes in and  
7 gives a subsidy to an undeserving, non-working person to help them find housing,  
8 often bringing in three families where only one family should be living, and increasing  
9 the crime rate.

10  
11 Ken Wolfe (8174 Maruyama, Hemet, CA), opposed the project.

12  
13 Joan Wolfe (8174 Maruyama, Hemet, CA) added her voice in opposition, based on the  
14 same points already voiced.

15  
16 Brian Rubin (1694 Via Simpatico, Hemet, CA) from the Solara Del Webb community  
17 stated that this project does not conform to the general plan. If this were comprised of  
18 detached, single-family homes, he would not oppose it, as it would conform to the  
19 general plan. He also felt that the plethora of small parks should be consolidated into  
20 one. Also, there should be more parking spaces provided for the community center  
21 area, rather than the proposed 15 spaces.

22  
23 Cash Hovivian (35051 Tres Cerritos Avenue, Hemet, CA) asked the Planning  
24 Commission to not recommend approval of this project to the City Council. He is the  
25 owner of 18 different four-plexes, duplexes, and triplexes. He feels this project has  
26 "rental property" written all over it. It's the kind of place he would go in and invest in to  
27 buy as an absentee owner, and when you have that, rental properties bring high crime  
28 and create urban blight, and Hemet has more than enough of that already. Eventually  
29 this project will be Section 8 housing.

30  
31 Dave Leonard, speaking for the applicant, said the picture being painted is a family-  
32 driven, mosquito-infested rental property ghetto. He urged the Commissioners to  
33 remember the phasing plan that's required before anything can be built, which includes  
34 an entirely constructed drainage system, including the channel, culverts, detention  
35 basin and other filtration systems. It also has to capture four different drainage areas:  
36 Pepper Tree, Cawston Avenue, Devonshire Avenue, and the Seattle Channel, and  
37 Menlo Avenue has to be constructed. He reiterated the proposed reduction in density,  
38 the sports park or dog park, and the regional trail. He advised that there were no  
39 endangered species on the property and noted that the school district had rejected any  
40 proposed site on the property because of drainage issues, easements and the master  
41 plan alignment of Menlo Avenue. He denied that the property had wetlands, defined as  
42 such by law, but merely drainage from surrounding areas allowed by the developer.  
43 The benefits to the city he listed as: consistency with the general plan; helping to meet  
44 the housing needs without subsidies that meet current standards for construction and  
45 energy efficiencies; the provision of architectural landscape design guidelines which  
46 elevate the quality of the project; and the establishment of multiple layers of  
47 homeowners associations to own and maintain parks, trails, private streets, driveways,  
48 open space, detention basin, and oversight of the parks. He suggested that the project  
49 would create a special tax to fund police, fire and emergency services, and that it  
50 would include annexation into a lighting, landscape and maintenance district to assess

1 property owners for the cost of maintenance relative to streets, parkways, lighting, and  
2 drainage facilities. He additionally noted that the project would generate sales tax  
3 revenue, and that it would improve circulation, solve drainage problems and result in  
4 an upscale community that would otherwise revert back to an antiquated plan.  
5

6 Chairman Gifford closed the public hearing and notified the applicant and public that  
7 being on the Planning Commission meant a commitment to be fair, objective, have a  
8 vision for the community and do what's best for the community. The fairness applies  
9 not only to the residents, but to the people who own property, so the Commission tries  
10 to balance those issues. For him, the real issue boils down to the question: Does this  
11 project improve Hemet's quality, does it keep the status quo, or does it detract? His  
12 worry is that this project does not elevate the population it brings in. Even though the  
13 developer's intention is for it to do that, they cannot guarantee it. To guarantee that it  
14 would bring in a higher earning population, would require the construction of single-  
15 family houses with some acreage around them or conversion of the project into a  
16 senior community. The question for him is, does it elevate the city or does it not?  
17

18 Vice Chairman Deuber stated that she had reviewed the 1992 general plan and wants  
19 to bring up some significant vision pieces within it. She also referred to CDD Elliano's  
20 presentation at the last Commission meeting regarding the housing needs assessment  
21 determined by the state and SCAG, based on the 1992 general plan. Unless the new  
22 draft general plan is utilized, with more accurate numbers, Hemet will be saddled with a  
23 huge regional housing needs assessment requirement. She echoed Chairman  
24 Gifford's sentiments that if Hemet were booming and needed housing, the comments  
25 heard from the audience and Commission would be different, but Hemet is not in that  
26 position at this point in time. She mentioned that she lives in the Four Seasons  
27 community and enumerated some figures regarding density, size of the community  
28 center and supplied parking, as well as single elevations.  
29

30 Vice Chairman Deuber went on to state that she had attended all GPAC meetings for a  
31 year and that the land use elements in Chapter 2 of the general plan included creation  
32 of a West Hemet community comprised of distinctive, high quality, attractive  
33 developments, and that the development should occur in an orderly manner and  
34 adhere to the city's vision. This development, she noted, places 750 homes in a very  
35 concentrated area. Unlike representations that there are two residents per dwelling,  
36 bringing in 1,885 new residents, in this economy the reality is more like four to six  
37 residents per dwelling unit, adding more than 3,600 residents in a small area. Her  
38 concern with this development encompasses the need to approve or adopt a statement  
39 of overriding consideration, and she wishes to find an alternative that would make that  
40 unnecessary. She has faith in this developer, who successfully brought Tres Cerritos  
41 West into Hemet with 177 homes on roughly 324 acres, which is in line with the West  
42 End estate level type homes with decent lots surrounding them.  
43

44 Vice Chairman Deuber indicated that would she would like to see is a project that  
45 would put Hemet on the map; one that would make people want to move here, rather  
46 than one that would put us on the map to attract surrounding investors who would  
47 continue to buy us out and saddle us with issues we do not want or invite.  
48

49 Commissioner Overmyer, as a fairly new Planning Commissioner, stated he had met  
50 with the applicant, accompanied by Planner Ron Running and CDD Deanna Elliano

1 and had many questions to ask of all of them. He gave some background about  
2 himself and the formulation of his views and how they've changed. He has lived in  
3 Hemet for almost 50 years, owns 22 rentals in town, and is in the construction  
4 business. He is obligated as a Commissioner to also look at what the economy  
5 dictates, so homes like the Vintage Club in Palm Desert or the Ritz Carlton are not  
6 reasonable or viable in Hemet at this time because at some point the product type that  
7 will ultimately be built will be more dictated by what will sell, and what will ultimately  
8 work for the community. He promised to take his obligations as a commissioner  
9 seriously and thanked the audience for helping him do that.

10  
11 Commissioner Thompson stated that he lives in a \$400,000 ghetto – a cul-de-sac of  
12 nine homes, with seven out of the nine inhabited by renters. With this in mind, he  
13 tends to look at the project from one view favorably, because it has a homeowners  
14 association. He feels that Hemet is a cul-de-sac city, and one which will never have  
15 the jobs that Temecula, San Diego, Irvine or Riverside provide. He noted that the city  
16 has seen great neighborhoods being built, which include homeowners associations,  
17 but still have between 60 and 70 Section 8 homes. He suggested that when looking at  
18 the time frame in which the developers want to build and the vision for Hemet, it will all  
19 come together.

20  
21 After receiving instruction from City Attorney Jex on procedures for voting, Chairman  
22 Gifford entertained further questions from the Commission.

23  
24 Vice Chair Deuber wished to discuss Alternative 3 to the EIR.

25  
26 CDD Elliano explained the difference in analyzing the EIR's adequacy and the project  
27 itself. She also outlined the alternatives for the public and the Commission: 1) the "No  
28 Project Alternative"; 2) "Alternative Locations"; and 3) "Reduced Density Alternative."

29  
30 After continued discussion regarding procedures, Chairman Gifford asked for a motion  
31 on the EIR for the Tres Cerritos East project.

32  
33 It was **MOVED** by Commissioner Overmyer and **SECONDED** by Vice Chairman  
34 Deuber to **ADOPT** Planning Commission Resolution Bill No. 11-001, recommending  
35 that the City Council certify the Environmental Impact Report for the Tres Cerritos East  
36 Specific Plan Amendment No. 06-001.

37  
38 The MOTION was carried by the following vote:

39  
40 AYES: Vice Chairman Deuber and Commissioners Overmyer and Thompson  
41 NOES: Chairman John Gifford  
42 ABSTAIN: Commissioner David Rogers  
43 ABSENT: None  
44

45  
46 ***(Adopted Planning Commission Resolution No. 11-013.)***

47  
48 Discussion ensued as to whether Alternative 3 (the reduced density alternative) should  
49 be evaluated further, with Chairman Gifford wanting to vote on the second  
50 recommendation and Vice Chairman Deuber wishing further discussion.

1 City Attorney Jex also recommended voting on the specific plan as presented. If  
2 changes are considered, they should be part of the minutes or should be a footnote to  
3 the recommendation to City Council from the Commission.  
4

5 Chairman Gifford further explained that the Commission doesn't have the choice of  
6 taking any of the alternatives out of the EIR and saying "we want that" or "we're going  
7 to recommend that." The Commission doesn't have that choice. The proponent has  
8 selected what they want us to review, we reviewed it, and we need to make a decision.  
9

10 It was **MOVED** by Vice Chair Deuber and **SECONDED** by Commissioner Overmyer to  
11 **DENY** Planning Commission Resolution Bill No. 11-002 with a recommendation to the  
12 City Council that they consider Alternative No. 3 of the Draft EIR.  
13

14 The MOTION was carried by the following vote:  
15

16 AYES: Chairman Gifford, Vice Chairman Deuber and Commissioners Overmyer  
17 and Thompson  
18 NOES: None  
19 ABSTAIN: Commissioner Rogers  
20 ABSENT: None  
21

22 *(Adopted Planning Commission Resolution No. 014 for DENIAL of SPA 06-001.)*  
23

## 24 DEPARTMENT REPORTS

### 25 6. COMMUNITY DEVELOPMENT DIRECTOR REPORTS:

26  
27 **A1.** Report on City Council actions from July 21st, 2011 meeting.  
28

29 (No reportable Planning Commission related items)  
30

31  
32 **A2.** Report on City Council actions from August 9th, 2011 meeting.  
33

34  
35 CDD Elliano reported on the Oath of Office being administered to the new Police Chief  
36 Dave Brown. Also, the amendment to the Stoney Mountain Ranch Development  
37 Agreement was continued to the September 13<sup>th</sup> meeting.  
38

39 Another item considered was the urgency ordinance regulating the conversion of large  
40 (over 30,000 square-feet) retail space to other uses, making it mandatory to obtain a  
41 conditional use permit during the period of the urgency ordinance. The initial period is  
42 45 days, with extensions possible for another 10 months and 11 days and then another  
43 year after that.  
44

45 **B.** Upcoming events and informational items – MMD Update  
46

47 CDD Elliano noted that six medical marijuana dispensaries had appeared in town  
48 almost overnight in January when the moratorium was no longer in effect. However,  
49 the new ordinance was in effect, so through diligent efforts by the city attorney and  
50 code enforcement staff, along with the support of City Council, all six have been  
closed, some through cease and desist letters, others through injunctions or additional

1 efforts. One requested a stay of the injunction, which would have allowed them to stay  
2 open until the legal proceeding concluded, but they were denied by the court. Since  
3 then, two more dispensaries have appeared, and staff is in the process of dealing with  
4 them.

5  
6 Commissioner Thompson wanted to know, on average, how long it takes to close a  
7 dispensary.

8  
9 CDD Elliano stated that within a week of hearing about it, they can conclude an  
10 investigation. The cease and desist letters are a pretty quick process, so the city can  
11 be successful in less than a couple of weeks. However, what happens usually is they  
12 continue to stay open until the city gets a court order, and goes through the hearing  
13 process. This process tends to take longer because it is a zoning violation, rather than  
14 a criminal act.

15  
16 **C. Cancellation of September 6, 2011 meeting**

17  
18 CDD Elliano advised that the next Planning Commission meeting would be scheduled  
19 for September 20, 2011.

20  
21 **D. Planning Commission Workshop – August 19, 2011**

22  
23 CDD Elliano announced the workshop at the Riverside Convention Center on Friday,  
24 August 19, from 8:30 a.m. to 1 p.m. Everyone except Commissioner Thompson was  
25 registered to attend.

26  
27 **E. Redevelopment Agency Status**

28  
29 CDD Elliano reported that the California Supreme Court has agreed to hear the lawsuit  
30 on the redevelopment takeaway, and payments to the state have been stayed until the  
31 court case is reviewed at that level.

32  
33 Also, the city's redevelopment agency is working with consultants to determine what  
34 the cost would be, if the court case is unsuccessful, for the City of Hemet to "pay to  
35 play", and whether or not that makes sense for the City of Hemet.

36  
37 **F. Community Development Department Update**

38  
39 In the current budget, the department has been allowed to add a principal planner  
40 position. CDD Elliano has been interviewing applicants and should have a job offer to  
41 announce by the 20th or soon thereafter.

42  
43 Also, the Community Development Department has been reorganized to be comprised  
44 of three divisions: Planning, Code Enforcement and Building & Safety. CDD Elliano  
45 will be in charge of all three divisions.

46  
47 **7. CITY ATTORNEY REPORTS: None**

1 **8. PLANNING COMMISSIONER REPORTS:**

- 2
- 3 A. Chairman Gifford – reported he had not seen stipends for about five
- 4 months.
- 5
- 6 B. Vice Chairman Deuber – No report
- 7
- 8 C. Commissioner Overmyer –No report
- 9
- 10 D. Commissioner Rogers –No report
- 11
- 12 E. Commissioner Thompson – wished to thank CDD Elliano and Planner
- 13 Running for their efforts on the Tres Cerritos East project.
- 14

15 **9. FUTURE AGENDA ITEMS:**

- 16
- 17 A. Report on "Human Signs" and other temporary signage
- 18 B. Zoning Ordinance Amendment for Special Housing Classifications
- 19 C. Comprehensive General Plan Update and Draft EIR
- 20 D. Status report on Hemet ROCS
- 21 E. Status report on foreclosure activity
- 22 F. Downtown Facade Improvements
- 23 G. MediCity Project Status Report
- 24 H. Report on Industrial Development Opportunities
- 25

26 CDD Elliano reported that items A, D, E, G, and H are Planning Commission requests

27 that will be attended to after completion of the General Plan Update.

28

29 Chairman Gifford requested a primer on some of the finer points of CEQA, particularly

30 the overriding considerations and how they work.

31

- 32
- 33 **10. ADJOURNMENT:** It was the consensus of the Planning Commission that the
- 34 meeting be adjourned at 10:21 p.m. to the regular meeting of the City of Hemet
- 35 Planning Commission scheduled for **Tuesday, September 20, 2011 at 6:00**
- 36 **p.m.** to be held at the City of Hemet Council Chambers located at 450 East
- 37 Latham Avenue, Hemet, CA 92543.
- 38
- 39
- 40
- 41

42 \_\_\_\_\_

43 John Gifford, Chairman

44 Hemet Planning Commission

45 ATTEST:

46

47

48

49 \_\_\_\_\_

50 Nancie Shaw, Records Secretary

Hemet Planning Commission

# AGENDA #5.A.



## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director   
Ronald Running, City Planner

DATE: September 20, 2011

RE: **SPECIFIC PLAN AMENDMENT NO. 06-01 (TRES CERRITOS EAST)** – A proposed amendment to the Hemet Valley Country Club Estates Specific Plan (SP 90-009) modifying the eastern 146 acres adding 221 residential units to the existing Specific Plan, for a total of 931 dwelling units, allocating the dwelling units in various density categories, providing for public and private park sites and trails, and the addition of 16.9 acre site, with re-adoption as the Tres Cerritos Specific Plan.

### PROJECT APPLICANT INFORMATION

Owners: Signal Family Hemet, LLC  
Omni Financial, LLC  
MJ&M, LLC

Applicant: David Leonard

Project Location: Northwest corner of Cawston Avenue and Devonshire Avenue

Lot Area: 162.8 ± Acres

APNs: 448-100-001 thru 018; and 448-110-001 thru 022.

### STAFF RECOMMENDATION

The Planning Department recommends that the Planning Commission:

1. Review and approve the attached Planning Commission Resolution No. 11-014 (Attachment No. 1), entitled:

**“A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA RECOMMENDING TO THE CITY COUNCIL DENIAL OF SPECIFIC PLAN AMENDMENT NO. 06-001 AMENDING THE EASTERN 162.8 ACRE PORTION OF THE HEMET VALLEY COUNTRY CLUB ESTATES SPECIFIC PLAN (SP**

90-009) LOCATED ON THE NORTHWEST CORNER OF CAWSTON AVENUE AND DEVONSHIRE AVENUE (APN: 448-100-001, et. al.) AND RECOMMENDING THAT THE CITY COUNCIL CONSIDER THE REDUCED INTENSITY ALTERNATIVE AS PRESENTED IN THE ENVIRONMENTAL IMPACT REPORT”

## BACKGROUND

On August 16, 2011, the Planning Commission reviewed the proposed amendment to the Hemet Valley Country Club Estates (HVCCE) Specific Plan. The Commission also reviewed the Draft Environmental Impact Report (DEIR) prepared for the proposed amendment. The Commission recommended that the City Council certify the DEIR.

The Commission moved to deny the proposed amendment and recommend to the City Council to consider approving the Reduced Intensity Alternative presented in the Environmental Impact Report. The attached resolution, recommending denial of the project, is provided for the Planning Commission's formal review and adoption. The resolution will then be transmitted to the City Council in conjunction with the proposed project.

Respectfully submitted,

*R. Shaw*  
for Ronald Running  
City Planner

Reviewed by,  
*Deanna Elliano*  
Deanna Elliano  
Community Development Director

RR/ns

## ATTACHMENTS

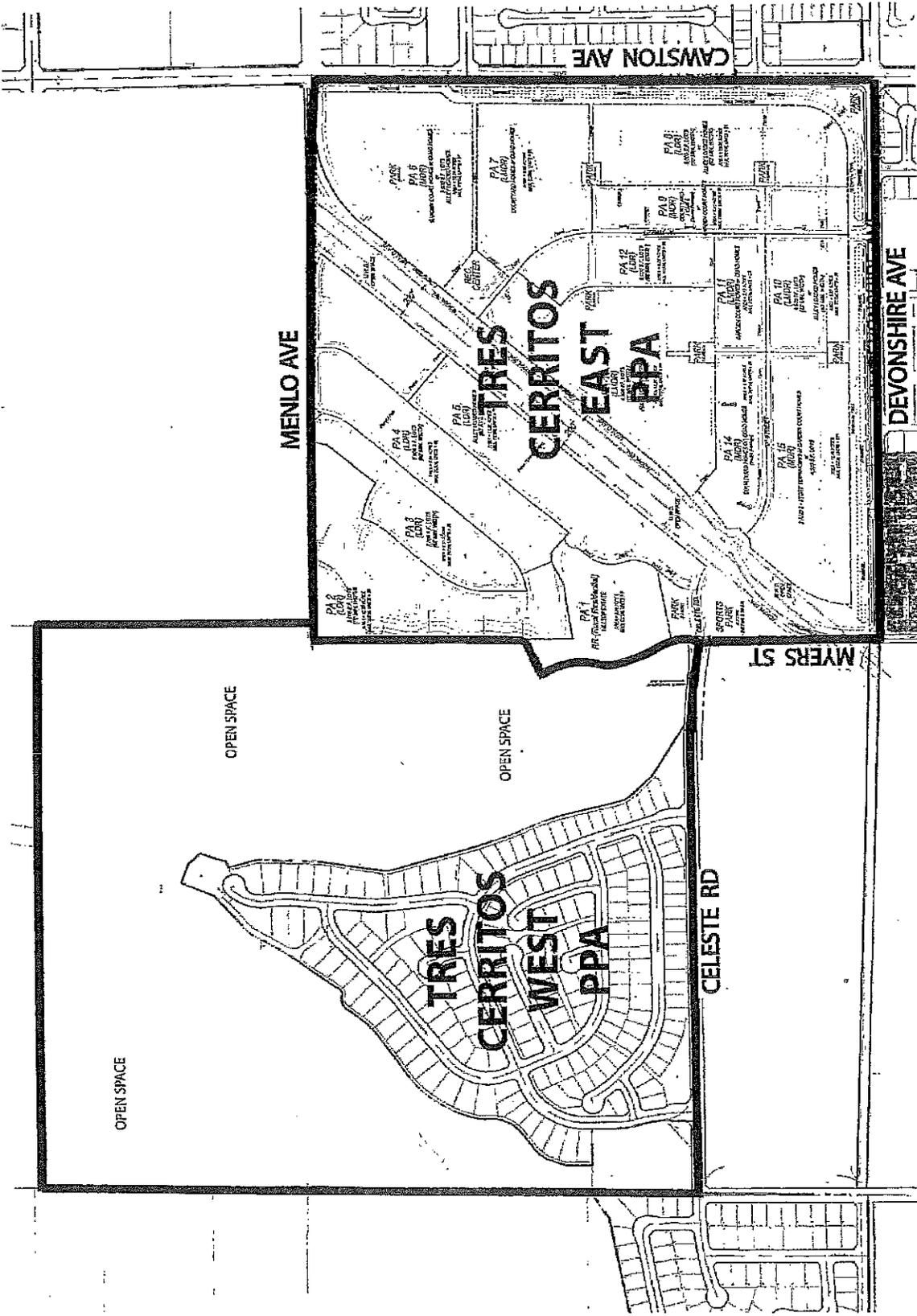
- A) Locational Exhibit
- 1) Planning Commission Resolution Bill No. 11-002 for SPA 06-001  
Exhibit 1A - Legal Description

## INCORPORATED HEREIN BY REFERENCE

- City of Hemet General Plan
- City of Hemet General Plan EIR
- City of Hemet Zoning Ordinance
- Hemet Valley Country Club Estates SP 90-9
- Project Site's Riverside County Integrated Plan Multi-Species Habitat Conservation Plan Summary Report
- Contents of City of Hemet Planning Department Project Files SPA 06-001, EIR

# Attachment No. A

Locational Exhibit



**PRIMARY PLANNING AREAS - PPA  
EXHIBIT 1.7**

# Attachment No. 1

Planning Commission  
Resolution No. 11-014



CITY OF HEMET  
Hemet, California

PLANNING COMMISSION  
RESOLUTION BILL NO. 11-014

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA, RECOMMENDING DENIAL TO THE CITY COUNCIL OF SPECIFIC PLAN AMENDMENT NO. 06-001 – TRES CERRITOS EAST AMENDING THE HEMET VALLEY COUNTRY CLUB ESTATES SPECIFIC PLAN (SP 90-009), LOCATED ON THE NORTHWEST CORNER OF DEVONSHIRE AVENUE AND CAWSTON AVENUE (APN 448-100-001, et. al.) AND RECOMMENDING THAT THE CITY COUNCIL CONSIDER THE REDUCED INTENSITY ALTERNATIVE AS PRESENTED IN THE ENVIRONMENTAL IMPACT REPORT

**WHEREAS**, an application for Specific Plan Amendment No. 06-001 to amend the Hemet Valley Country Club Estates Specific Plan (SP 90-009) has been duly filed by:

Owner/Applicant: Signal Family Hemet, LLC  
Omni Financial, LLC  
MJ&M, LLC  
Lot Area: 166+/- Acres  
Location: Northwest corner of Devonshire Avenue and Cawston Avenue  
APN: 448-100-001 thru 018; and 448-110-001 thru 022;

**WHEREAS**, the Planning Commission has the authority per Section 90-614 of the Hemet Municipal Code to recommend action on Specific Plan Amendment No. 06-001 to amend Hemet Valley Country Club Estates Specific Plan (SP 09-009); and

**WHEREAS**, in accordance with Government Code Section 65090, on June 9, 2011, the City gave public notice by advertising in the Press Enterprise and by mailing to property owners within 1,000 feet, of the holding of a public hearing at which the project would be considered by the Planning Commission; and

**WHEREAS**, in accordance with Government Code Section 65453, on June 21, 2011, the Planning Commission held the noticed public hearing at which interested

---

Planning Commission Resolution No. 11-014  
SPECIFIC PLAN AMENDMENT NO. 06-001 TRES CERRITOS EAST

1 persons had an opportunity to testify in support of, or opposition to, the Specific Plan  
2 Amendment No. 06-001 for amendment to the site plan area and text, and at which the  
3 Planning Commission considered the requested revisions of Specific Plan Amendment  
4 No. 06-001; and

5  
6 **WHEREAS**, at this public hearing on June 21, 2011 the Planning Commission  
7 considered, heard public comments on, and continued the public hearing open to  
8 August 16, 2011. ; and

9  
10 **WHEREAS**, at the continued public hearing on August 16, 2011 the Planning  
11 Commission again considered and heard all public comments at which interested  
12 persons had an opportunity to testify in support of or in opposition to the proposed  
13 Specific Plan Amendment No. 06-001 and recommended that the City Council deny  
14 Specific Plan Amendment No. 06-001.

15  
16 **NOW THEREFORE**, the Planning Commission of the City of Hemet, California,  
17 does determine, find, and resolve as follows:

18  
19  
20 **SECTION 1: SPECIFIC PLAN AMENDMENT**

21  
22 The Planning Commission hereby recommends to the City Council as follows:

23  
24 1. The density of 4.63 units per acre for a total of 754 dwelling units in the Tres  
25 Cerritos East portion of the plan is too intense for this area and the surrounding  
26 development. The density as proposed in Specific Plan Amendment 06-001 and the  
27 product type is not consistent with the surrounding existing and planned development.  
28 The increased density as proposed would increase the overall density of 2.0 units per  
29 acre that is already approved in the existing Specific Plan to an overall density of 2.5  
30 du/ac and 931 dwelling units. The increase in density is a result of proposing small lot  
31 subdivisions for single family development, courtyard and townhome development. This  
32 increase in density is too high given the surrounding development which is primarily  
33 single family detached homes.

34  
35 2. The Planning Commission recommends that the City Council consider the Reduced  
36 Intensity Alternative as discussed in the Environmental Impact Report which would  
37 allow for 7,200 square foot lots or larger for a total of 543 single family residential  
38 dwelling units on the site.

39  
40 **SECTION 3: PLANNING COMMISSION RECOMMENDATION**

41  
42 1. The Planning Commission recommends to the City Council denial of Specific  
43 Plan Amendment No. 06-001 for an amendment to the easterly 146 acres of the  
44 Tres Cerritos East Specific Plan property, as shown on the attached Exhibit 1A.

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22

**PASSED, APPROVED AND ADOPTED** this 16<sup>th</sup> day of August, 2011, by the following vote:

- AYES: Chairman Gifford, Vice Chairman Deuber and Commissioners Overmyer and Thompson
- NOES: None
- ABSTAIN: Commissioner Rogers
- ABSENT: None

\_\_\_\_\_  
John Gifford, Chairman  
Hemet Planning Commission

ATTEST:  
  
\_\_\_\_\_  
Nancie Shaw, Minutes Secretary  
Hemet Planning Commission

# **Exhibit No. 1A**

**LEGAL DESCRIPTION**



PARCEL 1

BEING PORTIONS OF FRACTIONAL SECTION 7, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE MERIDIAN, AND A PORTION OF TRACT XX AS SHOWN ON PARTITION MAP RANCHO SAN JACINTO VIEJO AND FARM LOT 175 OF THE SAN JACINTO LAND ASSOCIATION PER BOOK 8 OF MAPS, PAGE 357, RECORDS OF COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTHEAST CORNER OF SAID SECTION 7, AS SHOWN ON TRACT MAP 29550 IN BOOK 299, PAGES 78 THROUGH 99, INCLUSIVE, OF MAPS, RECORDS OF COUNTY OF RIVERSIDE, OF SAID STATE, SAID POINT ALSO BEING THE CENTERLINE INTERSECTION OF MENLO AVENUE AND CAWSTON AVENUE AS SHOWN ON SAID TRACT MAP 29550;

**THENCE** SOUTHERLY ALONG THE EASTERLY LINE OF SAID SECTION AND THE SAID CENTERLINE OF CAWSTON AVE, SOUTH 00°58'59" WEST, A DISTANCE OF 2,637.34 FEET TO THE CENTERLINE INTERSECTION OF SAID CAWSTON AVENUE AND DEVONSHIRE AVENUE, SAID POINT ALSO BEING THE SOUTHEASTERLY CORNER OF SAID TRACT MAP 29550;

**THENCE** WESTERLY LEAVING SAID EASTERLY LINE OF SAID SECTION 7 AND ALONG SAID CENTERLINE OF DEVONSHIRE AVENUE, NORTH 89°39'04" WEST, A DISTANCE OF 1,855.77 FEET TO A POINT ON LAST SAID, CENTERLINE SAID POINT ALSO BEING AN ANGLE POINT ALONG THE SOUTHERLY BOUNDARY OF SAID TRACT MAP 29550;

**THENCE** NORTHERLY LEAVING SAID CENTERLINE, NORTH 00°04'59" EAST, A DISTANCE OF 905.40 FEET TO A POINT ON THE SOUTHERLY LINE OF GOVERNMENT LOT 4 OF SAID FRACTIONAL SECTION 7, SAID POINT ALSO BEING AN ANGLE POINT ALONG THE SAID SOUTHERLY BOUNDARY OF SAID TRACT MAP 29550;

**THENCE** ALONG LAST SAID SOUTHERLY BOUNDARY LINE, SOUTH 89°45'46" WEST, A DISTANCE OF 812.52 FEET TO THE CENTERLINE INTERSECTION OF LOS ROBLES ROAD AND ROSE ROAD AS SHOWN ON SAID TRACT MAP 29550, SAID POINT BEING ON A NON-TANGENT CURVE WITH A RADIUS OF 300.00 FEET AND A RADIAL BEARING OF NORTH 89°56'16" WEST;

**THENCE** CONTINUING NORTHERLY ALONG THE SAID CENTERLINE OF LOS ROBLES DRIVE THROUGH A CENTRAL ANGLE OF 38°15'51" AND AN ARC DISTANCE OF 200.35 FEET TO A REVERSE CURVE WITH A RADIUS OF 300.00 FEET AND A RADIAL BEARING OF NORTH 51°47'53"EAST;

**THENCE** CONTINUING NORTHERLY ALONG LAST SAID CENTERLINE THROUGH A CENTRAL ANGLE OF 51°46'16" AND AN ARC DISTANCE OF 271.07 FEET TO A REVERSE CURVE WITH A RADIUS OF 300.00 FEET AND A RADIAL BEARING OF NORTH 76°25'51"WEST;

**THENCE** CONTINUING NORTHERLY ALONG LAST SAID CENTERLINE THROUGH A CENTRAL ANGLE 34°47'01" AND AN ARC DISTANCE OF 182.13 FEET TO A COMPOUND CURVE WITH A RADIUS OF 200.00 FEET AND A RADIAL BEARING OF NORTH 68°47'08"EAST;

EXHIBIT



LEGAL DESCRIPTION  
PARCEL 1

DRAWN BY: BH

DATE: 07-05-11

W.O. # SM-11-029

SHEET 1 OF 3

**THENCE** CONTINUING NORTHEASTERLY ALONG LAST SAID CENTERLINE THROUGH A CENTRAL ANGLE OF 26°11'21" AND AN ARC DISTANCE OF 91.42 FEET TO AN ANGLE POINT ON THE SOUTHERLY BOUNDARY OF LOT Y OF SAID TRACT MAP 29550;

**THENCE** EASTERLY LEAVING LAST SAID CENTERLINE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT Y NORTH 42°35'47" EAST A DISTANCE OF 28.00 FEET TO AN ANGLE POINT ON THE SOUTHERLY BOUNDARY LINE OF LOT 7 AS SHOWN ON SAID TRACT MAP 29550;

**THENCE** CONTINUING NORTHEASTERLY ALONG SAID SOUTHERLY LINE OF LOT 7 NORTH 70°19'30" EAST A DISTANCE OF 174.97" FEET TO THE EASTERLY BOUNDARY LINE OF SAID LOT 7;

**THENCE** NORTHERLY ALONG SAID EASTERLY LINE OF LOT 7 NORTH 00°02'24" EAST A DISTANCE OF 1007.06 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHWEST QUARTER OF SAID FRACTIONAL SECTION 7;

**THENCE** EASTERLY ALONG SAID NORTHERLY LINE OF SAID FRACTIONAL SECTION 7, SOUTH 88°45'47" EAST A DISTANCE OF 65.93 FEET, TO THE NORTH QUARTER CORNER OF SAID FRACTIONAL SECTION 6;

**THENCE** CONTINUING EASTERLY ALONG SAID NORTHERLY LINE OF SAID FRACTIONAL SECTION 7, SOUTH 88°45'47" EAST, A DISTANCE OF 2,645.64 FEET TO THE **POINT OF BEGINNING**;

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 149.01 ACRES MORE OR LESS.

AS SHOWN ON EXHIBIT "B" ATTACHED HERETO MADE A PART HEREOF.

EXHIBIT

A

LEGAL DESCRIPTION  
PARCEL 1

DRAWN BY: BH

DATE: 07-05-11

W.O. # SM-10-027

SHEET 2 OF 3

PARCEL 2

BEING A PORTION NORTHEAST QUARTER OF SECTION 7, AS SHOWN ON TRACT MAP 29550 IN BOOK 299, PAGES 78 THROUGH 99, INCLUSIVE, OF MAPS, RECORDS OF SAID COUNTY OF RIVERSIDE:

**BEGINNING** AT CENTERLINE INTERSECTION OF DEVONSHIRE AVENUE AND LOS ROBLES DRIVE AS SHOWN ON SAID MAP;

**THENCE** NORTHERLY ALONG SAID CENTERLINE OF LOS ROBLES DRIVE, NORTH 00°03'44" EAST, A DISTANCE OF 897.09 FEET TO THE CENTERLINE INTERSECTION OF ROSE ROAD AND LOS ROBLES DRIVE, AS SHOWN ON SAID MAP;

**THENCE** EASTERLY LEAVING SAID CENTERLINE OF LOS ROBLES DRIVE, ALONG THE BOUNDARY OF SAID TRACT MAP, NORTH 89°45'46" EAST, A DISTANCE OF 812.52 FEET TO AN ANGLE POINT ALONG THE SAID BOUNDARY;

**THENCE** CONTINUING ALONG THE BOUNDARY OF SAID TRACT MAP, SOUTH 00°04'59" WEST, A DISTANCE OF 905.40 FEET TO THE CENTERLINE OF SAID DEVONSHIRE AVENUE SAID POINT ALSO BEING AN ANGLE POINT IN SAID BOUNDARY;

**THENCE** LEAVING THE BOUNDARY OF SAID TRACT MAP 29550, NORTH 89°39'04" WEST, A DISTANCE OF 812.19 FEET ALONG THE CENTERLINE OF SAID DEVONSHIRE AVENUE TO THE **POINT OF BEGINNING**.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 16.81 ACRES MORE OR LESS.

AS SHOWN ON EXHIBIT "B" ATTACHED HERETO MADE A PART HEREOF.



EXHIBIT

A

LEGAL DESCRIPTION  
PARCEL 2

DRAWN BY: BH

DATE: 07-05-11

W.O. # SM-10-027

SHEET 3 OF 3

# AGENDA #6



## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director   
Carole L. Kendrick, Assistant Planner

DATE: September 20, 2011

RE: **WORKSTUDY FOR WEST COURT VILLAS (FORMERLY CONDITIONAL USE PERMIT NO. 06-014)** – A work study session with discussion and possible direction to staff regarding a proposed conditional use permit for construction of the second phase of an existing four-plex condominium project, adding 12, two-story buildings that will house 48 units located on Delapp Drive.

### **PROJECT APPLICANT INFORMATION**

Applicant: Empresa Construction, LLC  
Agent: Bart Crandell – Pekarek Crandell, Inc.  
Project Location: West of the intersection of Westcourt Way and Sanderson Avenue  
APN: 448-210-005 thru 014 and 448-210-016 thru 018

### **PURPOSE OF THE WORKSTUDY**

The proposed project was reviewed by staff and the Development Review Committee (DRC) on September 1, 2011. At this DRC, city staff identified the areas of concern addressed below. The applicant has requested direction and feedback from the Planning Commission prior to a formal submittal and to determine whether or not to move forward with their project in Hemet. In addition, the applicant would like an opportunity to the present their proposal to the Planning Commission and discuss solutions and options that may facilitate the processing of the project once it is submitted.

---

City of Hemet - Planning Department   
Planning Commission Meeting of September 20, 2011

## **PROJECT DESCRIPTION**

The project site is located along Essex Avenue and Delapp Drive, west of the intersection of Westcourt Way and Sanderson Avenue, between Devonshire and Menlo Avenues. The project site is currently composed of a 20 lot subdivision, of which eight lots are developed with four-plex residences and 12 lots are vacant, a 33-foot wide private street, and an undeveloped common area. The applicant proposes to construct 12 new four-plex multiple-family residential buildings totaling 54,540 square feet, along with a recreation area, appurtenant site improvements and landscaping on 3.52 acres (153,413 square feet) of the project site. A condominium subdivision would also be submitted for concurrent processing.

## **BACKGROUND**

On August 27, 1985, the City Council approved the Arthofer Specific Plan (SP) No. 85-01 for the development of 148 acres that permitted approximately 1,121 dwelling units (Ordinance No. 1130). Specific Plan (SP) No. 85-01 was separated into 4 Planning Areas (PA) consisting of four (4) residential areas with varying development standards that incorporated the Independent Mobile Home Subdivision (TR-20), multiple-family and senior multiple-family standards. On June 14, 1988, the City Council approved Zone Change No. 88-15, which amended a portion of SP No. 85-01. The property has gone through several zone changes and is currently required to comply with the R-3 (Multiple Family) development standards. In addition to complying with the R-3 development standards, the site was designated as having a maximum density of 17 units per net acre and a single development plan for the six (6) parcels located within PA 6 was required per Zone Change No. 88-15 (see Attachment No. 4).

The subject property was subdivided with Tract Map (TM) No. 25225 and was finalized and recorded on September 25, 1990. Tract Map (TM) No. 25225 encompasses five (5) of the six (6) parcels located within PA 6 and created 20 residential lots. At this time it is unclear why all six (6) parcels were not included in the subdivision map and staff continues to research the project history to determine the basis for omitting the sixth parcel.

The lot plotting, architectural elevations, floor plans, landscape plans and fence & walls plans for 20 four-plexes were reviewed and approved under MP No. 90-031, which was comprised of a 6.5 acre portion of PA 6 of the Arthofer SP No. 85-01. Miscellaneous Permit (MP) No. 90-031 was approved by the City of Hemet Staff Review Board on September 28, 1990. The first phase of the project consisted of eight (8) four-plexes that were constructed and completed between 1991 and 1992. The existing four-plexes are each under separate ownership and participate in a Home Owners Association.

The property owner for the twelve remaining lots within TM No. 25225 submitted Conditional Use Permit (CUP) No. 06-014 on October 23, 2006 for the review and approval of twelve four-plexes, landscaping and common recreation areas to complete the development of the subdivision. The proposed CUP was reviewed as a work study at the Planning Commission on April 3, 2007. The Planning Commission raised concerns regarding the proposed product type and potential issues

such as crime and lack of property maintenance that has occurred in association with this type of development in the City (see Attachment No. 5).

Staff provided the applicant with incomplete letters on November 22, 2006, September 10, 2007, and October 8, 2009. The project has had several periods of prolonged inactivity and on May 13, 2010, staff notified the Applicant that the application had been automatically withdrawn due to its dormant nature.

The project site currently has eight (8) existing four-plexes located on the eastern portion of the property. The property to the south of the site is currently vacant. Single story, single-family residences are located to the north and west of the project site. The Colonial Country Club Mobile Home Park and vacant land are located to east of the project site.

## **MAJOR ISSUES**

Product Type. The proposed four-plex product has been a concern of staff since the submittal in late 2006 and was echoed by the Planning Commission in 2007 (see Attachment No. 5). Four-plexes in the City of Hemet that are not owner occupied have had a history of increased criminal activity in addition to lack of maintenance and proper screening of tenants. The project as proposed will ultimately have 20 separate property owners and staff is concerned that the project may add to an existing public safety issue. The Applicant has proposed that the project be under one Homeowners Association and employ an on-site manager.

Setbacks. The project must comply with the setback requirements for the R-3 (Multiple Family) zoning which requires a minimum front yard setback of 25 feet. The current proposal shows a minimum of ten (10) foot front yard setback. Furthermore, the R-3 zone requires an additional landscape buffer when adjoining single-family residential. The code requires a minimum 20 foot landscaped setback and an additional five (5) feet for each story. The project as proposed is currently encroaching into the front and rear yard required setbacks.

Parking. Staff has concerns regarding the parking for the overall project. The existing units were required to provide guest parking at a rate of one space per unit, which did not occur. After the completion of Phase 1, the City was contacted by tenants on Westminster Place with several concerns regarding the lack of lighting, sidewalks, parking on both sides of the street and the width of the street. The private streets located in the project are 33 feet wide and do not accommodate parking on both sides of the street. Current General Plan standard street cross-sections require a minimum 56 right-of-way with 36 feet curb-to-curb and sidewalks on both sides of the street. Staff has determined that the existing configuration of the interior roads may remain if a less intense project was proposed. At the requested density, the street would need to be brought up to current City standards.

The Hemet Municipal Code 90-1422.A.5 requires that multiple-family dwelling units provide a minimum of one (1) on-site visitor parking space for each five (5) dwelling units. The current proposal provides adequate guest parking for Phase 2. However, the project also proposes setbacks that are inconsistent with the R-3 zone and results in driveways that are too short to

allow for tenant parking. This has the potential to exacerbate the existing parking problems on-site.

Improvements. The Public Works/Engineering staff indicated that several improvements would be required that were not constructed with the original phase of the subdivision. The private roads that exist on site are substandard and not acceptable for this density, as parking is only allowed on one side of the street.

## ALTERNATIVES

Based on the concerns and the site constraints, staff recommends that the applicant explore alternative product types including a four-plex design with adequate setbacks, a town home product, or single-family residential.

Although staff recommends alternatives for the product type, it is important to note the benefits of the Applicant's proposal. The project proposes upgraded four-sided architecture that will provide a complimentary interface with the single-family homes located on Copenhagen. Furthermore, the Applicant proposes common open space and recreation areas, gated entry to the project, an airspace condominium map, all 20 four-plexes to be under a single Home Owner Association, and on-site management. In addition, completion of the project will clean up a property that has become an attractive nuisance and inject new life into the area.

## SUMMARY

The Applicant seeks direction and feedback from the Planning Commission regarding a proposal to develop a multi-family residential four-plex project that will complete construction of an existing project pursuant to the prior approvals for Tract Map No. 25225 and Miscellaneous Permit 90-031. The Applicant is prepared to work with City staff and the Planning Commission to assemble a satisfactory submittal based on comments provided at this workstudy.

Respectfully submitted,



Carole L. Kendrick  
Assistant Planner

Reviewed by:



Emery Papp  
Principal Planner

## **ATTACHMENTS**

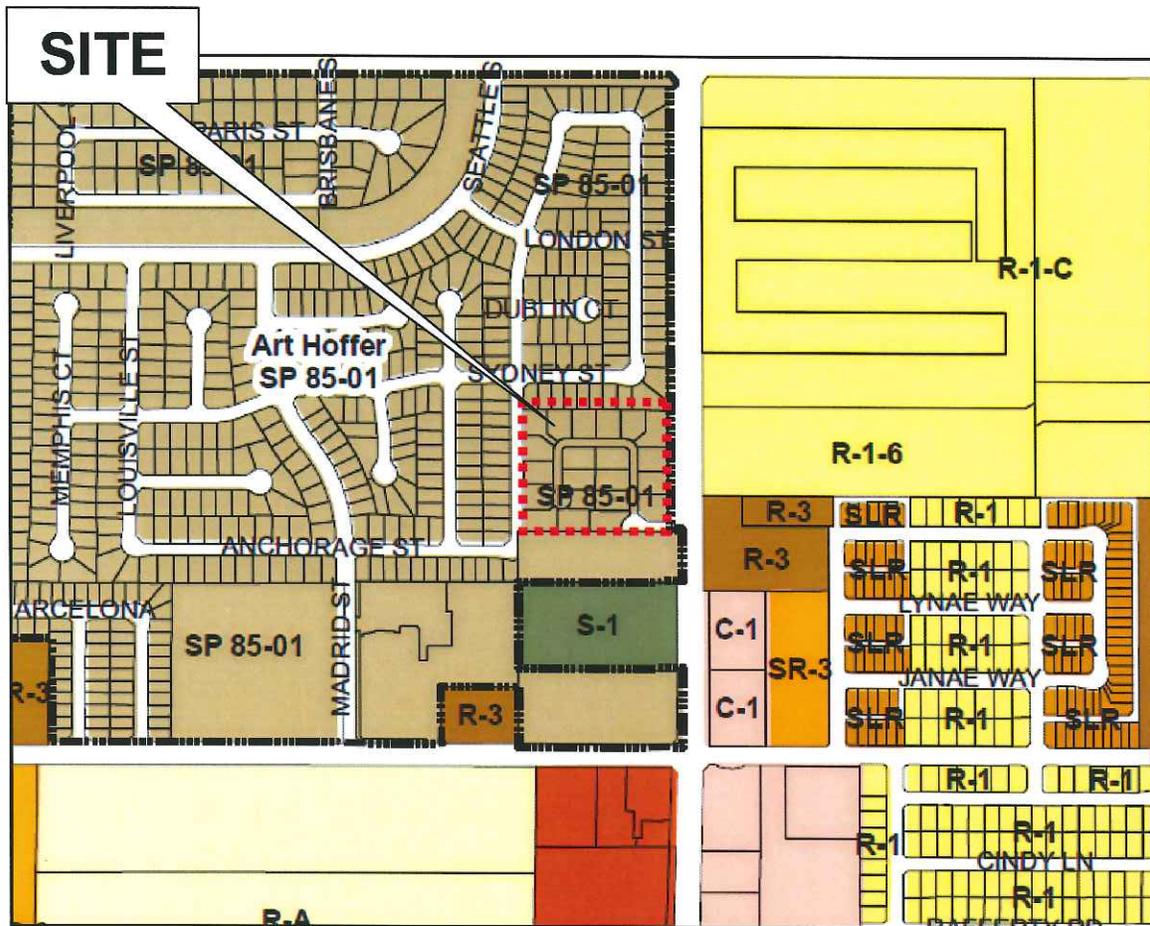
1. Zoning Map
2. Aerial Map
3. Development Plan
4. Arthofer Specific Plan – Planning Area Map
5. April 3, 2007 Planning Commission Minutes
6. Site Photos

CK

# **Attachment No. 1 Zoning Map**

**Planning Commission  
Workstudy Meeting of  
September 20, 2011**

# WESTCOURT VILLAS FORMERLY CONDITIONAL USE PERMIT NO. 06-014 ZONING MAP



# Attachment No. 2 Aerial Map

Planning Commission  
Workstudy Meeting of  
September 20, 2011

# WESTCOURT VILLAS FORMERLY CONDITIONAL USE PERMIT NO. 06-014 AERIAL MAP



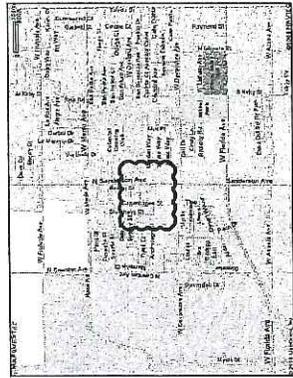
# **Attachment No. 3 Development Plan**

**Planning Commission  
Workstudy Meeting of  
September 20, 2011**

**DATA TABLE (PROJECT SITE)**

ITEM	NO. OF UNITS		1st FLOOR	2nd FLOOR	UNIT AREA	PRIVATE SPACE	PRIVATE DECK	GARAGE	TOTAL LINING	COVERAGE	% SITE
	A	B									
1 (2BR/2BA)	2	24	-	1,031 sf	1,031 sf	150 sf	232 sf	545 sf	24,744 sf		
2 (3BR/2BA)	1	12	-	1,228 sf	1,228 sf	-	-	527 sf	14,748 sf		
3 (3BR/2BA)	1	12	1,254 sf	-	1,254 sf	310 sf	-	565 sf	15,048 sf		
<b>TOTAL</b>	<b>4</b>	<b>48</b>							<b>54,540 sf</b>		<b>28%</b>
<b>BUILDINGS</b>											
A - BUILDING	4	12	48		TOTAL BLDG AREA					FOOTPRINT TOTALS	
											44,724 sf
<b>TOTAL</b>	<b>12</b>	<b>48</b>									44,724 sf
<b>PARKING</b>											
UNIT 1	24			21	48						
UNIT 2	12			21	24						
UNIT 3	12			21	24						
GUEST			1/5	10	22 (1-HO)						
<b>TOTAL</b>				108	118						
<b>RECLANDS./MISC.</b>											
LANDSCAPED	15% x 153,413 sf		23,011 sf	41,178 sf							
PRIVATE OPEN	48 units x 150 sf		7,200 sf	10,344 sf							
COMMON OPEN	25% x 153,413 sf		25,962 sf	25,617 sf							
UNIT YARDS			4,030 sf								
UNIT DECKS			6,384 sf								
<b>TOTAL PRIVATE</b>			<b>10,441 sf</b>								
<b>SITE INFO</b>			<b>3.52 ACRES = 153,413 SF</b>						<b>98 UNITS / 3.52 ACRES = 13.64 UNITS / ACRE</b>		

- Common Open Space Development Standards
1. Landscaping with automatic sprinklers.
  2. One tree per dwelling unit (at least one-third up to one-half of the trees shall be in the open areas. Trees shall be a mix of 24" box and 15 gallon size).
  3. Walkways (at least five feet wide, curvilinear preferred) by trees and/or shade facility (minimum of ten feet by ten feet).
  4. Sitting areas (shall be located adjacent to walkways and shaded by trees and/or shade facility).
  5. Shade facilities (minimum of ten feet by ten feet).
  6. Barbecue facilities (at a rate of one grill or pit per ten units).
1. Children's play area including, but not limited to swings, slides and bars.



Vicinity Map  
 A.P.N.: 448-210-005, 448-210-006, 448-210-007, 448-210-008, 448-210-009  
 448-210-010, 448-210-011, 448-210-012, 448-210-013, 448-210-014, 448-210-015  
 448-210-016

Street Address: Delapp Drive  
 Hemet, CA  
 Legal Description: Book 448, Page 21, Lots 5 through 14 and Lots 17 and 18 Tract 28225

General Plan Designation: SP  
 Zoning: SP85-01/R3  
 Existing Land Use: Vacant  
 Proposed Land Use: Multi-family Residential

**Empresa, LLC**  
 Owner: Empresa Construction, LLC  
 30282 Crown Valley Parkway #B211

*Westcourt Villas*  
 City of Hemet California

**PEKAREK-CRANDELL, Inc.**  
 architecture - planning  
 31411 camino capistrano, suite 300 949/ 487-2320  
 san juan capistrano, ca. 92675 fax 949/ 487-2321

Scope of Project:  
 This is a build out of an existing (previously approved) fourplex condominium project with an approved tract map, Tract No. 25225. Eight of the twenty building were built in phase I. The City of Hemet Planning Department recommended updating the design for the final Units and Site Plan to be more consistent with the current planning direction of the City. The Project will consist of twelve Fourplex Buildings (a total of forty eight units) and a recreation area. The existing roads and utilities will be utilized however there will be lot line adjustments required to accommodate the new building designs.

Owner:  
 Empresa Construction, LLC  
 30011 Ivy Glen Drive, Suite 117  
 Laguna Niguel, CA 92677  
 1 (949) 249-7868

Consultants:  
 Architects:  
 Pekarek-Crandell, Inc  
 31872 Camino Capistrano  
 San Juan Capistrano, CA 92675  
 1 (949) 487-2320

Landscape Architect:  
 Frank Radmacher Associates, Inc.  
 14841 Yorba Street, Suite 204  
 Tustin, CA 92780-7083

Civil Engineer:  
 TransAmerica Engineer's  
 1 (626) 442-3653

Index of Drawing:

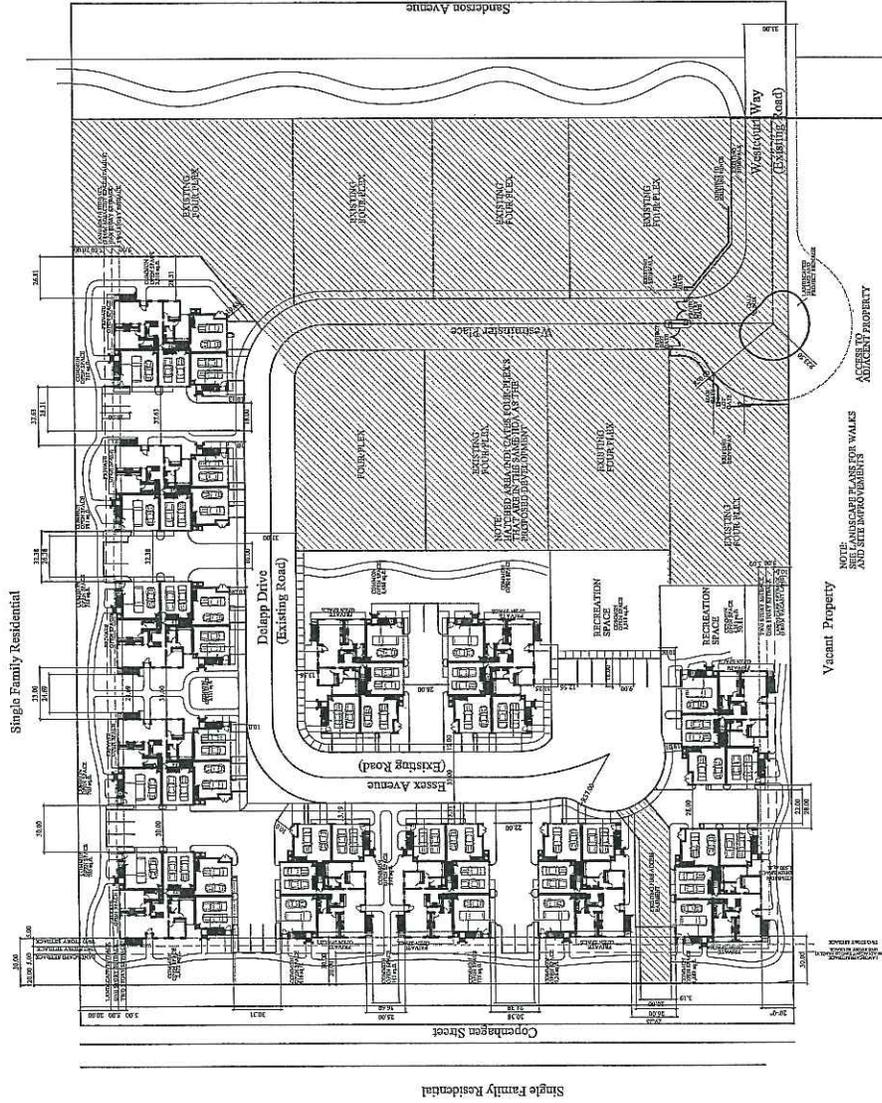
- Architectural  
 1. Title Sheet (Tabulation By Site)  
 2. Tabulation by Lot  
 3. Architectural Site Plan  
 4. Architectural Site Plan with Aerial Photo  
 5. Building First Floor Plan  
 6. Building Second Floor Plan  
 7. Building A Exterior Elevations  
 8. Building B Exterior Elevations  
 9. Building B Exterior Elevations  
 10. Building B Exterior Elevations  
 11. Roof Plans  
 12. Street Scene  
 13. Area Maps

AUG 1 8 2011  
 Formerly: CUP06-04

- C-1 Grading and Drainage Plan  
 C-2 Grading and Drainage Plan  
 C-3 Grading and Drainage Plan  
 C-4 Grading and Drainage Plan

L-1 Landscape Plan





Architectural Site Plan  
1"=40'



Site Plan  
1"=30'

**PEKAREK-CRANDELL, Inc.**  
architecture - planning

31411 Camino Capistrano, suite 300 949/487-2320  
San Juan Capistrano, Ca. 92675 fax 949/487-2321  
5-7-09 06-05

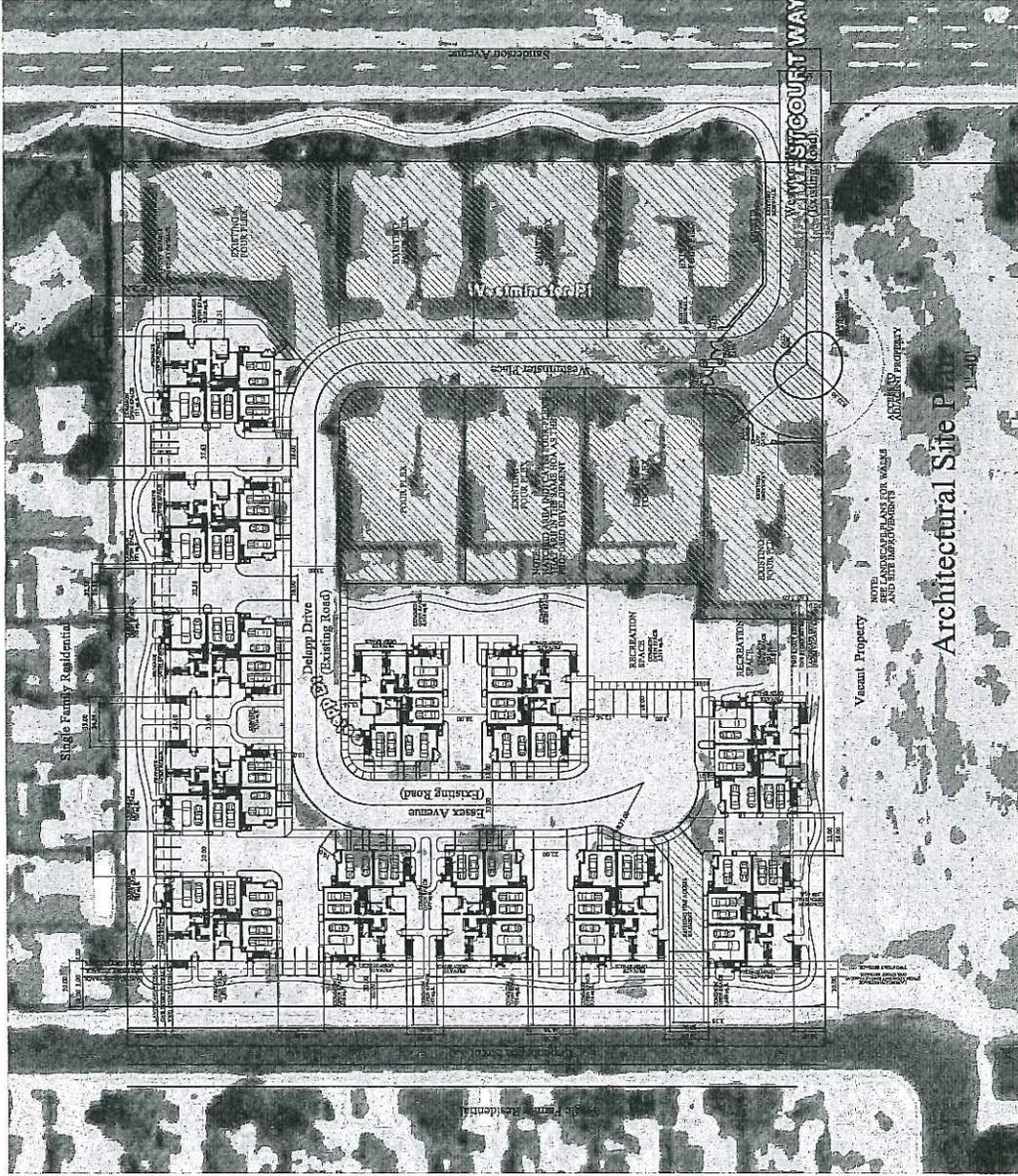
# Westcourt Villas

City of Hemet California

Portion of Tract 25225

Owner:  
Empresa Construction, LLC  
30262 Crown Valley Parkway #B211  
Laquana Niquei, CA 92677

Empresa, LLC



**mpresa, LLC**

Owner:  
Empresa Construction, LLC  
30262 Crown Valley Parkway #B211  
Laguna Niguel, CA 92677

*Westcourt Villas*

*City of Hemet California*

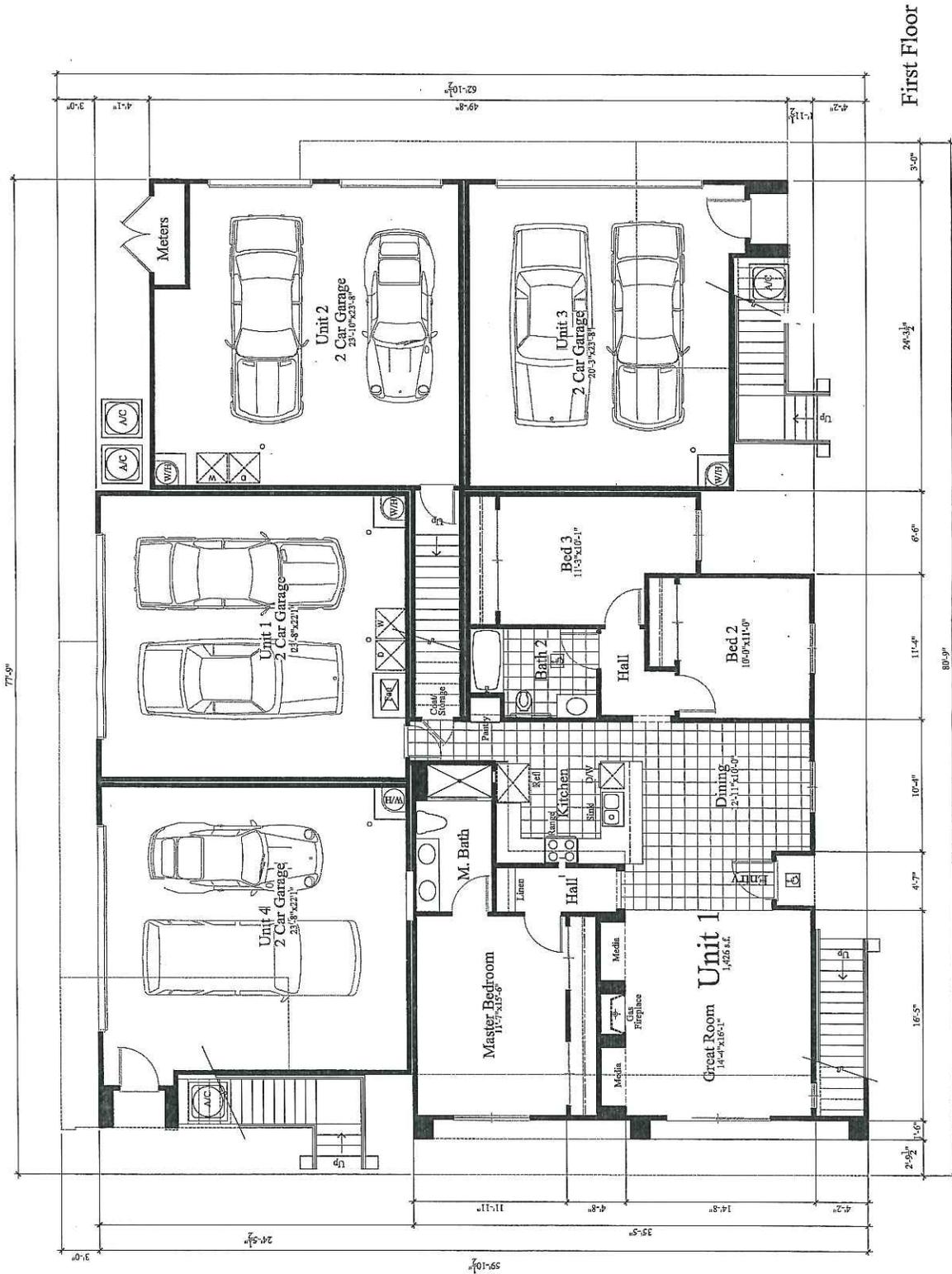
Portion of Tract 25225  
Laguna Niguel, California



**Site Plan**  
1"=40'

**PEKAREK-CRANDELL, Inc.**  
architecture - planning

31411 Camino Capistrano, Suite 300 949/487-2320  
San Juan Capistrano, CA 92675 fax 949/487-2321  
5-7-09 06-05  
P. 200.042



First Floor

First Floor Plan  
Sheet 5

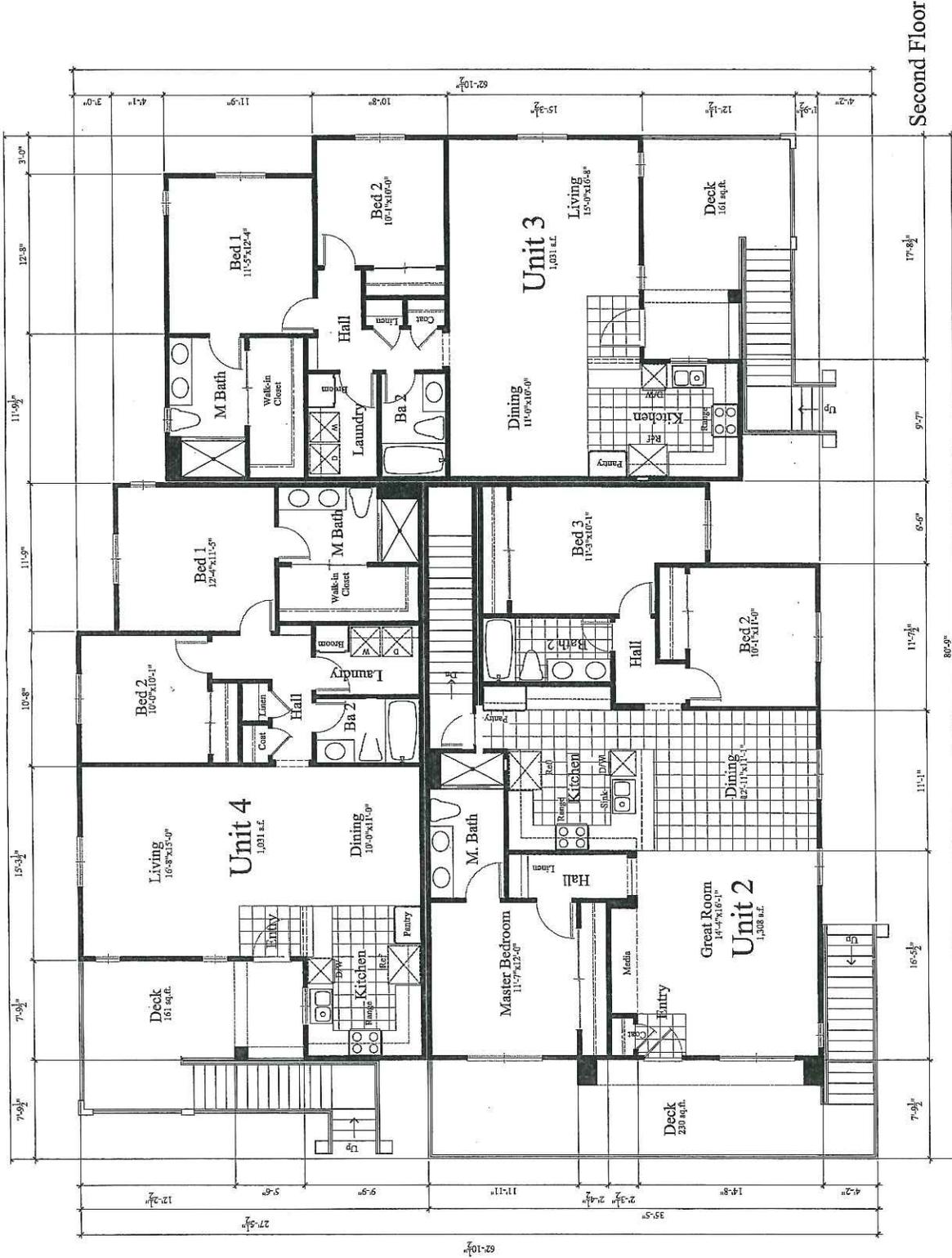


PEKAREK-CRANDELL, Inc.  
architecture - planning  
31411 camino capistrano, suite 300  
san juan capistrano, ca. 92675

*Westcourt Villas*  
City of Hemet California

Owner:  
Empresa Construction, LLC  
10000 N. Valley Parkway, Suite 104

Empresa, LLC



Second Floor

Second Floor Plan  
Sheet 6



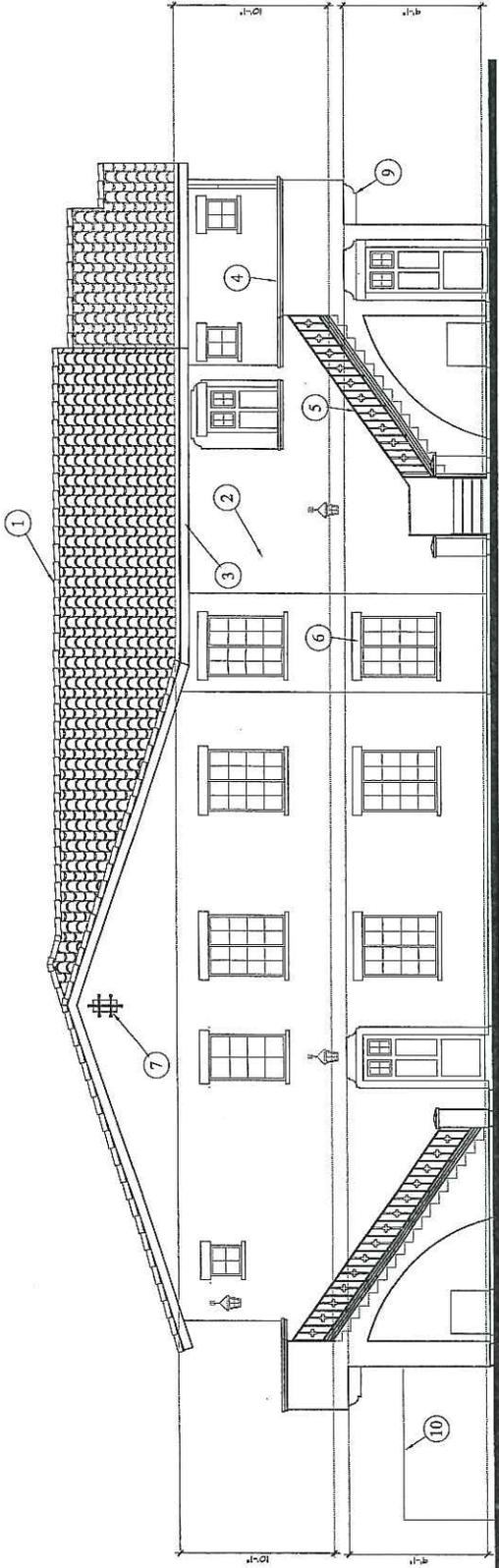
**PEKAREK-CRANDELL, Inc.**  
architecture - planning  
31411 camino capistrano, suite 300  
san juan capistrano, ca. 92675  
949/ 487-2320  
fax 949/ 487-2321

*Westcourt Villas*  
City of Hemet California

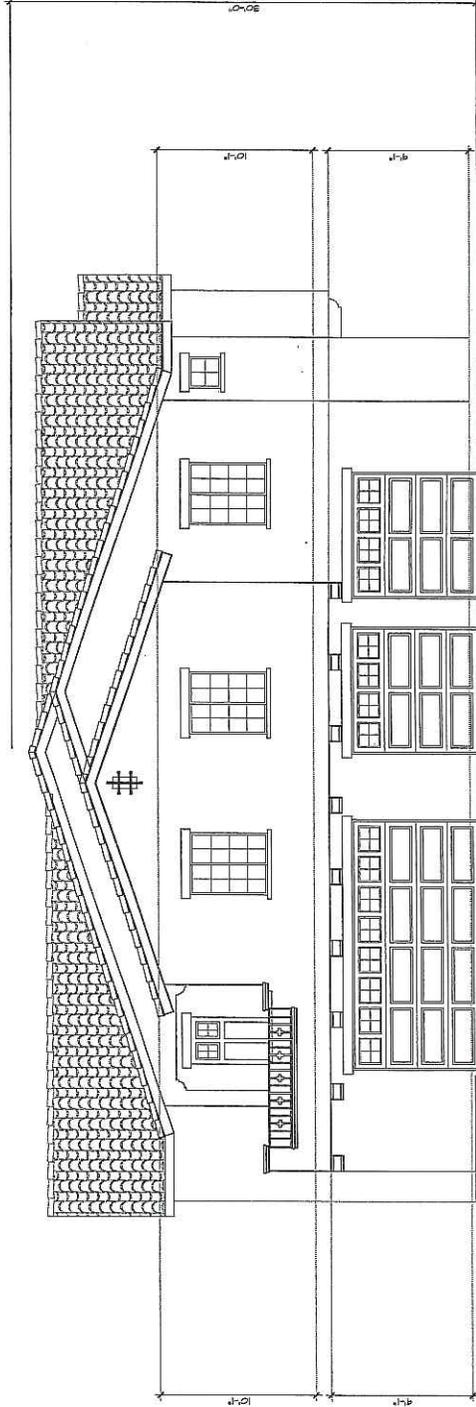
Owner:  
Empresa Construction, LLC  
30265 Crown Vellow Parkway #B011

**Empresa, LLC**

- Material Key
- 1 Concrete "S" Tile
  - 2 Stucco
  - 3 2x8 Wood Facia
  - 4 Precast Concrete Cap
  - 5 Wrought Iron Railing
  - 6 Stucco over Foam Lintel
  - 7 Stucco Recess with Wrought Iron Sectional Garage Door
  - 8 Stucco over Foam Corbel
  - 9 Yard Fence location varies



Left Elevation A



Front Elevation A

*Westcourt Villas*  
 City of Hemet California

Owner:  
 Empresa Construction, LLC  
 30262 Crown Valley Parkway #B211

mpresa, LLC



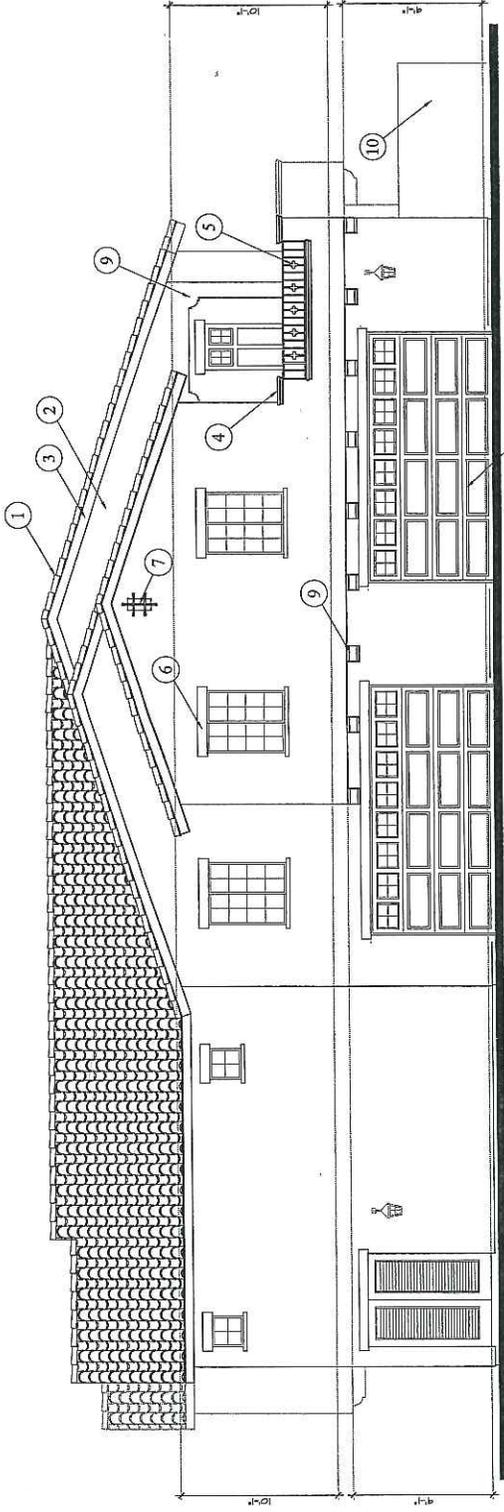
**PEKAREK-CRANDELL, Inc.**  
 architecture - planning

31411 Camino Capistrano, Suite 300 949/487-2320  
 San Juan Capistrano, CA 92675 fax 949/487-2321

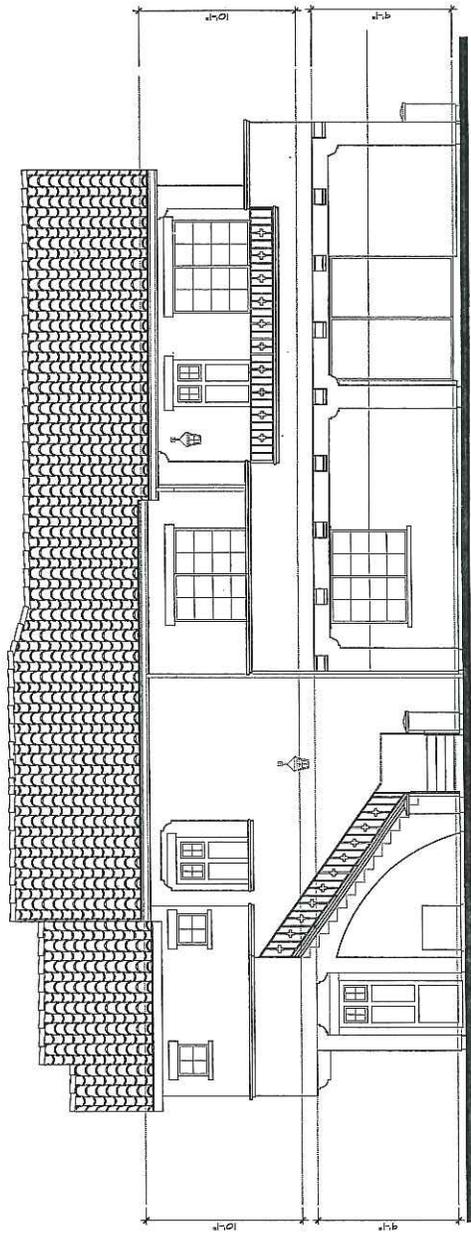
Elevation A

Sheet 7

- Material Key**
- 1 Concrete "S" Tile
  - 2 Stucco
  - 3 2x8 Wood Facia
  - 4 Precast Concrete Cap
  - 5 Wrought Iron Railing
  - 6 Stucco over Foam Lintel
  - 7 Stucco Recess with Wrought Iron
  - 8 Sectional Garage Door
  - 9 Stucco over Foam Corbel
  - 10 Yard Fence location varies



Right Elevation A



Rear Elevation A



**PEKAREK-CRANDELL, Inc.**  
 architecture - planning

31411 camino capistrano, suite 300 949/ 487-2320  
 san juan capistrano, ca. 92675 fax 949/ 487-2321

*Westcourt Villas*

*City of Menet California*

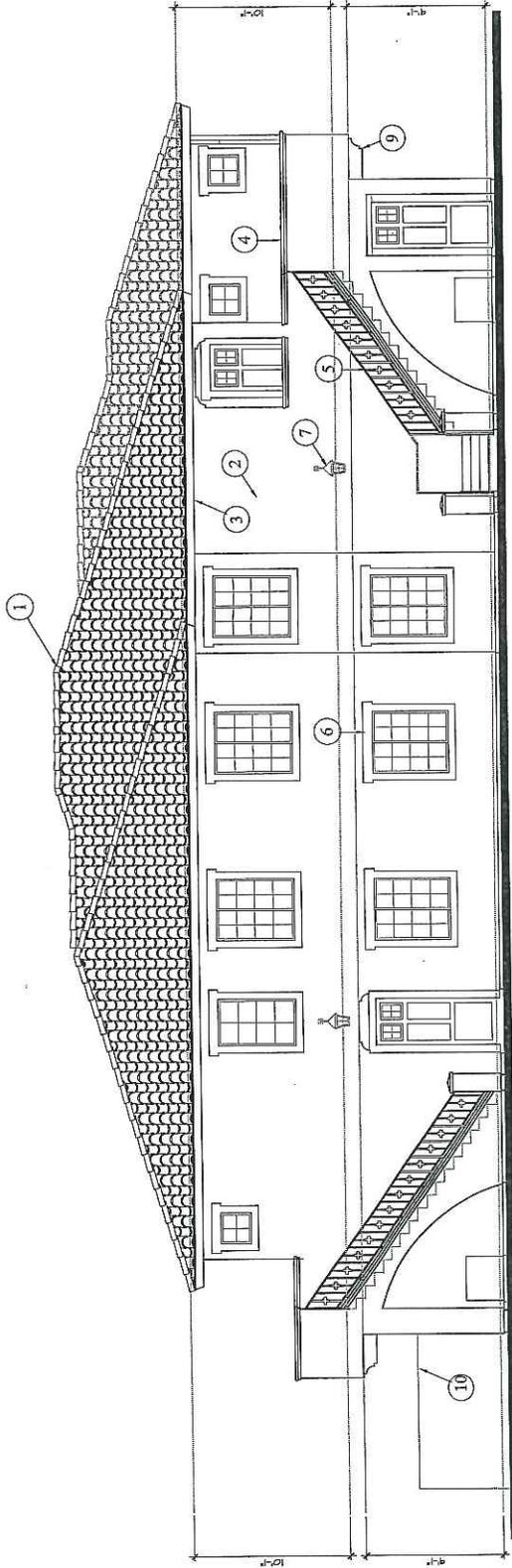
Owner:  
 Empresa Construction, LLC  
 91000 Camino Velloso, Bakersfield, #0011

**Empresa, LLC**

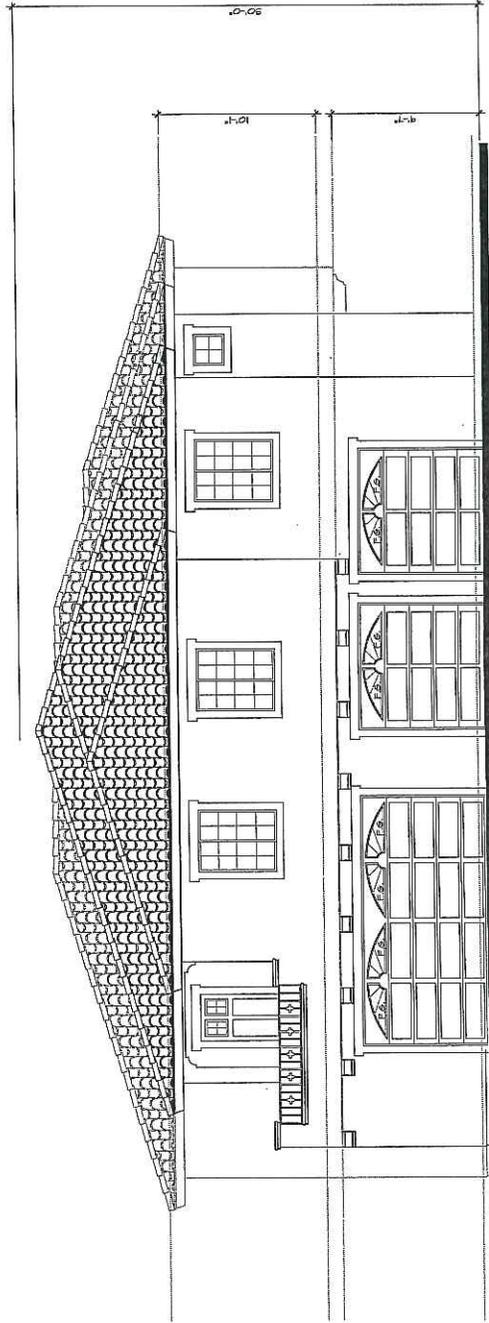
Elevation A

Sheet 8

- Material Key
- 1 Concrete "S" Tile
  - 2 Stucco
  - 3 2x8 Wood Facia
  - 4 Precast Concrete Cap
  - 5 Wrought Iron Railing
  - 6 Stucco over Foam Trim
  - 7 Decorative Light Fixture
  - 8 Sectional Garage Door
  - 9 Stucco over Foam Corbel
  - 10 Yard Fence location varies



Left Elevation B



Front Elevation B



**PEKAREK-CRANDELL, Inc.**  
 architecture - planning  
 31411 camino capistrano, suite 300 949/ 487-2320  
 san juan capistrano, ca. 92675 fax 949/ 487-2321

*Westcourt Villas*  
 City of Hemet California

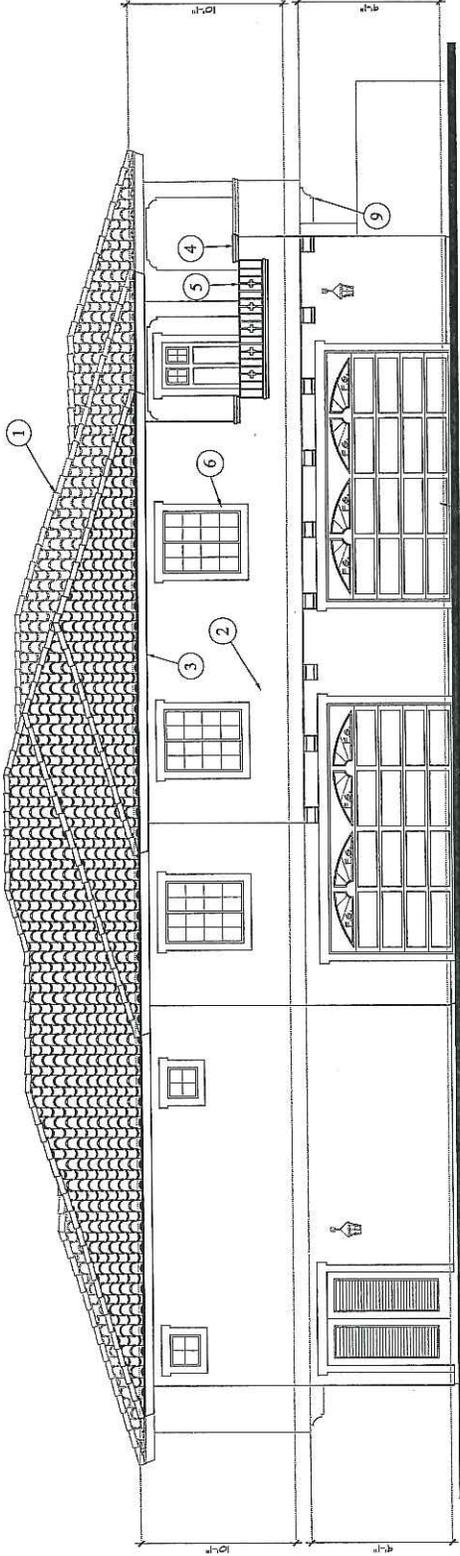
Owner:  
 Empresa Construction, LLC

**mpresa, LLC**

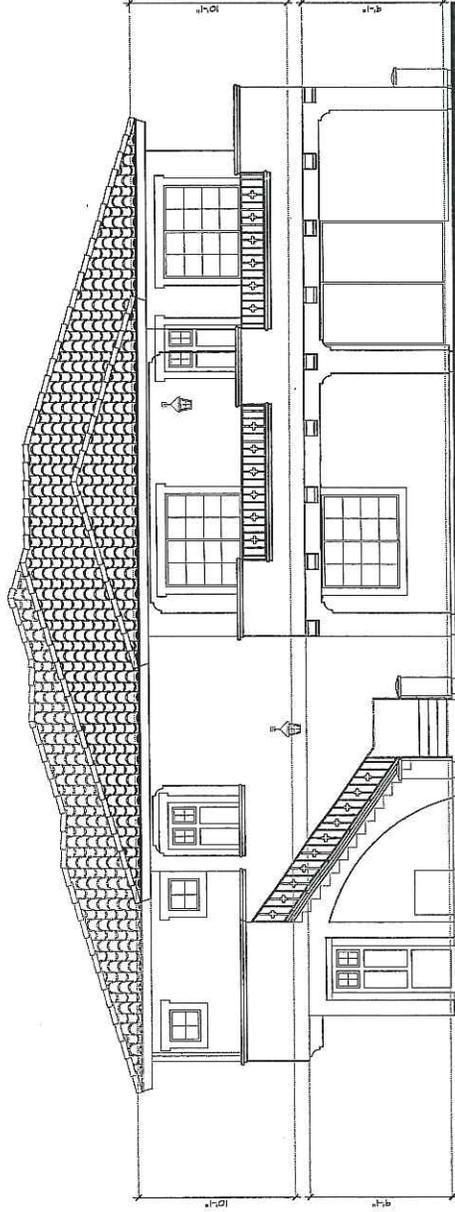
Elevation B

Sheet 9

- Material Key
- 1 Concrete "S" Tile
  - 2 Stucco
  - 3 2x8 Wood Facia
  - 4 Precast Concrete Cap
  - 5 Wrought Iron Railing
  - 6 Stucco over Foam Trim
  - 7 Sectional Garage Door
  - 8 Stucco Recess with Wrought Iron
  - 9 Stucco over Foam Corbel
  - 10 Yard Fence location varies



Right Elevation B



Rear Elevation B

*Westcourt Villas*  
 City of Hemet California

Owner:  
 Empresa Construction, LLC  
 30969 Crown Valley Parkway #10011

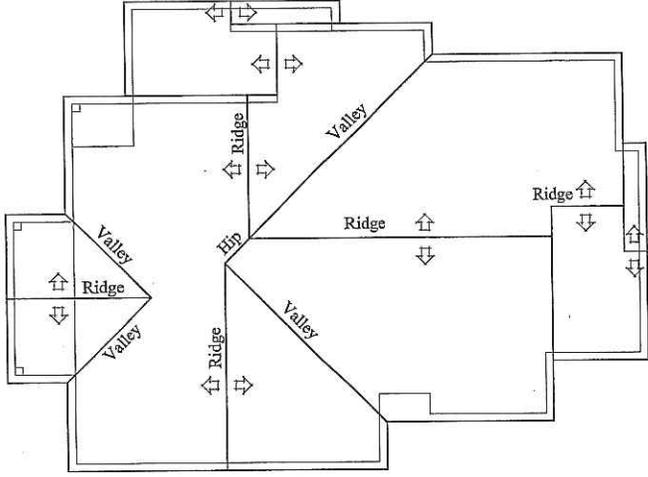
mpresa, LLC

  
**PEKAREK-CRANDELL, Inc.**  
 architecture - planning

31411 camino capistrano, suite 300 949/487-2320  
 san juan capistrano, ca. 92675 fax 949/487-2321

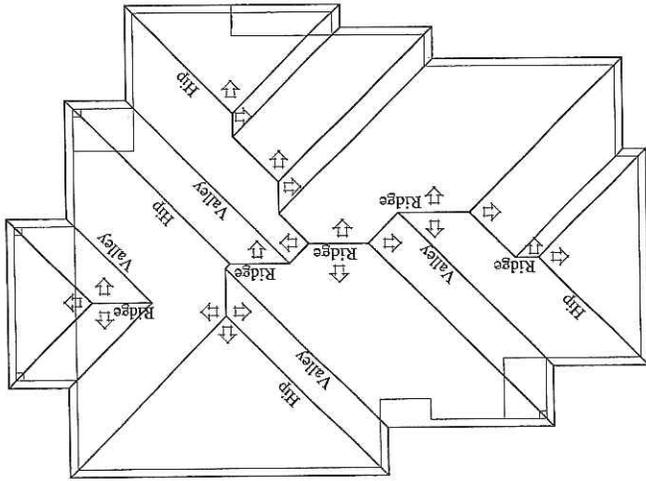
Elevation B

Sheet 10



Elevation A Roof Plan

SCALE: 1/8" = 1'-0"



Elevation B Roof Plan

SCALE: 1/8" = 1'-0"



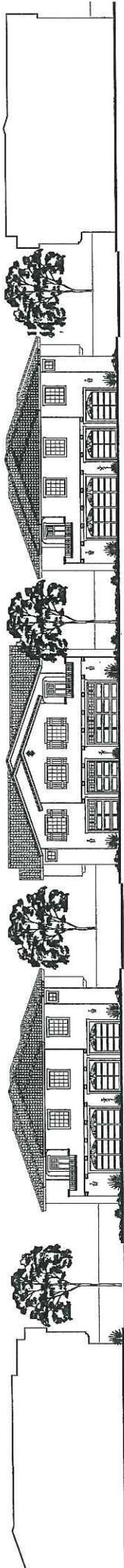
**PEKAREK-CRANDELL, Inc.**  
architecture - planning

31411 camino capistrano, suite 300  
san juan capistrano, ca. 92675  
C-9/ 487-2320 fax 949/ 487-2321

*Westcourt Villas*  
City of Hemet California

Owner:  
Empresa Construction, LLC  
30262 Crown Valley Parkway #R011

Empresa, LLC



Street Scene Looking West

Empresa, LLC

Owner:  
Empresa Construction, LLC  
30262 Crown Valley Parkway #R211

*Westcourt Villas*  
*City of Hemet California*



**PEKAREK-CRANDELL, Inc.**  
architecture - planning

31411 Camino Capistrano, Suite 300  
San Juan Capistrano, CA 92675

949/487-2320  
fax 949/487-2321

Street Scene

Sheet 12











**SITE PLAN**  
**HARDSCAPE PLAN**

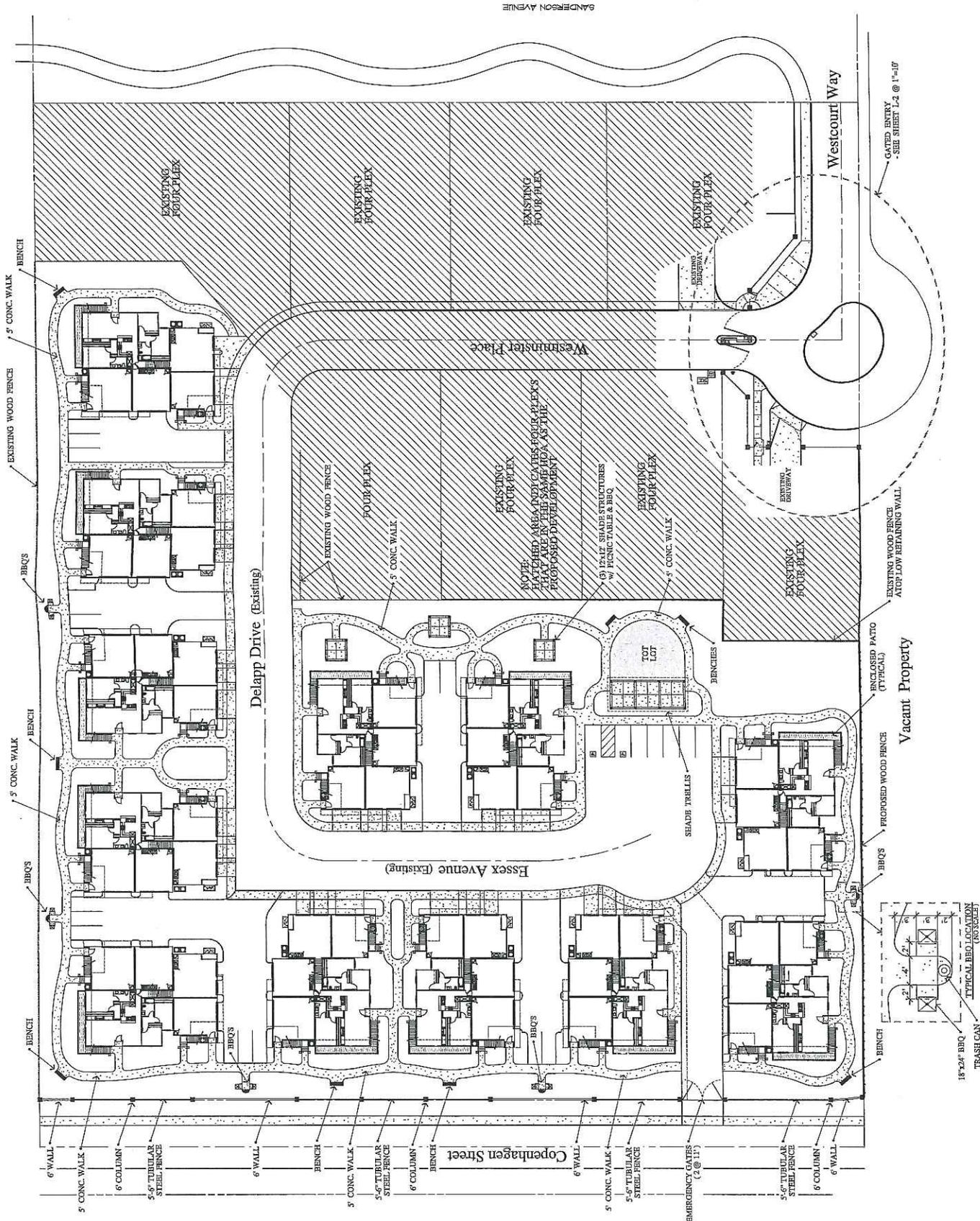
**WESTCOURT VILLAS**  
HAYMAKT, CALIFORNIA  
**EMPRESSA CONSTRUCTION, LLC**  
30022 CROWN VALLEY PARKWAY, SUITE 2011 LAGUNA HILLS, CA 92653  
949-249-7665



**FRANK RADMACHER ASSOCIATES, INC.**  
14414 YOUNG BLVD., SUITE 201 LAGUNA HILLS, CA 92653  
TEL: 949-249-7665 FAX: 949-249-7665

NO.	REVISIONS	BY DATE

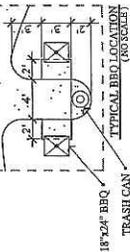
SCALE: 1/8" = 1'-0"  
DATE: 11/11/11  
DRAWN: J. J. J.  
CHECKED: J. J. J.  
PROJECT: WESTCOURT VILLAS  
SHEET: 1-1



SANDERSON AVENUE

GATED ENTRY  
-SEE SHEET 1-2 @ 1/8"=1'-0"

Vacant Property



18"X24" BRQ  
TYPICAL BOLLARD LOCATION (CIRCLED)  
TRASH CAN



# **Exhibit**

## **No. 4**

**Arthofer Specific Plan –  
Planning Area Map**

**Planning Commission  
Workstudy Meeting of  
September 20, 2011**

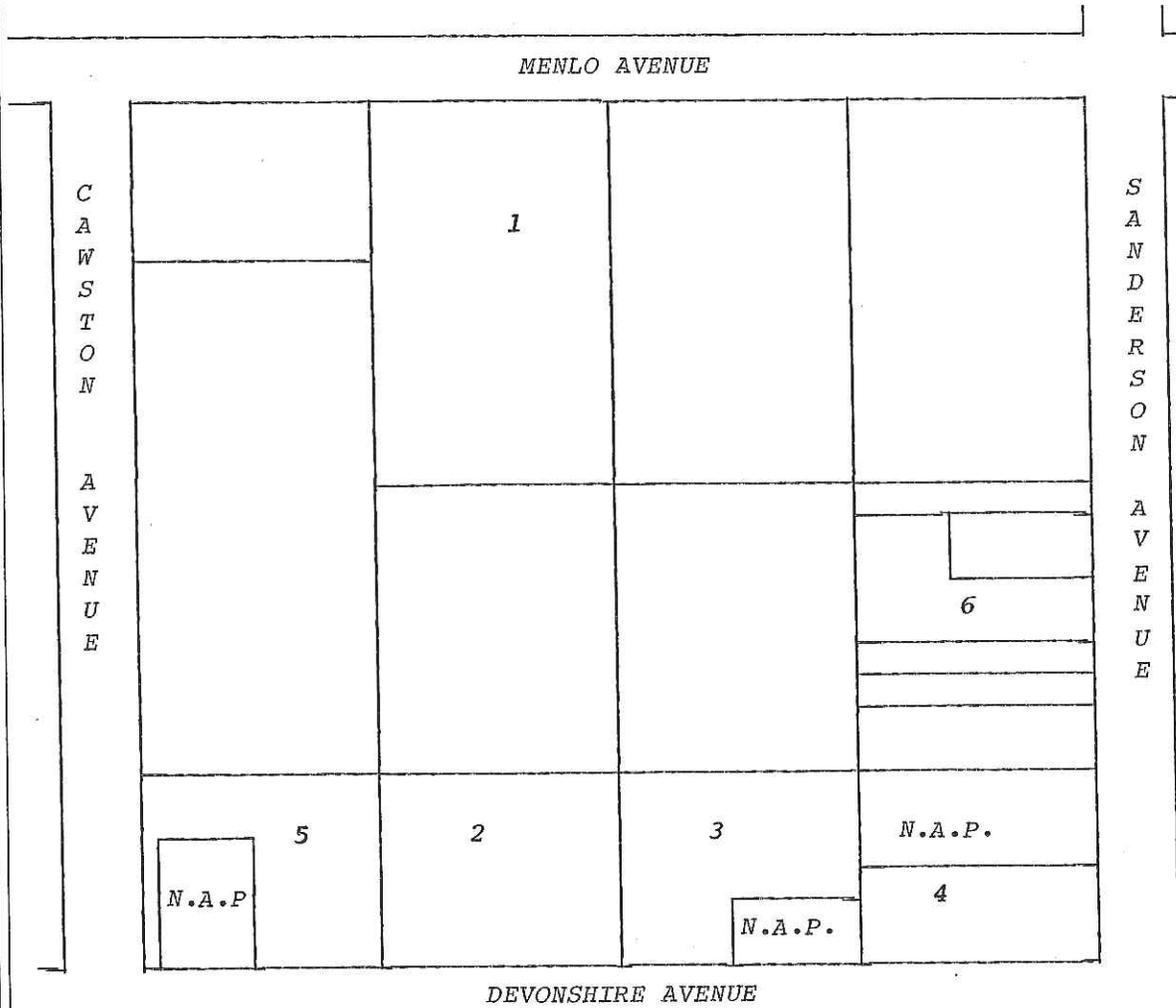
AREA 6

Area 6 shall be developed for apartments and shall be developed in accordance with the R-3 Multiple Family Residential (Chapter 15, Title 17, Zoning) Development Standards with the density not to exceed 17 units per net acre after dedication for required street rights-of-way. There shall be a single development plan approved for all six parcels in this area prior to any construction. (ZC 88-15)

SECTION THREE:

A map of the Specific Plan areas of the property described in Section One herein is as follows:

SPECIFIC PLAN AREAS:  
NOT TO SCALE



SECTION FOUR:

Conditions of Approval are herein attached as Exhibit "A".

Introduced at the regular meeting of May 24, 1988.

Enacted at the regular meeting of June 14, 1988

by the following vote:

- AYES: Council Members Garrett, Herron, Quinn, Nishino
- NOES: None
- ABSTAIN: None
- ABSENT: Baskett

  
Ken Nishino

# Attachment

## No. 5

April 3, 2007 Planning  
Commission Minutes

Planning Commission  
Workstudy Meeting of  
September 20, 2011

1 Chairman Duistermars closed the public hearing at 6:15 p.m. and asked for a motion  
2 regarding the map.

3  
4 It was MOVED by Commissioner Rhoten and SECONDED by Commissioner Mendoza to  
5 adopt *Planning Commission Resolution Bill No. 07-016* approving Tentative Parcel Map No.  
6 35002 (Map No. 06-018) as presented.

7  
8 The MOTION was carried by the following vote:

9  
10 AYES: Chairman Duistermars, Vice Chairman Jones and Commissioners Mendoza  
11 and Rhoten

12 NOES: None

13 ABSTAIN: None

14 ABSENT: None

15  
16 ***Planning Commission Resolution No. 07-011.***

17  
18 Vice Chairman Jones MOVED and Commissioner Rhoten SECONDED the motion to  
19 appeal Site Development Review No. 06-029 which had been approved at the April 2, 2007  
20 Planning Director Review meeting.

21  
22  
23 **V. WORK STUDY**

24  
25 **A. CONDITIONAL USE PERMIT NO. 06-014 – “WESTCOURT VILLAS” – B.**  
26 *Chase*

27 A work study session to receive Planning Commission input regarding a  
28 proposal for the construction and use of twelve (12) four-plex multiple-family  
29 residential buildings totaling 54,540 square-feet, along with a recreation area  
30 and appurtenant site improvements and landscaping on a 3.52-acre (153,413  
31 square-foot) project site. The site is currently composed of twelve (12) lots,  
32 a private street and an undeveloped common area within a twenty (20) lot  
33 subdivision, of which eight (8) lots are each developed with four-plex  
34 residences. A condominium subdivision would also be submitted for  
35 concurrent processing. The site is located along Essex Avenue and Delapp  
36 Drive, west of the intersection of Westcourt Way and Sanderson Avenue,  
37 between Devonshire and Menlo Avenues.

38  
39 The work study session was initiated by Associate Planner Chase, who provided various  
40 details before turning the presentation over to the project proponent.

1 Bart Crandell of Pekarek Crandell Architects, Inc., 31872 Camino Capistrano, San Juan  
2 Capistrano, California, approached the lectern as a representative for the project applicant  
3 and embarked on his presentation. He advised the Commission that the existing portion  
4 of the project had been approved under a prior specific plan for 80 units. He noted that 32  
5 units were existing on eight lots, which were individually owned by persons other than the  
6 applicant for this project. He explained that all of the units would, however, be under a  
7 single Association. He advised the Commission that the infrastructure was existing for the  
8 proposed project, and that the original approval allowed for 48 additional units, noting that  
9 they were not proposing to increase the density. He indicated that it had been determined  
10 that the site met the 3-acre minimum requirement, and that a condominium map would be  
11 filed to combine the lots, with the units to be sold individually. He explained that they were  
12 looking at the idea of including the existing units exterior open space into the Association,  
13 if they could get agreement from the existing property owners, which would provide for  
14 maintenance of the existing units as well as the new units under one Association. He  
15 advised the Commission that the surrounding uses to the north and west were single-  
16 family, with vacant land to the north. He noted that they had considered various other  
17 options for the site, but that this option seemed to be the least invasive to the surrounding  
18 properties, relative to noise impact, etc. He referred to some concerns that had been  
19 expressed regarding the views and noise impacts, and described what had been done to  
20 minimize those concerns. He advised that the residents would have complete visibility  
21 around the buildings, and that, if possible, the owners had decided that they would like to  
22 paint the existing community where it turned into the overall project, which would make the  
23 site read as one. He added that the owners of the existing units were also looking at  
24 upgrading upon approval of the proposed project.

25  
26 Vice Chairman Jones asked what was wrong with the existing units.

27  
28 Mr. Crandell responded that they were in need of paint and landscaping improvements, and  
29 that they were old and had not been maintained very well. He noted that the carports  
30 needed to be hidden, and suggested that if the project were properly developed it would  
31 be a positive addition to the neighborhood.

32  
33 Lieutenant Jeff Pinney of the Hemet Police Department indicated that 4-plexes and  
34 duplexes, when owned by individual owners, tended to be the more difficult projects for the  
35 Police Department. He suggested that the larger apartment complexes were easier to deal  
36 with because they included on-site management. He indicated that the existing units,  
37 relative to the proposed project, were rather troublesome.

38  
39 Discussion ensued regarding what could be added behind the existing four-plexes that  
40 would be easy to police.

1 Mr. Crandell indicated that the proposed project would be owner occupied, with individual  
2 ownership of each unit, rather than each building.

3  
4 Lieutenant Pinney noted that the problems tended to begin when the units were turned into  
5 rentals, and that if the units were indeed owner occupied there would probably be fewer  
6 problems.

7  
8 Chairman Duistermars noted that as a project, the proposal looked great, but that their  
9 concerns were with the high crime that notoriously accompanied rental units, which these  
10 units had the potential to become.

11  
12 Mr. Crandell inquired regarding whether the City was a party to the establishment of  
13 CC&R's, suggesting that some of the issues could be resolved with the appropriate CC&R's  
14 being put in place.

15  
16 Discussion ensued regarding potential ways of ensuring security of the project.

17  
18 Chairman Duistermars reiterated his concern with the location of the project.

19  
20 Vice Chairman Jones inquired regarding the City's prior discussions regarding the  
21 elimination of four-plexes due to the crime potential that exists when the units were rented  
22 out.

23  
24 Chairman Duistermars asked whether there were any possible CC&R's that could restrict  
25 property owners from renting their property.

26  
27 Deputy Assistant City Attorney Murphy suggested that such CC&R's were typically found  
28 if a project was within a redevelopment area and if the City were involved with the project.  
29 He added that there were some cases of owner occupation requirements for privately  
30 owned complexes, but that he would need to do some additional research in order to  
31 respond to the Commission's questions.

32  
33 Commissioner Rhoten asked Lieutenant Pinney if visibility would make a difference.

34  
35 Lieutenant Pinney responded that visibility would not make much of a difference, but that  
36 the Police Department would need access from both sides of the complex.

37  
38 Chairman Duistermars asked Commissioner Mendoza what his thoughts were regarding  
39 the project.

40  
41 Commissioner Mendoza responded that he shared the concerns of Vice Chairman Jones,  
42 and that if the project were to be approved he would want to see less units and restrictive  
43 CC&R's.

44

1 Chairman Duistermars clarified that he had been advised that four-plexes were  
2 problematic, and asked the Commission what they would like to see at this location if not  
3 four plexes.

4  
5 Commissioner Mendoza suggested that single-family homes on larger lots would be  
6 desirable.

7  
8 Mr. Crandell indicated that the road was jointly owned by the existing units and could not  
9 simply be abandoned. He suggested that there were limitations as to what could be  
10 developed, noting that when the amount of recreation had been considered they had  
11 included the existing eight (8) units, with hopes of making the project one cohesive  
12 condominium map.

13  
14 It was noted that most of the existing units were rentals.

15  
16 Mr. Crandell suggested that the existing property owners should find completion of this  
17 proposal desirable.

18  
19 Repetitive discussions ensued.

20  
21 Chairman Duistermars noted that there was concern regarding this type of project at this  
22 location. He suggested that the applicant consider proposing single-family detached  
23 homes for the location, indicating that smaller lot sizes for such development might be  
24 allowed as an alternative to four-plexes. He further noted that a well-run apartment  
25 complex with on-site management might be considered acceptable.

26  
27 Lieutenant Pinney clarified for the Commission that if the units were owner occupied he  
28 would not anticipate many problems, but that owners did not typically occupy condominium  
29 units for very long, and that when they became rentals was when the problems tended to  
30 kick in.

31  
32 Commissioner Mendoza asked what the alternatives were.

33  
34 Principal Planner Sawyer noted that detached single-family homes would be one  
35 alternative.

36  
37 Mr. Crandell indicated that his company had built a number of these types of units for John  
38 Laing Homes, and that they were in very good and upscale neighborhoods. He inquired  
39 regarding whether, since the existing eight units were rentals, the Commission would be  
40 more inclined to accept an apartment complex with on-site management.

1 Chairman Duistermars responded that, with the caveat that ownership was the most  
2 desirable route to go, he was thinking that the Commission might want to see if there were  
3 a way to require owner occupation and prohibit property rentals. He suggested a senior  
4 project with relocation of the gate.

5  
6 Discussion of various other ideas and their ramifications continued.  
7

8 Mr. Crandell suggested that the project would be a bit small for a senior project, and that  
9 the association fees may be relatively high, which could make the units cost prohibitive.  
10 He added that it had been his thought that they were getting close to an acceptable project  
11 with the ownership status and security provisions. He asked if all of the multi-family  
12 guidelines would have to be met with a condo project.  
13

14 Principal Planner Sawyer noted that the multi-family guidelines were designed more for  
15 apartments, and that the requirements for this type of a project would need to be assessed.  
16

17 Chairman Duistermars advised Mr. Crandell that he had heard the Commission's  
18 suggestions and recommended that he work with staff. He suggested that another work  
19 study session be held when the final proposal was further along, and reiterated his  
20 recommendation of a senior project.  
21

22 **B. TENTATIVE TRACT MAP NO. 33602 / CONDITIONAL USE PERMIT NO.**  
23 **05-07 – "ASHBROOK MONTEBELLA" – B. Hann**

24 A Tentative Tract Map for 167 multiple-family residential condominium units  
25 within a one-lot subdivision; and a Conditional Use Permit for the design,  
26 construction and use of 167 multiple-family condominium residences in forty-  
27 seven (47) three-story buildings, along with swimming pool facilities and  
28 appurtenant landscape features located at the southeast pending corner of  
29 Johnston Avenue and Gilbert Street.  
30

31 The work study session for this item was canceled by the applicant, with the option to  
32 reschedule for a later date.  
33

34  
35 **VI. CONSENT CALENDAR**

36  
37 **A. MINUTES**

- 38  
39 1. March 6, 2007  
40

41 It was **MOVED** by Commissioner Rhoten and **SECONDED** by Commissioner Mendoza to  
42 approve the consent calendar as presented.  
43  
44

# Attachment No. 6 Site Photos

Planning Commission  
Workstudy Meeting of  
September 20, 2011

# Conditional Use Permit No. 06-014

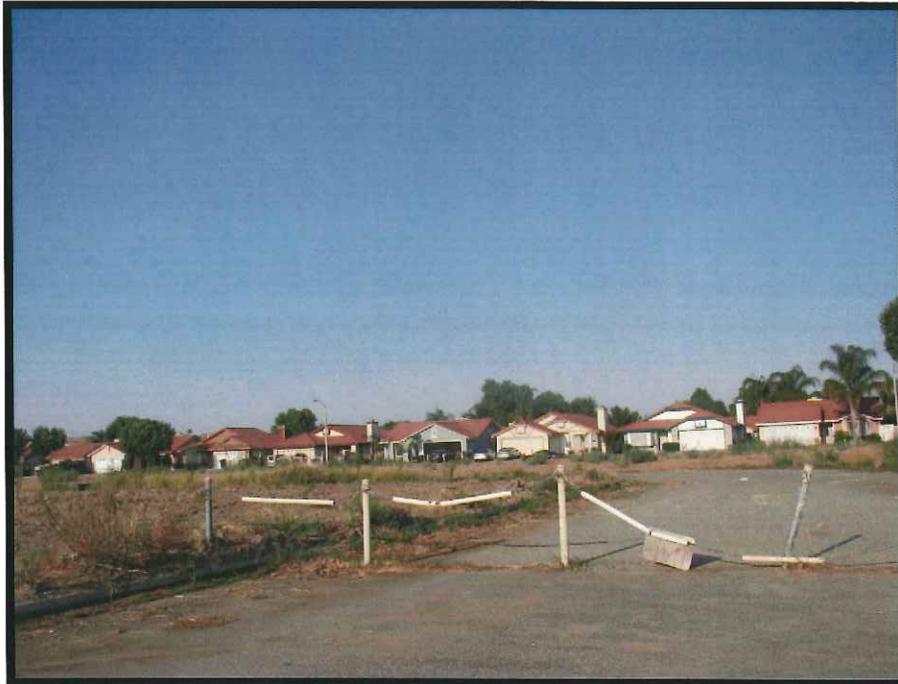
## Site Photographs



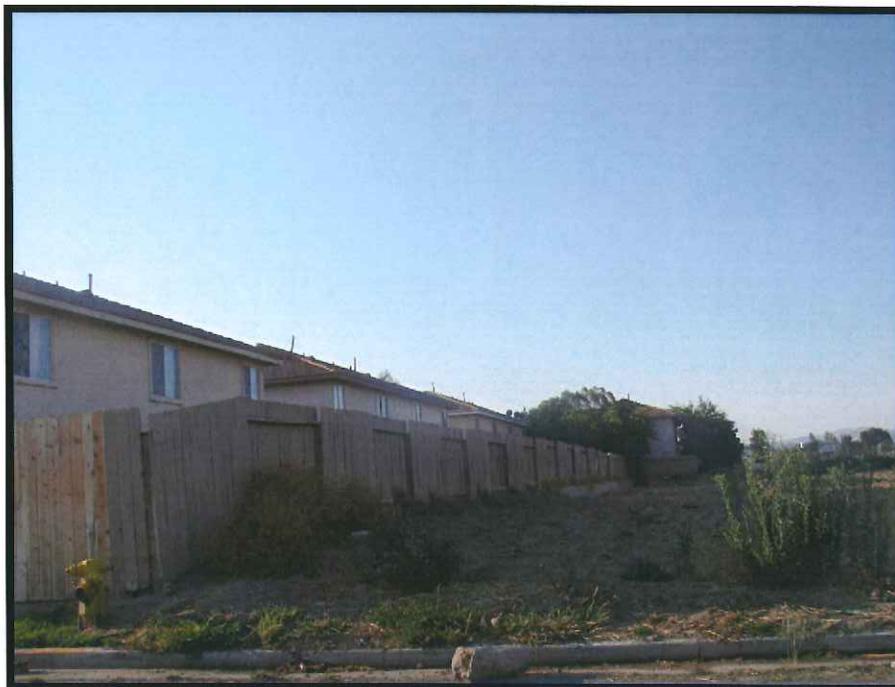
Looking west at the existing four-plex on Lot 20.



Looking south along Lot 18.



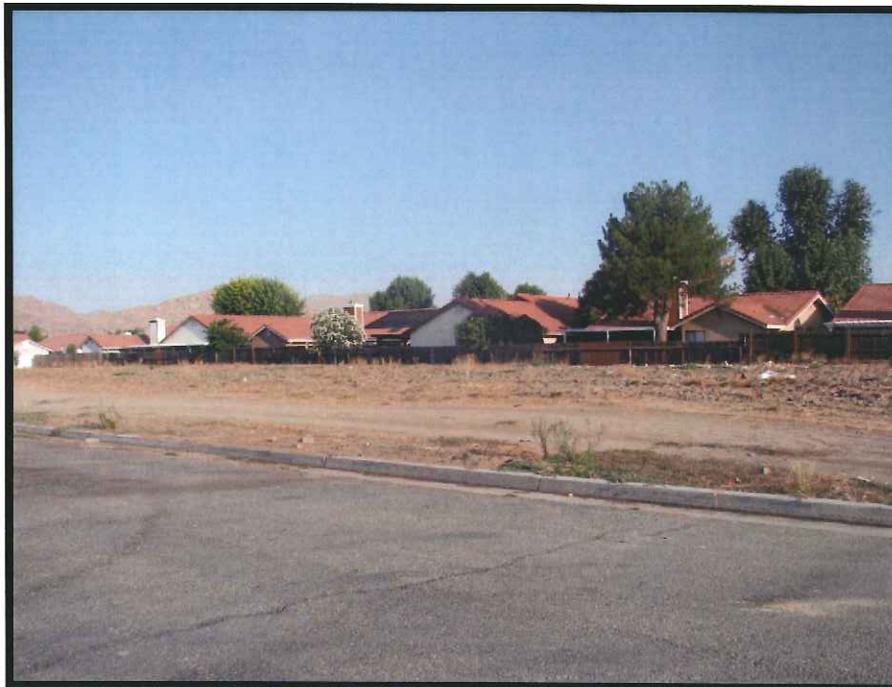
Looking west onto vacant parcels.



Looking south along the rear of the existing four-plexes.



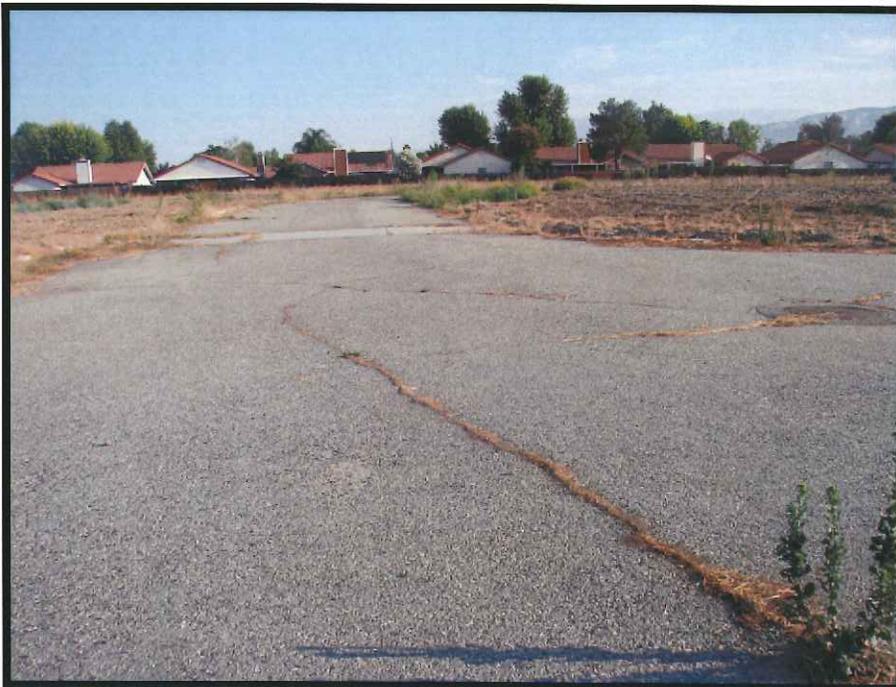
Looking south along Lot 17.



Looking northwest from Delapp Drive.



Looking northeast from Delapp Drive.



Looking north from the terminus of Essex Avenue.



Looking north east the existing four-plexes from Essex Avenue.



Looking southeast at the existing four-plexes from Copenhagen Street.