

# PLANNING COMMISSION

## AGENDA

**REGULAR MEETING OF THE HEMET PLANNING COMMISSION**  
**City Council Chambers**  
**450 East Latham Avenue, Hemet CA 92543**

**March 20, 2012**  
**6:00 PM**

*If you wish to make a statement regarding any item on the agenda, please complete a Speaker Card and hand it to the clerk. When the Chairman calls for comments from the public on the item you wish to address, step forward to the lectern and state your name and address. **Only testimony given from the lectern will be heard by the Planning Commission and included in the record.***

### 1. CALL TO ORDER:

**Roll Call:** Chairman John Gifford, Vice Chairman Sharon Deuber, and Commissioners Vince Overmyer and David Rogers

**Invocation and Flag Salute:** Commissioner Rogers

### 2. APPROVAL OF MINUTES:

A. Minutes for the Planning Commission Meeting of February 21, 2012

### 3. CERTIFICATE OF RECOGNITION FOR COMMISSIONER DAVID ROGERS – *presented by Chairman John Gifford*

### 4. PUBLIC COMMENTS:

*Anyone who wishes to address the Commission regarding items **not on the agenda** may do so at this time. Please line up at the lectern when the Chairman asks if there are any communications from the public. When you are recognized, please give your name and address. Please complete a Speaker Card and hand it to the Clerk so that we have an accurate recording of your name and address for the minutes.*

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□ CITY OF HEMET PLANNING COMMISSION MEETING □  
MARCH 20, 2012

## WORK STUDY ITEMS

### 5. CONDITIONAL USE PERMIT NO. 11-004 (Jasmine Gardens)

APPLICANT: 1027 Wilshire Associates c/o Denley Investments  
AGENT: Kenneth Bank – Denley Investments  
LOCATION: South side of Johnston Avenue, east of Gilbert Street and west of State Street  
PLANNER: Carole Kendrick, Assistant Planner

**DESCRIPTION:** A work study session to update the Planning Commission regarding proposed architectural revisions for Jasmine Gardens, a Conditional Use Permit for the construction and operation of a 124-unit, three-story senior apartment complex to be built in two phases, located on Johnston Avenue, east of Gilbert Street and west of State Street.

## PUBLIC HEARINGS

### Meeting Procedure for Public Hearing Items:

1. Receive Staff Report Presentation
2. Commissioners Report Regarding Any Site Visit or Applicant Contact
3. Open the Public Hearing and receive comments from the applicant and the public.
4. Close the Public Hearing
5. Planning Commission Discussion and Motion

### 6. EXTENSION OF TIME NO. 11-003 FOR SITE DEVELOPMENT REVIEW NO. 06-017 (Los Olivos)

APPLICANT: Eric Day and Arthur Crigler  
LOCATION: East side of Cawston Avenue, approximately 700 feet south of Stetson Avenue (APN 460-242-037)  
PLANNER: Soledad Carrisoza, Planning Technician

**DESCRIPTION:** A request for the Planning Commission to consider a two-year Extension of Time for Site Development Review Permit No. 06-017. This is the second and final request for an extension of time to construct and operate a 40-unit residential condominium project with associated site improvements on a 2.5 acre site located on the east side of Cawston Avenue approximately 700 feet south of Stetson Avenue.

### Recommended Action:

1. **Adopt Planning Commission Resolution Bill No. 12-004, approving Extension of Time No. 11-003 for Site Development Review No. 06-017, entitled:**

*"A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA, APPROVING EXTENSION OF TIME NO. 11-003 FOR A SECOND AND FINAL TWO-YEAR EXTENSION OF SITE DEVELOPMENT REVIEW PERMIT NO. 06-017 FOR THE*

CONSTRUCTION AND OPERATION OF A 40-UNIT RESIDENTIAL CONDOMINIUM COMPLEX PROJECT AND APPURTENANT LANDSCAPING AND SITE IMPROVEMENTS, LOCATED ON THE EAST SIDE OF CAWSTON AVENUE APPROXIMATELY 700 SOUTH OF STETSON AVENUE (APN: 460-242-037.)”

## DISCUSSION ITEMS

### 7. GREENHOUSE GAS EMISSIONS & PROPOSED CLIMATE ACTION PLAN

- A. Analyzing Greenhouse Gas Emissions under CEQA – *Verbal presentation by City Attorney Tom Jex*
- B. WRCOG Regional Climate Action Plan Project – *Verbal presentation by CDD Deanna Elliano*

## DEPARTMENT REPORTS

### 8. CITY ATTORNEY REPORTS: *Verbal reports from Assistant City Attorney Tom Jex on items of interest to the Planning Commission.*

### 9. COMMUNITY DEVELOPMENT DIRECTOR REPORTS:

- A. Report on City Council actions from the February 28, 2012 and March 13, 2012 meetings
- B. Housing Element Update
- C. Cancellation of April 3, 2012 Planning Commission meeting

### 10. PLANNING COMMISSIONER REPORTS: *Commissioner reports on meetings attended or other matters of Planning interest*

- A. Chairman Gifford
- B. Vice Chairman Deuber
- C. Commissioner Overmyer
- D. Commissioner Rogers

### 11. FUTURE AGENDA ITEMS: *Items to be scheduled for upcoming Planning Commission Meetings*

- A. Report on “Human Signs” and other temporary signage in the City
- B. Report on Industrial Development Opportunities
- C. Status of Shopping Cart Retrieval Plans and Compliance
- D. Proposed Fence Ordinance – Part II

- 12. ADJOURNMENT:** To the regular meeting of the City of Hemet Planning Commission scheduled for **April 17, 2012 at 6:00 p.m.** to be held at the City of Hemet Council Chambers located at 450 E. Latham Avenue, Hemet, California 92543.

**NOTICE TO THE PUBLIC:**

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Planning Department counter of City Hall located at 445 E. Florida Avenue during normal business hours. Agendas for Planning Commission meetings are posted at least 72 hours prior to the meeting. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in the meeting, please contact the Planning Department office at (951) 765-2375. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to insure accessibility to the meeting. (28 CFR 35.102-35.104 ADA Title II).

# AGENDA #2A

## PLANNING COMMISSION

### MEETING MINUTES

**DATE:** February 21, 2012

**CALLED TO ORDER:** 6:00 P.M.

**MEETING LOCATION:** City Council Chambers  
450 East Latham Avenue  
Hemet, CA 92543

#### 1. CALL TO ORDER:

**PRESENT:** Chairman John Gifford, Vice Chairman Sharon Deuber, and Commissioners Vince Overmyer and David Rogers

**ABSENT:** None

**Invocation and Flag Salute:** Commissioner Overmyer

#### 2. APPROVAL OF MINUTES

It was **MOVED** by Commissioner Overmyer and **SECONDED** by Commissioner Rogers to **APPROVE** the minutes of January 17, 2012, changing the spelling of "Duber" to "Deuber" on line 19.

**AYES:** Chairman Gifford, Vice Chairman Deuber, and Commissioners Overmyer and Rogers

**NOES:** None

**ABSTAIN:** None

**ABSENT:** None

#### 3. PUBLIC COMMENTS: None

### PUBLIC HEARINGS

#### 4. CONDITIONAL USE PERMIT NO. 09-005 (Lazaro's Plaza)

**APPLICANT:** Javier Delgado

**AGENT:** Martha Schact

**LOCATION:** North side of Florida Avenue, 660 feet east of Columbia Street

**PLANNER:** Carole Kendrick, Assistant Planner

1 DESCRIPTION: A request for Planning Commission review and approval of a  
2 Conditional Use Permit application for the construction and operation of a 20,999  
3 square-foot retail shopping center, located on the north side of Florida Avenue,  
4 east of Columbia Street and west of Cornell Street, with consideration of an  
5 environmental exemption pursuant to CEQA Guidelines Section 15332.  
6

7 Assistant Planner Carole Kendrick gave a Power Point presentation regarding Lazaro's  
8 Plaza and entertained the Commission's questions.  
9

10 Commissioner Overmyer voiced concerns regarding the type of tenants proposed for  
11 the facility, noting that the area was predominantly single-family residential one and  
12 would not be a desirable location for such uses as smoke shops, bars, liquor stores,  
13 etc. He also inquired about the composition and height of the wall in the back.  
14

15 Assistant Planner Kendrick indicated that there was currently a moratorium on smoke  
16 shops and that the Hemet ROCS program would start dealing with alcohol sales, but  
17 noted that staff understood that there were various concerns of this type.  
18

19 Community Development Director (CDD) Elliano stated that the code sets six feet as  
20 the maximum height for walls. If it's a grade separation, however, there might be a  
21 certain portion that's retaining, which would allow for additional height. Security issues  
22 might demand a higher wall, but currently the code does not allow for that. The  
23 composition would be CMU, but Hemet's Commercial Design Guidelines require  
24 decorative masonry, so slump stone, plastered or split face would be required.  
25

26 Commissioner Rogers inquired about the hours of operation.  
27

28 Assistant Planner Kendrick responded that the applicant was requesting hours of  
29 operation until midnight on Saturday and Sunday, but that staff was proposing that the  
30 hours not extend past 10 p.m. because of the uncertainty of the tenant mix and the  
31 adjacent proximity to single-family residential.  
32

33 Assistant Planner Kendrick replied affirmatively to Commissioner Overmyer's ' query  
34 about the applicant funding the existing median on Florida Avenue.  
35

36 Vice Chairman Deuber asked if the tenant or applicant could come in for an  
37 Administrative Use Permit asking for longer hours, to which Assistant Planner Kendrick  
38 responded that either one could apply and pay the fee, but that the tenant must have  
39 the applicant's authorization to do so.  
40

41 Chairman Gifford inquired regarding input from the Development Review Committee,  
42 noting that it was his understanding that at the time the staff report was written, input  
43 from some departments was still pending.  
44

45 Assistant Planner Kendrick replied that all input had been received, and that the DRC  
46 staff prefers ground-mounted air conditioning units, but would work with the applicant  
47 at plan check on roof-mounted equipment as long as there was adequate screening  
48 and the requirements of the building department were satisfied.  
49

50 Chairman Gifford also expressed concerns regarding ingress and egress to the center,  
with the only street access being via Florida Avenue – a fast-moving and busy street.

1 He indicated that the tenants would have to be slower-type businesses that do not  
2 have a large numbers of visitors.

3  
4 Mr. Biagioni advised the Commission that CalTrans, on small commercial sites, won't  
5 allow more than one point of access.

6  
7 Commissioner Overmyer requested additional information regarding staff's report that  
8 referred to a couple of units with "awkward" shapes. He also asked about signage,  
9 indicating his understanding that CDD Elliano would be the approving authority.

10  
11 Planner Kendrick replied, regarding the strange layout, that staff simply wanted to bring  
12 it to the Commission's attention. She noted that the screening of the mechanical units  
13 and the signage would be addressed in the permitting process, with signage being  
14 approved by CDD Elliano.

15  
16 Commissioner Rogers inquired about the property line wall, and the adjacent trees.

17  
18 Planner Kendrick reported that the rear wall was required to be six-feet in height with  
19 24-inch box trees.

20  
21 Vice Chairman Deuber reported that she had made a site visit and spent some time  
22 with the owner of the adjacent property. She noted the 30-foot buffer zone to the rear  
23 of the property and asked if there was a buffer to the east.

24  
25 Planner Kendrick indicated that there was a fire lane to the east.

26  
27 Vice Chairman Deuber had several ideas for coordination between property owners to  
28 possibly create an easement or reverse the elevation, but Commissioner Rogers  
29 commented that the fault line would prohibit much movement.

30  
31 CDD Elliano further explained that the site plan for the site next-door had been entitled,  
32 and that they, therefore, could not be asked to change their plans at this point because  
33 there was already partial construction.

34  
35 Chairman Gifford opened the public hearing and invited the applicant to address the  
36 Commission.

37  
38 Javier Delgado, 2940 West Florida Avenue, Hemet, approached the lectern and  
39 addressed the Commission as the project applicant. He explained that the reason the  
40 project had been initiated was for another La Fogata restaurant on the east side of  
41 town, with fine dining. The interior walls are moveable, so if the restaurant needed to  
42 expand, it could do so and allow more storage space. He noted that while they were  
43 currently proposing 12 tenants, that number could change in the future to fewer  
44 tenants. He added that he was amenable to the screening of the air-conditioning units.

45  
46 Vice Chairman Deuber inquired regarding the hours of business. She indicated that  
47 she had spent quite a bit of time there and noticed that all of the businesses in the area  
48 were family-oriented, so she felt the hours should be consistent with the rest, being a 9  
49 p.m. closing time or pushing it to 10 p.m. for a restaurant. She applauded the  
50 elevation, calling it five-star, and suggested upscale boutiques to upgrade the shopping  
in the area.

1  
2 Commissioner Overmyer again brought up the issue of the fencing height, advocating  
3 for a taller fence to screen the noise and light coming from a commercial site.  
4

5 Mr. Delgado mentioned the advantage of the 30-foot setback and advised that the  
6 walls could be insulated, also noting that the residential property appeared somewhat  
7 lower, so the six foot elevation would be on the commercial side rather than the  
8 residential side.  
9

10 Commissioner Rogers asked when, if approved, the construction would begin.  
11

12 Mr. Delgado estimated a year and a half to two years, noting that he would need to  
13 acquire building department approvals and funding. His desire was to finish  
14 construction promptly rather than to have a long-term, unfinished site.  
15

16 Chairman Gifford asked if there were any Commission questions of the architect,  
17 Martha Schact, 9156 19th Street, Rancho Cucamonga.  
18

19 In response to Chairman Gifford's inquiry regarding the trees along the fence, Ms.  
20 Schacht said they would be willow trees, and would grow to a height of about 12 feet.  
21

22 Chairman Gifford opened the hearing for public comments.  
23

24 Kevin Sechrest, 146 Park Vista Lane, Hemet – voiced resident concerns that included  
25 types of businesses, traffic issues – including a very dangerous intersection, noise  
26 levels, and hours of business. He asked if a traffic light could be installed.  
27

28 Mr. Biagioni, City Engineer and Engineering Director, advised that Caltrans has no  
29 plans now or in the future to add a traffic signal at the intersection of Cornell and  
30 Florida. He also added that Caltrans was going to condition every project along that  
31 area for a raised median.  
32

33 CDD Elliano noted that there was usually a more cooperative effort between Caltrans  
34 and the City when issues such as this arose. She further noted that the intersection  
35 with the median prohibits left turns, making U-turns necessary, which has raised a lot  
36 of interest and angst. She stated that usually such issues are dealt with as a condition  
37 of approval, but that this median had been developed through a separate process.  
38

39 Assistant Planner Kendrick explained that there had been a miscommunication with  
40 Caltrans, and that the median had been installed prior to approval, at Mr. Delgado's  
41 expense.  
42

43 Chairman Gifford closed the public hearing and asked for further comments from the  
44 Commission.  
45

46 There was a discussion between Vice Chairman Deuber, CDD Elliano and City  
47 Attorney Jex regarding the restriction of uses in C-2 zones, as well as discussion  
48 amongst the Commissioners regarding an approval of the hours of operation being 8  
49 a.m. to 10 p.m., with the possibility of obtaining an entertainment permit for banquets,  
50 weddings or events that needed extended hours. It was also noted that a tenant could

1 apply for an Administrative Use Permit for any use that might have specific  
2 requirements.

3  
4 Chairman Gifford asked for a motion.

5  
6 It was **MOVED** by Commissioner Overmyer and **SECONDED** by Vice Chairman  
7 Deuber to **ADOPT** Planning Commission Bill No. 12-001 approving Conditional Use  
8 Permit No. 09-005, as presented.

9  
10 **AYES:** Chairman John Gifford, Vice Chairman Sharon Deuber, and  
11 Commissioners Vince Overmyer, David Rogers  
12 **NOES:** None  
13 **ABSTAIN:** None  
14 **ABSENT:** None  
15

16 *(Adopted Planning Commission Resolution No. 12-003).*  
17  
18

19  
20 **WORK STUDY ITEMS**

21  
22 **5. ZONE CHANGE NO. 11-001 AND CONDITIONAL USE PERMIT NO. 11-003**  
23 **(AT&T at Prince of Peace)**

24  
25 **APPLICANT:** AT&T Mobility  
26 **AGENT:** Marc Myers - Derra Design  
27 **LOCATION:** 701 North Sanderson Avenue  
28 **PLANNER:** Carole Kendrick, Assistant Planner  
29

30 **DESCRIPTION:** A work study session with discussion and possible direction to  
31 staff regarding a Zone Change application to amend the zoning designation from  
32 R-1-7.2 (Single-Family Residential) to S-1 (Church) zone and a Conditional Use  
33 Permit for the construction and operation of a major ground mounted  
34 telecommunication facility and associated equipment consisting of a 60' pole  
35 camouflaged as a monopine.  
36

37 Commissioner Rogers recused himself from the discussion due to his residential  
38 proximity to the project.  
39

40 Assistant Planner Kendrick presented the related issues for the work study for Zone  
41 Change No. 11-001 and Conditional Use Permit 11-003.  
42

43 Mr. Marc Myers of Derra Design was asked by Chairman Gifford to outline their issues  
44 for the Commission. He discussed the reasons why the Prince of Peace site was the  
45 preferred location for AT&T, as follows: 1) the site is advantageously located in the  
46 midst of the gap area; 2) it is already used by other providers; 3) there is no  
47 interference with residential sites; 4) it is approved by the landlord; 5) the site meets  
48 the distance separation from existing facilities; 6) it can meet setback requirements; 7)  
49 it is in compliance with FAA requirements; 8) the monopine facility is better technology  
50 than the existing one, with a decorative equipment enclosure utilizing textured and  
painted exterior that matches the existing church buildings.

1 Mr. Myers stated that concerns expressed by staff related to the Prince of Peace site  
2 included the following: 1) the current zoning is R-1-7.2, which does not allow wireless  
3 facilities, even though they currently exist at the site; 2) the proximity to residential  
4 uses; 3) height restrictions; 4) need for a zone change.

5  
6 Mr. Myers continued, stating that the other alternatives were either outside the center  
7 of the gap area so that optimum coverage was not possible, were in an elementary  
8 school zone, or the owners were not interested in entertaining a project of this sort.

9  
10 The Commission expressed a desire to have the applicant review the alternatives,  
11 particularly the property in the agricultural zone, which would be close to commercially-  
12 zoned property. They felt that staff had done a thorough job of expressing the City's  
13 concerns and asked for more due diligence by the applicant before coming back to the  
14 Commission.

15  
16 Assistant Planner Kendrick also suggested the possibility of building a temporary  
17 foundation that could be relocated if the existing property of the site changes use.

18  
19 (Chairman Gifford called for a 10-minute Recess, after which Commissioner Rogers  
20 returned to the dais.)  
21  
22

## 23 DISCUSSION AND ACTION ITEMS

### 24 25 26 **6. Request for Planning Commission appointment to Hemet ROCS Citizen** 27 **Advisory Committee – Community Development Director Elliano**

28  
29 CDD Elliano reported that the Mayor and City Council have asked that there be formed  
30 a Hemet ROCS Executive Committee (the Mayor, various Department heads and the  
31 City manager), a Governmental Agency Liaison Group (City of San Jacinto, County of  
32 Riverside, State and Congressional offices), and a Citizens' Advisory Committee, with  
33 one of the members being from the Planning Commission, to meet with staff and  
34 review proposed ordinances, take general feedback, and meet once a month for about  
35 six months.

36  
37 Chairman Gifford suggested appointing Commissioner Overmyer to that committee.

38  
39 After discussion, and suggestions from City Attorney Jex that this should be a  
40 consensus nomination, rather than an appointment, along with the fact that  
41 Commissioner Overmyer was already serving as a Traffic Commission liaison, Vice  
42 Chairman Deuber nominated Chairman John Gifford to the position.

43  
44 The nomination was accepted by Chairman Gifford, seconded by Commissioner  
45 Overmyer, and unanimously approved.  
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**DEPARTMENT REPORTS**

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**7. CITY ATTORNEY REPORTS: Institute for Local Government**

**A. Understanding AB 32's Impacts on Local Government: A Local Official's Guide**

City Attorney Jex handed out the above-titled publication to the Commission and encouraged that they read the material to better understand the implications of climate change laws. He explained that AB 32 is a law that directs the Air Resources Board to develop a program to reduce greenhouse gas emissions to 1990 levels by the year 2020. As to how the law would apply to cities and local governments, he explained that it would basically apply to municipal electric utility systems that have to reduce greenhouse emissions, and provide mandatory regulations on recycling, and voluntary measures where cities are encouraged to inventory the greenhouse gas emissions in the community. One of the action items would be the development of a climate action plan, which will include the process of performing an inventory of greenhouse gases in the community, and then adopt a baseline regarding the threshold, determine the current levels, and develop ways to reduce them.

**B. Understanding California's Sustainable Communities and Climate Protection Act of 2008 (SB 375): A Local Official's Guide**

City Attorney Jex outlined the contents of this document, explaining that the source of greenhouse gas emissions targeted by SB 375 is the car, and that even though cars are now more gas-efficient and they run on cleaner gas, the number of miles traveled still must be reduced in order to reduce greenhouse gas emissions overall. He explained that to do this, new development patterns must be established where people live closer to jobs, to public transit, to retail centers, etc. Therefore, it calls for a brand new planning document called a Sustainable Communities Strategy, which is a long-range planning document that focuses on transportation, the location of roads and highways, and land use patterns that will be encouraged. The document is not one that is prepared by cities, but by regional transportation agencies. He referred to a sustainable community strategy that had been released by the San Diego Association of Governments, and discussed the opposition that it is currently getting from various other agencies.

**8. COMMUNITY DEVELOPMENT DIRECTOR REPORTS:**

CDD Elliano provided the Commission with an update on the following topics:

- A. Report on SCAG's 2012 - 2035 Draft Regional Transportation Plan & Sustainable Communities Strategy.**
- B. Draft Regional Housing Needs allocation for Hemet.**
- C. Status report on local foreclosures and housing market activity.**
- D. Verbal Update on Regional and Local Planning Projects.**
- E. Report on City Council actions from the January 24 and February 14, 2012 meetings.**

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**9. PLANNING COMMISSIONER REPORTS:**

- A. Chairman Gifford (None)
- B. Vice Chairman Deuber (None)
- C. Commissioner Overmyer (None)
- D. Commissioner Rogers complimented the work on Florida First and noted good changes ahead, thanking all City employees. He also stated he was not seeing as many shopping carts left abandoned.

**10. ADJOURNMENT:** It was unanimously agreed to adjourn the meeting at 9:10 p.m. to the regular meeting of the City of Hemet Planning Commission scheduled for **March 6, 2012 at 6:00 p.m.** to be held at the City of Hemet Council Chambers located at 450 E. Latham Avenue, Hemet, California 92543.

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John Gifford, Chairman  
Hemet Planning Commission

ATTEST:

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Nancie Shaw, Records Secretary  
Hemet Planning Commission

# AGENDA #5



## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*  
Carole L. Kendrick, Assistant Planner *CLK*

DATE: March 20, 2012

RE: **WORKSTUDY FOR CONDITIONAL USE PERMIT NO. 11-004 (JASMINE GARDENS)** – A work study session and update regarding a Conditional Use Permit for the construction and operation of a 124-unit, three-story senior apartment complex built in two phases, located on Johnston Avenue, east of Gilbert Street and west of State Street.

### **PROJECT APPLICANT INFORMATION**

Applicant: 1027 Wilshire Associates LLC  
Agent: Kenneth Bank – Denley Investments  
Project Location: South side of Johnston Avenue, east of Gilbert Street and west of State Street  
APN: 446-280-005, -016 & -017

### **PURPOSE OF THE WORKSTUDY**

The proposed project was reviewed as a work study by the Planning Commission on October 18, 2011. The purpose of the current work study is to update the Planning Commission on the progress of the project and to ascertain whether or not the revisions successfully address the concerns previously expressed by the Planning Commission.

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City of Hemet - Planning Department   
Planning Commission Meeting of March 20, 2012

## **PROJECT DESCRIPTION**

The project is located on the south side of Johnston Avenue, east of Gilbert Street and west of State Street. The applicant proposes to construct and operate a three (3) story, 124-unit senior citizen affordable housing project that will be developed in two (2) 62 unit phases. Each phase will consist of eight (8) two (2) bedroom units and 54 one (1) bedroom units. Rents will be restricted under a 55-year covenant to remain affordable to seniors whose annual income is below 50% of the median household income for Riverside County, as determined by the Department of Housing and Urban Development (HUD) and the California Department of Housing and Community Development (HCD). The applicant also proposes to construct a community center building totaling 3,330 square feet, along with an outdoor recreation area, appurtenant site improvements and landscaping on 4.78 acres (208,141 square feet) of the project site.

The entire site encompasses three parcels on a total of 11.48 acres. A concurrent lot line adjustment will amend the parcel lines to coincide with Phase I and II of the proposed project and leave a third parcel that is not slated for development at this time.

## **PROJECT UPDATE**

Architecture. After hearing the concerns expressed by staff and the Planning Commission, the Applicant selected a new architect to prepare new elevations for the project. The revised plans that have been provided to staff illustrate an entirely new architectural direction while maintaining the original floor plans and overall site plan. The current design utilizes a Santa Barbara Mission style architecture that includes red tile roof elements, smooth stucco finishes, arched windows and entry ways, exposed beams, as well as a tower element. The prior architectural elevations are provided as Attachment No. 4 for comparison purposes.

Multiple Family Design Guidelines. The Multiple Family Design Guidelines state that rooflines should be varied to add interest to, and reduce the massive scale of large buildings. Staff suggested that the applicant lower the roofline and provide breaks in the roof plane. The previous butterfly roof design has been abandoned for a parapet roof with several tile roof balustrades. The project Architect has submitted conceptual drawings for potential changes to the original roof design (See Attachment No. 3)

Neighborhood Fit. The Design Guidelines require staff to evaluate projects based on their fit within the existing built environment. The revised elevations demonstrate a Mission style architecture that can be found in surrounding structures throughout the City. Staff believes that the modifications to the elevations will provide a building that is complementary to the area. Staff continues to have concerns regarding the stark white color of the structures. The Architect indicated that the color is authentic to the mission style and provided photographs to demonstrate this point. Furthermore, the project representatives have expressed willingness to work with staff on slightly modifying the color scheme to alleviate some of staff's concerns.

Setbacks. The project must comply with the setback requirements for the R-3 (Multiple Family) zoning which requires a minimum front yard setback of 25 feet. The current proposal shows a

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**□ City of Hemet - Planning Department □**  
**Planning Commission Meeting of March 20, 2012**

30 foot front yard setback as requested by staff due to the three story product height. The existing commercial and residential structures surrounding the project are all single story.

### SUMMARY

Staff and the Applicant seek direction and feedback from the Planning Commission regarding the updated project architecture and proposal to develop a three story, 124 unit senior residential project located on the south side of Johnston Avenue, east of Gilbert Street and west of State Street.

Respectfully submitted,



Carole L. Kendrick  
Assistant Planner

Reviewed by,



Emery Papp  
Principal Planner

CK/ns

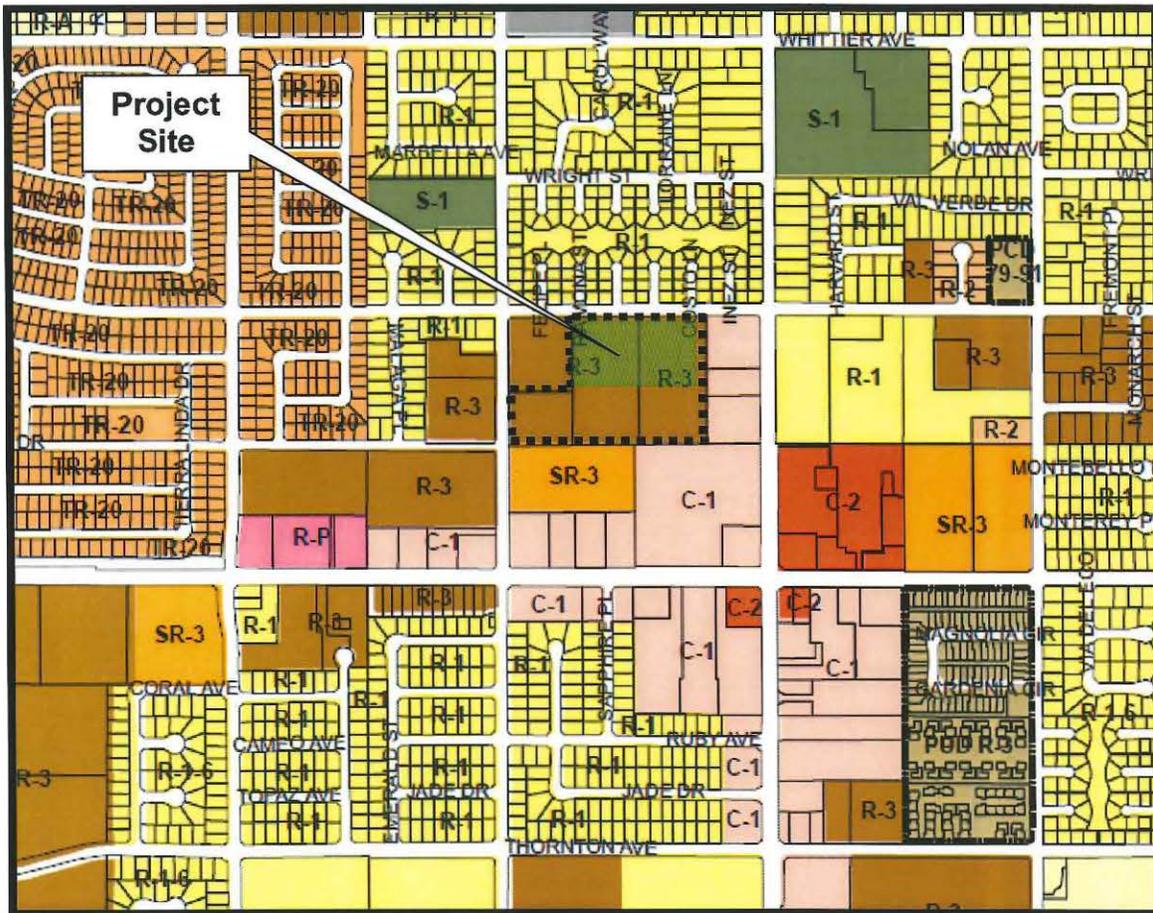
### ATTACHMENTS

1. Zoning Map
2. Aerial Map
3. Conceptual Architecture
4. Original Architectural Elevations
5. Site Photos
6. Planning Commission Work Study Memo dated October 18, 2011
7. Planning Commission Work Study Minutes from October 18, 2011

# Attachment No. 1 Zoning Map

Planning Commission  
Work Study of  
March 20, 2012

# CONDITIONAL USE PERMIT NO. 11-004 ZONING MAP



# **Attachment No. 2 Aerial Map**

**Planning Commission  
Work Study of  
March 20, 2012**

# CONDITIONAL USE PERMIT NO. 11-004 AERIAL MAP



**Attachment  
No. 3  
Conceptual  
Architecture**

**Planning Commission  
Work Study of  
March 20, 2012**



Building A South Exterior Elevation



Building A North Exterior Elevation



Building A East Exterior Elevation

## Building A Exterior Elevations

Scale 1/8" = 1'-0"

February 27, 2012

## Jasmine Gardens Senior Housing

Tract 6232 Hemet, California 92543

**Denley**  
Investment & Management  
1710 McCadden Place  
Hollywood CA 90028  
323.463.4100



Community Center West Exterior Elevation



Community Center South Exterior Elevation



Community Center East Exterior Elevation



Community Center North Exterior Elevation

## Community Center Exterior Elevations

Scale 1/8" = 1'-0"

February 27, 2012

# Jasmine Gardens Senior Housing

Tract 6232 Hemet, California 92543

**Denley**  
Investment & Management  
1710 McCadden Place  
Hollywood CA 90028  
323.463.4100

**Attachment  
No. 4  
Original Architectural  
Elevations**

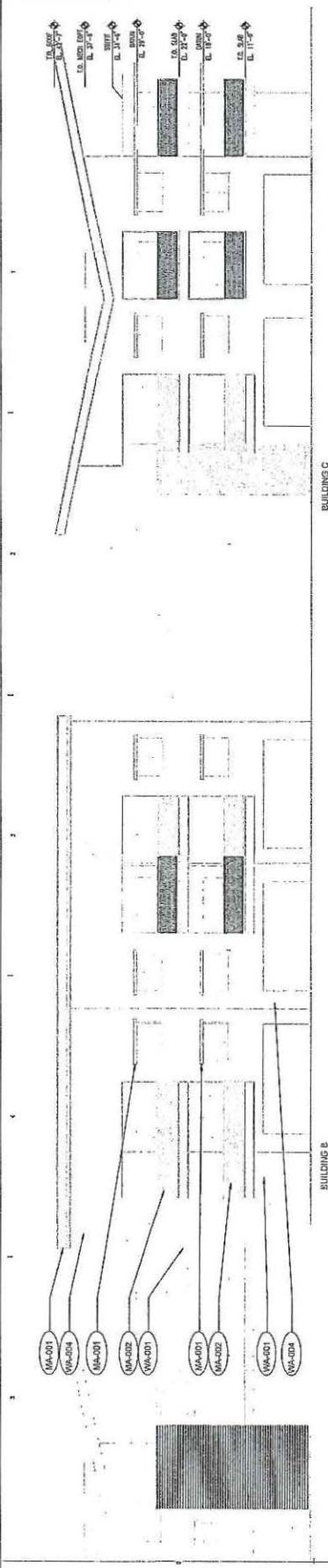
**Planning Commission  
Work Study of  
March 20, 2012**



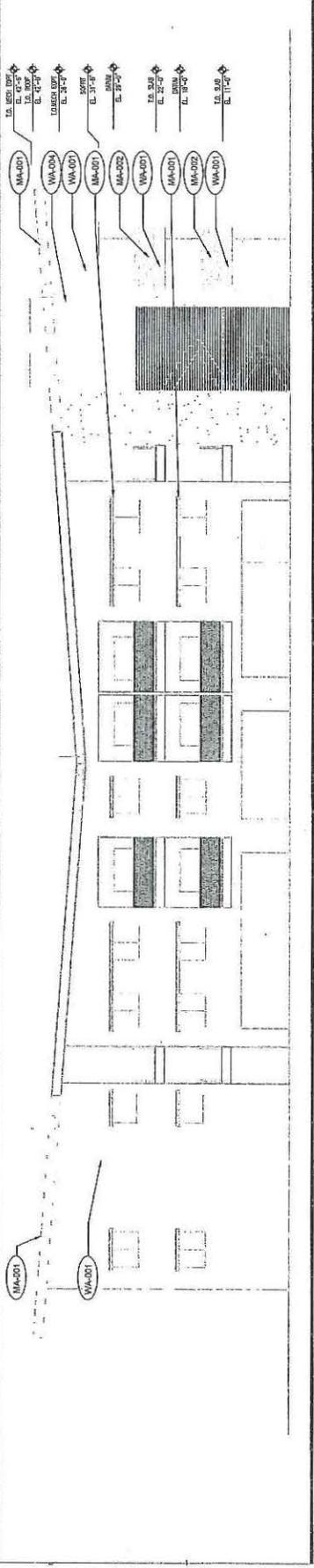
LOT PER CONTRACT

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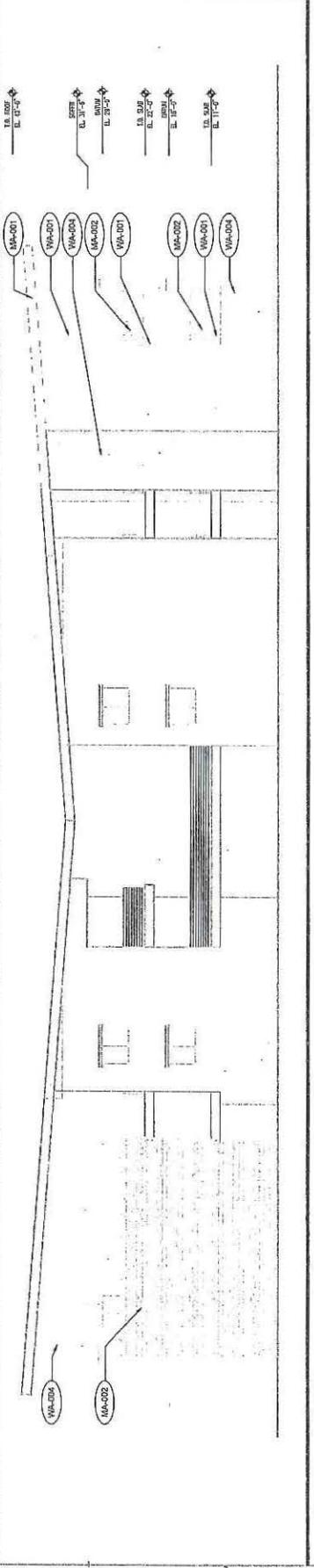
BUILDINGS B/C  
 ELEVATIONS



4 BUILDING B/C WEST  
 1/4"=1'-0"



2 BUILDING B SOUTH  
 1/4"=1'-0"



1 BUILDING B NORTH  
 1/4"=1'-0"

NOTE: REFER TO 03.01 FOR REMARKS.



# Attachment No. 5 Site Photos

Planning Commission  
Work Study of  
March 20, 2012

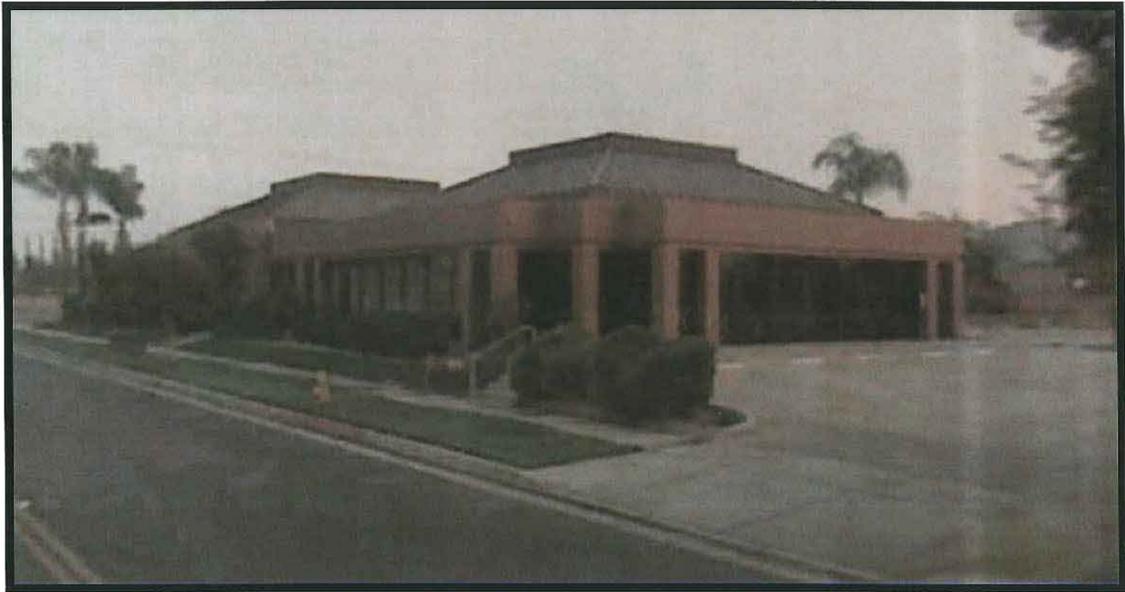
# Conditional Use Permit No. 11-004 Site Photographs



Site looking west from Johnston Avenue



Site looking east from Johnston



Commercial building located east of the project site

# Attachment

## No. 6

Planning Commission Work  
Study Memo dated 10/18/11

Planning Commission  
Work Study of  
March 20, 2012

# AGENDA #7.



## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*  
Carole L. Kendrick, Assistant Planner *CK*

DATE: October 18, 2011

RE: **WORKSTUDY FOR CONDITIONAL USE PERMIT NO. 11-004 (JASMINE GARDENS)** – A work study session with discussion and possible direction to staff regarding a conditional use permit for the construction and operation of a 124-unit, three-story senior apartment complex built in two phases, located on Johnston Avenue, east of Gilbert Street and west of State Street.

### PROJECT APPLICANT INFORMATION

Applicant: 1027 Wilshire Associates LLC  
Agent: Kenneth Bank – Denley Investments  
Project Location: South side of Johnston Avenue, east of Gilbert Street and west of State Street  
APN: 446-280-005, -016 & -017

### PURPOSE OF THE WORKSTUDY

The proposed project was reviewed by staff and the Development Review Committee (DRC) on June 9, 2011 and September 1, 2011. Planning department staff met with the development team again on September 26, 2011 and identified the areas of concern addressed below. At this meeting staff recommended that the project have a Planning Commission workstudy to allow the Commission to provide feedback prior to a formal public hearing. In addition, the applicant would like an opportunity to the present their proposal to the Planning Commission.

---

City of Hemet - Planning Department   
Planning Commission Meeting of October 18, 2011

## **PROJECT DESCRIPTION**

The project site is located along the south side of Johnston Avenue, east of Gilbert Street and west of State Street. The applicant proposes to construct and operate a three (3) story, 124 unit senior citizen affordable housing project that will be developed in two (2) 62 unit phases. Each phase will consist of eight (8) two (2) bedroom units and 54 one (1) bedroom units. Rents will be restricted under a 55-year covenant to remain affordable to seniors whose annual income is below 50% of the median household income for Riverside County, as determined by the Department of Housing and Urban Development (HUD) and the California Department of Housing and Community Development (HCD). The applicant also proposes to construct a community center building totaling 3,330 square feet, along with an outdoor recreation area, appurtenant site improvements and landscaping on 4.78 acres (208,141 square feet) of the project site. A lot line adjustment has also been submitted for concurrent processing.

The entire site encompasses three parcels on a total of 11.48 acres. The concurrent lot line adjustment will amend the parcel lines to coincide with Phase I and II of the proposed project and leave a third parcel that is not slated for development at this time.

## **MAJOR ISSUES**

Architecture. Staff has expressed some concern that the podium style of architecture adds to project cost, and with no ground floor units, there may be some liveability/accessibility concerns, as well as maneuverability within the parking garage. Staff has also expressed concern regarding the semi-private, common open space patio areas. These, in addition to the exterior corridors and walkways tend to give the project an institutional look and ambiance. In addition, all units are on the second or third floors and accessed by an elevator or stairs. For a senior development, staff believes additional elevator access should be provided if the podium style architecture is used.

Multiple Family Design Guidelines. The Multiple Family Design Guidelines state that rooflines should be varied to add interest to, and reduce the massive scale of large buildings. Staff suggested that the applicant lower the roofline and provide breaks in the roof plane. The Denley group would prefer to not lower the roofline, but did acknowledge that the roofline may indeed get lowered thru value engineering and pulling the overhang back somewhat. The project Architect has submitted conceptual drawings for potential changes to the original roof design (See Attachment No. 5)

Neighborhood Fit. The Design Guidelines require staff to evaluate projects based on their fit within the existing built environment. The applicant points out that similar types of materials and colors are proposed for this project that can be found in all of the surrounding developments. However, staff believes that the style of architecture and the proposed massing of the buildings will cause the project to clearly stand out. Staff is seeking direction from the Commission regarding proposed colors, materials, height and massing. Staff is also concerned regarding the stark white color of the structures and believes that more muted colors and a variety of tones should be used.

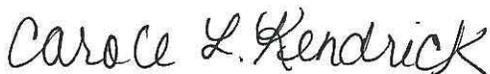
Setbacks. The project must comply with the setback requirements for the R-3 (Multiple Family) zoning which requires a minimum front yard setback of 25 feet. The current proposal shows a minimum of 25 foot front yard setback. However the three story product is considerable in comparison to the existing single story commercial and residential structures surrounding the project. Staff has requested that the applicant provide an additional setback to reduce the impact of the 41-1/2 foot high structure. The applicant is examining the project and their ability to increase the setback. In discussions with the applicant, it appears that the front setback can be increased to 35 feet without compromising site circulation or proposed amenities.

Parking. The proposed number of parking spaces for residents meets Code requirements, but staff is concerned with the number of parking spaces available for employees, visitors, etc. Each unit has one assigned parking space which leaves 14 spaces uncovered spaces available for employees and guests. Of these, 8 spaces are reserved for disabled persons, leaving 6 parking spaces available for non-residents that are ambulatory. Staff suggests providing additional parking and revising the Site Plan to remove the handicap designation from two parking spaces near the clubhouse/pool area but that they are developed with disabled standards as shown on the plans in the event they are needed for this purpose in the future. In addition, carport spaces not needed by residents can be assigned to employees to make more uncovered spaces available.

## SUMMARY

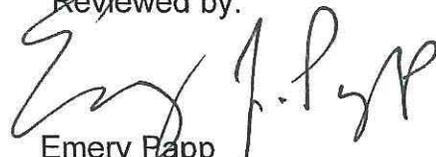
Staff and the Applicant seek direction and feedback from the Planning Commission regarding a proposal to develop a three story, 124 unit senior residential project located on the south side of Johnston Avenue, east of Gilbert Street and west of State Street.

Respectfully submitted,



Carole L. Kendrick  
Assistant Planner

Reviewed by:



Emery Rapp  
Principal Planner

## ATTACHMENTS

1. Zoning Map
2. Aerial Map
3. Development Plan
4. Site Photos
5. Conceptual Changes

CK

# Attachment

## No. 7

Planning Commission Work  
Study Minutes dated  
10/18/11

Planning Commission  
Work Study of  
March 20, 2012

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# PLANNING COMMISSION

## MEETING MINUTES

**DATE:** October 18, 2011

**CALLED TO ORDER:** 6:00 P.M.

**MEETING LOCATION:** City Council Chambers  
450 East Latham Avenue  
Hemet, CA 92543

### 1. CALL TO ORDER:

**PRESENT:** Chairman John Gifford, Vice Chairman Sharon Deuber, and Commissioners Vince Overmyer, David Rogers and Chauncey Thompson

**ABSENT:** None

**Invocation and Flag Salute:** Commissioner Overmyer

### 2. APPROVAL OF MINUTES

A. Minutes for the Planning Commission Meeting of September 20, 2011

It was **MOVED** by Vice Chair Deuber and **SECONDED** by Commissioner Overmyer to **APPROVE** the September 20, 2011 Minutes as presented.

**AYES:** Chairman Gifford, Vice Chairman Deuber and Commissioner Overmyer

**NOES:** None

**ABSTAIN:** Commissioners David Rogers; Chauncey Thompson (only for those items presented before he arrived.)

**ABSENT:** None

### 3. PUBLIC COMMENTS (None)

## PUBLIC HEARINGS

### 4. DOWNTOWN PROJECT REVIEW (DPR) NO. 11-002

**APPLICANT:** Simon Chu

**LOCATION:** Northwest corner of North Harvard Street and East Florida Avenue

**PLANNER:** Ronald Running – City Planner

**DESCRIPTION:** A request for Planning Commission review and recommendation to the City Council regarding proposed facade improvements to the existing building located on the northwest corner of North Harvard Street and East Florida Avenue in the D-1 Zone, pursuant to Hemet Municipal Code sections 90-938 and

1 associated with Hemet's General Plan are consistent with, or even less than, many  
2 other jurisdictions.

3  
4 Chairman Gifford opened the public hearing on the EIR. There being no members of  
5 the public who wished to speak, Chairman Gifford closed the public hearing and asked  
6 for comments from the Commission.  
7

8 Both Commissioners Rogers and Thompson said they needed more time to review it.  
9

10 CDD Elliano said staff would come back on the 15th of November and give them an  
11 update on the comments received, as the EIR comment period ends on November  
12 14<sup>th</sup>. She noted that the Commission did not need to continue the public hearing, as  
13 there was no legislative requirement to have a public hearing, nor does the  
14 Commission need to give recommendations, only direct staff and consultants to  
15 prepare responses to comments in the final EIR.  
16

## 17 WORK STUDY ITEMS

### 18 7. CONDITIONAL USE PERMIT NO. 11-004 (Jasmine Gardens)

19 APPLICANT: 1027 Wilshire Associates c/o Denley Investments

20 AGENT: Kenneth Bank

21 LOCATION: South side of Johnston Avenue, west of State Street and east of  
22 Gilbert Street

23 PLANNER: Carole Kendrick

24 DESCRIPTION: A work study session with discussion and possible direction to  
25 staff regarding a proposed conditional use permit for the construction of a three-  
26 story senior apartment complex, including 124 units, to be built in two phases,  
27 located on Johnston Avenue, east of Gilbert Street and west of State Street.  
28

29 A PowerPoint presentation was given by Planner Kendrick regarding the proposed  
30 conditional use permit.  
31

32 In response to Vice Chair Deuber's question concerning fire department issues,  
33 Planner Kendrick explained that there was a need for two access points for fire  
34 equipment, and that the second access in Phase 1 would be a punch-out in one  
35 driveway, which will be closed when Phase 2 is constructed with its own access way.  
36

37 Vice Chair Deuber also expressed concern regarding the seismic hazards of this site,  
38 noting fault lines only a few blocks away. With the possibility of elevators being shut  
39 down during quakes, she mentioned the danger to disabled seniors living on the third  
40 floor with no access to elevators.  
41

42 Commissioner Thompson commented regarding the podium style not being  
43 appropriate for this community. He felt a lower roof line would fit better. He also  
44 wanted to know why there wasn't build-out on the full property, and expressed concern  
45 that the 14 guest and employee parking spaces would not be sufficient.  
46

47 Planner Kendrick responded that the applicant was proposing a multi-phased plan.  
48 She noted that the applicant felt that the covered parking would not be fully utilized, so  
49 some of those spaces could be designated for guests.  
50

1 Commissioner Rogers also expressed concerns about the parking, the FAR, and the  
2 color scheme.

3  
4 CDD Elliano explained that because the project was residential, it would be defined by  
5 dwelling units per acre, and that it was consistent with the General Plan.

6  
7 Commissioner Overmyer suggested that podium-style projects for 55 and older were  
8 appropriate because they tend to hide parking and conserve on space. He felt most  
9 55+ seniors could navigate stairs, but if there were many disabled persons, perhaps  
10 more elevators would be appropriate. He also felt the location was appropriate  
11 because it was within a half mile of stores and people without cars could walk there.

12  
13 Commissioner Thompson inquired about the number of elevators in the Oasis Sahara  
14 building, to which Planner Kendrick responded that there were two in each building.

15  
16 Commissioner Rogers inquired regarding staff's position as to the roof line style.

17  
18 Planner Kendrick noted that the applicant was proposing a butterfly roof, which is a  
19 very modern style in an older area, so staff was concerned about how it would fit in  
20 with the neighborhood.

21  
22 Vice Chairman Deuber asked if a 3,300 square-foot community center would be big  
23 enough for close to 300 tenants in eight two-bedroom units and 54 one-bedroom units.

24  
25 Chairman Gifford invited the applicant's representative to speak to the issues.

26  
27 David Bolour, 1710 North McCadden Place, Los Angeles, 90028, handed out some  
28 drawings and reviewed the PowerPoint. He pointed out that they have increased the  
29 elevators per building to two. He went on to state that this project was offering below  
30 market-rate rents, and they have rent control and income restrictions for a period of 55  
31 years. Their goal is to develop this under-utilized and vacant property within the city of  
32 Hemet, fulfilling the city's objective for the General Plan.

33  
34 Mr. Bolour stated further that Jasmine Gardens will feature 124 units of senior housing  
35 built in two phases of 62 units per phase. Each phase will be built as three two-story  
36 type 5 buildings over tucked-under parking, which includes secure storage areas for  
37 bicycles and other storage. He went on to describe the area and amenities, such as  
38 the community center, pool, pergola with barbecue area, gardens, monitoring via  
39 CCTV, coded entries, fencing, butterfly roofing to maximize solar heating for water,  
40 shading, and cooling of the structures. He noted, in response to comments, that the  
41 roofline has been adjusted so that it is not one straight line. There will be two  
42 elevators in each phase. He clarified that this was a senior living community, not  
43 assisted living, so they are expecting citizens to be in good health. There are also  
44 going to be solar units on the roof to heat water in particular.

45  
46  
47 Chairman Gifford suggested they work with staff to soften some of the harshness of the  
48 building lines so that it would be a better fit into the neighborhood.

49  
50 Commissioner Rogers asked if there were options regarding the colors. He also  
commended them on going for the green initiatives and LEEDS.

1 Mr. Bolour indicated they could work with colors and try to find a good balance for all.

2  
3 Commissioner Overmyer asked what LEED accreditation they were going to get for the  
4 project, to which Mr. Bolour responded that it would be LEED certification.

5  
6 Mr. Kenneth Bank, project manager, explained that in order to be competitive for tax  
7 credits from the state of California, they have to adopt enterprise's green communities  
8 criteria, which mirrors LEED.

9  
10 Chairman Gifford asked for an explanation of "affordability."

11  
12 Mr. Bank advised that the rent matrix for the project was going to be from 50 percent to  
13 30 percent of area median income. That works out to a one-bedroom unit renting for  
14 \$350 for income-qualified tenants, and then up to about \$625.

15  
16 Chairman Gifford noted that the Commission had been wrestling with high density  
17 projects because they do not wish to overload the valley with a lot of density and low  
18 income housing. However, he felt senior housing was an exception. His biggest  
19 concern is the design and fit into the existing community.

20  
21 Mr. Bank stated that the average parking ratio in senior projects is about three-quarter  
22 per unit, and down to half in some municipalities. This project is parked at one to one,  
23 which is why they feel there will be leftover spaces.

24  
25 Vice Chairman Deuber asked if the butterfly roof design was to accommodate the solar  
26 panels and for the LEED certification.

27  
28 Ann Cash explained that it was designed at that angle to support a solar roof panel that  
29 is also a stationary panel.

30  
31 There was further discussion with Vice Chairman Deuber about stairway pitch,  
32 numbers of trees, exterior and interior design, types of solar roofing, rental prices,  
33 maintenance issues, solar panels on the ground, etc.

34  
35 Mr. Bolour stated that what they are looking at now is a two-phase development on  
36 roughly five and a half acres. There is an additional Phase 3 that they are currently  
37 undecided on how to proceed with.

38  
39 Mr. Banks noted that the city's design guidelines call for 1,500 square feet for a senior  
40 center, and that they were proposing 3,300. He noted that they would also make it  
41 available for clubs or nonprofit organizations to hold functions.

42  
43 Chairman Gifford stated that the Commission did not want to major on minors or to  
44 miss the point, but that the major concern seems to be the design and conformity with  
45 the rest of the community in terms of outward architectural design and neighborhood  
46 fit.

47  
48 Commissioner Overmyer stated that he didn't see anything wrong with it, but that it  
49 needs more time to address the issues.  
50

1 Vice Chairman Deuber indicated that the city had been trying to steer away from the  
2 urbanized modern retrofit look. She felt that what they were trying to do was  
3 commendable, to give seniors an upscale, safe home within walking distance of  
4 amenities.

5  
6 Chairman Gifford proposed that the item go back to staff for further consideration and  
7 work. He suggested that the applicant strive for an architectural style that was less  
8 "Jetsons" and more "Waltons" in order to better mesh with the surrounding residential  
9 areas.

## 10 11 DEPARTMENT REPORTS

### 12 13 8. COMMUNITY DEVELOPMENT DIRECTOR REPORTS

#### 14 15 A. Report on City Council actions from the September 27th and October 11th 16 meetings.

17  
18 CDD Elliano reported that there were no reportable actions on the September 27th  
19 meeting and only two items on the October 11th meeting. One was a park commission  
20 item regarding maintaining the trails in Simpson Park and having it available for the use  
21 of community groups and the general public. An attractive kiosk signage program in  
22 the park would be an identifier of trail opportunities. A community group was  
23 responsible for the design, and was also willing to install it.

24  
25 The other item was regarding CR&R being the franchisee for the city solid waste  
26 services. The issue is not poor service by the city, but the expenditures that would be  
27 necessary to comply with state regulations in terms of air quality, fueling, and recycling.  
28 There would need to be a 37 percent increase in trash rates to bring the city services  
29 up to speed. The contract with the trash company would effectuate no rate increase  
30 the first year, a maximum of 5 percent increase the second year, and thereafter, it  
31 would only be raised according to the CPI. They would also offer all current city trash  
32 employees employment under their current salaries, with benefits.

#### 33 34 B. Planning Commission Meeting Schedule

35  
36 CDD Elliano reported that the General Plan would be continued to the 15th of  
37 November. There would be no meeting held on November 1<sup>st</sup>.

#### 38 39 C. Medi-City Project Status Report

40  
41 CDD Elliano noted that the CUP for Medi-City was due to expire on October 20<sup>th</sup>, but  
42 that contact had been made, and the intention of the applicant was to file an extension  
43 of time to keep the project alive. At that time they can get an idea of where the project  
44 is going.

### 45 46 9. CITY ATTORNEY REPORTS: (None)

1 **10. PLANNING COMMISSIONER REPORTS:**

- 2  
3 **A. Chairman Gifford (None)**  
4 **B. Vice Chairman Deuber**

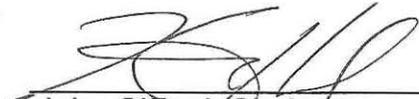
5  
6 Vice Chairman Deuber reported that she had attended the San Jacinto visionary  
7 meeting on Saturday morning that was coordinated by the City's Economic  
8 Development department. It was a four-hour session chaired by Steve Harding,  
9 examining the assets of the valley and how to market them effectively. The meeting  
10 was attended by about 30 people. Also discussed was the lack of hospitality facilities  
11 in the valley. A joint council meeting will be held on November 15th. After discussion  
12 among Commissioners, Vice Chairman Deuber offered to go to the meeting for the  
13 purpose of reporting back to the Planning Commission if the Hemet Planning  
14 Commission had a quorum for their meeting on November 15<sup>th</sup>. She also noted that a  
15 number of realtors had attended the Saturday meeting and were planning to meet  
16 again on Thursday regarding the 8,000 vacant properties from Beaumont to Temecula,  
17 brainstorming as realtors on potentially buying some of these homes and turning them  
18 into B&Bs. They had a chat with Rose Salgado about pursuing Native American  
19 financing for the project.  
20

- 21 **C. Commissioner Overmyer (None)**  
22 **D. Commissioner Rogers (None)**  
23 **E. Commissioner Thompson (None)**  
24

25 **11. FUTURE AGENDA ITEMS: *Items to be scheduled for upcoming Planning***  
26 ***Commission Meetings***

- 27  
28 **A. Report on "Human Signs" and other temporary signage in the City**  
29 **B. Zoning Ordinance Amendment for Special Housing Classifications**  
30 **C. Status report on Hemet ROCS**  
31 **D. Status report on foreclosure activity & housing market**  
32 **E. Report on Industrial Development Opportunities**  
33  
34

35 **12. ADJOURNMENT:** To the regular meeting of the City of Hemet Planning  
36 Commission scheduled for **November 15, 2011 at 6 p.m.** to be held at the City of  
37 Hemet Council Chambers located at 450 E. Latham Avenue, Hemet, California  
38 92543.  
39

40  
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43 \_\_\_\_\_  
44 John Gifford, Chairman  
45 Hemet Planning Commission

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50  
ATTEST:

46  
47   
48 \_\_\_\_\_  
49 Nancie Shaw, Records Secretary  
50 Hemet Planning Commission

# AGENDA #6



## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*  
Soledad Carrisoza, Planning Technician *SC*

DATE: March 20, 2012

RE: **EXTENSION OF TIME NO. 11-003 FOR SITE DEVELOPMENT REVIEW NO. 06-017 (Los Olivos)** – A request for the Planning Commission to consider a two-year Extension of Time for Site Development Review No. 06-017. This is the second and final request for an extension of time to construct and operate a 40-unit residential condominium project with associated site improvements on a 2.5 acre site located on the east side of Cawston Avenue, approximately 700 feet south of Stetson Avenue. (APN 460-242-037)

### **PROJECT APPLICANT INFORMATION:**

Owner/Applicant: Arthur J. Crigler & Eric Day  
Project Location: East side of Cawston Avenue, approximately 700 feet south of Stetson Avenue  
APN Information: 460-242-037  
Lot Area: 2.5 Acres

### **STAFF RECOMMENDATION:**

The Planning Department recommends that the Planning Commission:

Adopt the attached Planning Commission Resolution Bill No. 12-004 (Attachment No. 1), entitled:

*"A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA, APPROVING EXTENSION OF TIME NO. 11-003 FOR A SECOND AND FINAL TWO-YEAR EXTENSION OF SITE DEVELOPMENT REVIEW PERMIT NO. 06-017 FOR THE CONSTRUCTION AND OPERATION OF A 40-UNIT RESIDENTIAL CONDOMINIUM COMPLEX PROJECT AND APPURTENANT LANDSCAPING AND SITE IMPROVEMENTS, LOCATED ON THE EAST SIDE OF CAWSTON AVENUE APPROXIMATELY 700 SOUTH OF STETSON AVENUE (APN: 460-242-037)."*

## **BACKGROUND**

The Applicant is requesting approval of EXTENSION OF TIME NO. 11-003 to extend the time during which use in reliance can be established for previously approved SITE DEVELOPMENT REVIEW 06-017 which was approved on November 7, 2006, in conjunction with Tentative Tract Map No. 34712. This request is for a second and final extension of time.

On October 14, 2008, prior to the expiration of the original project approval, the Applicant submitted an application for a one-year extension of time. On February 3, 2009 the Planning Commission denied EOT 08-008 for SDR 06-017. The Commission felt it was ill advised to grant approval in view of the fact that the City's General Plan is undergoing a comprehensive update. The Applicant subsequently filed an appeal of the Planning Commission denial and on March 24, 2009 the City Council overruled the Planning Commission's decision and approved EOT 08-008. A one-year extension of time was granted which set the new expiration date to November 6, 2009.

This project is tied to a Tentative Tract Map (TTM) approval, and in the spirit of complying with SB 1118, SB 1185, and AB 333 for the underlying TTM, the City Council adopted Ordinance No. 1815 on July 28, 2009 granting an automatic two-year extension of time for Conditional Use Permits, Administrative Use Permits, Zoning Adjustments and Site Development Review approvals that were set to expire between April 1, 2009 and December 31, 2009. As a result, the expiration date for the proposed SDR project was set at November 7, 2011. Finally, Assembly Bill 208 extends the life of any tentative, vesting tentative, or parcel map for which a tentative or vesting tentative map has been approved, if the map has not expired as of July 15, 2011, but will expire before January 1, 2014. The law extends the life of these maps by two years, thus TTM 34712's new expiration date is November 7, 2013.

The City Council did not automatically extend the projects (CUP's, AUP's, SDR's) associated with the Map extensions granted under Assembly Bill 208, hence, the Applicant submitted a second Extension of Time application on October 31, 2011, prior to the expiration of the approval. The extension request is before the Planning Commission since it was the original approval body. Minor modifications were made to the conditions of approval that revised the dates to reflect the extension of time and updates to Building and Fire codes.

The zoning ordinance does not provide for a specific period of time for SDR approvals, but the City's practice has been to include a two-year use in reliance period as a condition of approval. This is similar to the City's zoning ordinance and the California Subdivision Map act which provide two-year initial approval periods for conditional use permits and subdivisions. The extension request is before the Planning Commission since it was the original approval body. Staff is recommending that a two-year extension until November 7, 2013, be approved to coincide with the approval period for the tentative tract map. If a two-year extension is granted for the Site Development Review, the project will not be eligible for any additional extensions under the existing Hemet Municipal Code.

## **PROJECT DESCRIPTION**

The project consists of a 40-unit multi-level residential condominium complex in eight buildings with garages, a swimming pool, tot lot and recreation area, an entry feature and landscaping, as shown in Exhibit 1A. Unit sizes range from 1,058 to 1,407 square feet. The Applicant is proposing no changes to the previously approved project.

The design concept for the proposed buildings, on-site improvements, and landscaping is for a site that is bisected by a central driveway and a cul-de-sac near the rear of the site. Perpendicular to the driveway are four rows of townhomes on either side of the driveway. The rows closest to the Cawston Avenue frontage have four townhomes each, and the rows closest to the rear property line have six townhomes each. The other rows have five townhomes each. The townhome units are two stories in height on each end, and three stories in the middle.

Each townhome has a ground-floor garage facing an alley. All of the units have a two car garage, but one type of garage has a tandem arrangement along with a detached carport.

A series of landscaped pedestrian areas run along the fronts of the townhomes, including the street and rear setback areas, and along the side setback areas. Along the north side, the project has been conditioned to provide a combination of view fencing and shrubbery to provide screening without placing a tall wall atop a retaining wall. Due to grading and existing off-site improvements, this is not an issue on the east or south sides.

Enhanced landscaping and fixed shutters are proposed and mandated by conditions so that privacy is ensured for adjoining residences to the east. The architecture could be described as Spanish classical.

A homeowners association and related CC&R's are required for the proposed project.

## **STAFF CONCERNS**

No issues related to the requested time extension have been identified.

## **CEQA REVIEW**

At the time of the original approval in 2006, the project was determined to be exempt from the requirements of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15332. The original project, SDR 06-017 and TTM 34712, and therefore the extension of time for the original project, Extension of Time No. 11-003 for Site Development Review No. 06-017 is consistent with the R-II (Residential with densities of 7-17 dwelling units per acre) General Plan designation because the project density is 16 dwelling units per acre. All applicable General Plan policies, as well as the applicable Page Ranch Planned Community Master Plan and Development Standards for Area 1.4 (High-Medium Density Residential

Regulations) District Regulations have been complied with. The area within Extension of Time No. 11-003 for SDR 06-017 comprises 2.5 acres, and has been found to contain no endangered, rare or threatened species in conformance with the Western Riverside County Multiple Species Habitat Conservation Program (MSHCP). There is no substantial evidence in the record that Extension of Time No. 11-003 for SDR 06-017 will result in significant effects related to traffic, noise, air quality or water quality in that the proposed design incorporates and otherwise is subject to air and water quality resource agency design requirements to avoid any harmful effects; and the site is or can be adequately served by all required utilities and public services. As such, the project meets the criteria for application of a Class 32 (In-fill Development) Categorical Exemption under the CEQA Guidelines.

Additionally, none of the exceptions provided in CEQA Guidelines Section 15300.2 apply to this project.

### **POLICIES, REQUIREMENTS AND GUIDELINES REVIEW**

The proposed project's Development Plans were reviewed by the Design Review Committee (DRC) for consistency with the City's applicable policies, requirements and guidelines prior to the initial project approval in 2006 and again in 2008 as they relate to the proposed Extensions of Time. The DRC has recommended that the project, subject to the recommended conditions of approval be found consistent with the City's General Plan, Page Ranch PCD Plan and Standards, Zoning Ordinance, and other development requirements and guidelines. The complete analysis of this project for consistency with the City's policies, requirements and guidelines is included in the project analysis within the Staff Report dated November 7, 2006, and which is included and made a part of this report as Attachment No. 2.

### **PUBLIC COMMUNICATIONS RECEIVED**

A public notice was sent to property owners within a 500 foot radius of the site. At the time of report preparation, the Planning Department has not received any letters of comment from the public. Any comments received prior to the time of the scheduled Planning Commission meeting will be provided to the Commission at the time of the meeting.

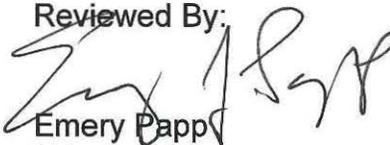
### **REPORT SUMMARY**

Extension of Time No. 11-003 for SDR 06-017 pertains to a proposed extension of time during which use in reliance can be established. The project has previously been found to be exempt from the provisions of the California Environmental Quality Act (CEQA), no information is available that the circumstances of the project have changed, and this extension can be similarly found to be exempt. For these reasons, and as more fully discussed in this Staff Report and accompanying attachments, the Planning Department recommends approval of the requested two-year extension of time. The Planning Commission's actions are final unless appealed to the City Council within ten calendar days.

Respectfully submitted,

  
Soledad Carrisoza  
Planning Technician

Reviewed By:

  
Emery Papp  
Principal Planner

SC/ns

**ATTACHMENTS**

- 1) Planning Commission Resolution Bill No. 12-004 for EOT 11-003 for SDR 06-017  
Exhibit 1A - Development Plan  
Exhibit 1B - Conditions of Approval as amended for EOT 11-003
- 2) Planning Commission Report dated November 7, 2006 for SDR 06-017 (incorporating the Project Analysis)
- 3) Original Planning Commission Resolution No. 06-42
- 4) Aerial Photograph of Site
- 5) Adjacent Zoning Map

**INCORPORATED HEREIN BY REFERENCE**

City of Hemet General Plan  
City of Hemet General Plan EIR  
Page Ranch Planned Community Master Plan and Development Standards  
City of Hemet Zoning Ordinance  
City Of Hemet Multiple-Family Residential Design Guidelines  
Project Site's Riverside County Integrated Plan Multi-Species Habitat Conservation Plan Summary Report  
Contents of City of Hemet Planning Department Project Files EOT 08-008, SDR 06-017, TTM 34712

# **Attachment No. 1**

**Resolution Bill No. 12-004**

**Planning Commission  
Meeting of  
March 20, 2012**



CITY OF HEMET  
PLANNING COMMISSION

RESOLUTION BILL NO. 12-004

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA, APPROVING EXTENSION OF TIME NO. 11-003 FOR A SECOND AND FINAL TWO-YEAR EXTENSION OF SITE DEVELOPMENT REVIEW PERMIT NO. 06-017 FOR THE CONSTRUCTION AND OPERATION OF A 40-UNIT RESIDENTIAL CONDOMINIUM COMPLEX PROJECT AND APPURTENANT LANDSCAPING AND SITE IMPROVEMENTS, LOCATED ON THE EAST SIDE OF CAWSTON AVENUE APPROXIMATELY 700 SOUTH OF STETSON AVENUE (APN: 460-242-037)

**WHEREAS**, SDR 06-017 was originally approved by the Planning Commission on November 7, 2006; and

**WHEREAS**, Extension of Time 08-008 was granted by the City Council for a one-year extension of SDR No. 06-017 on March 24, 2009; and

**WHEREAS**, The City Council approved Ordinance No. 1815 granting two (2) automatic extensions; the new expiration date for SDR No. 06-017 being November 7, 2011; and

**WHEREAS**, pursuant to Section 90-1544 of the Hemet Municipal Code, the Planning Commission may grant extensions of time not exceeding a total of three years; and

**WHEREAS**, an application for a two-year extension of the period in which to establish use in reliance on Site Development Review No. 06-017 for the design of a 40-unit multiple-family residential project has been duly filed by:

Applicant/owner:	Eric Day & Arthur J. Crigler
Project Location:	East side of Cawston Avenue, approximately 700 feet south of Stetson Avenue
Lot Area:	2.5 Acres
APN:	460-242-037; and

PLANNING COMMISSION RESOLUTION BILL NO. 12-004  
EXTENSION OF TIME NO. 11-003 FOR SDR NO. 06-017 (LOS OLIVOS)

1  
2       **WHEREAS**, pursuant to the original conditions of approval for the project, a time  
3 extension may be granted by the Planning Commission; and  
4

5       **WHEREAS**, on March 8, 2012 the City gave public notice in The Press  
6 Enterprise, and notices were mailed to property owners within 500 feet of the project  
7 site of the holding of a public hearing at which the proposed Extension of Time would be  
8 considered by the Planning Commission; and  
9

10       **WHEREAS**, on March 20, 2012 the Planning Commission held the noticed public  
11 hearing at which interested persons had an opportunity to testify in support of, or  
12 opposition to the proposed Extension of Time, and at which the Planning Commission  
13 considered the Extension of Time; and  
14

15       **WHEREAS**, the Planning Commission considered, heard public comments on,  
16 and approved a Categorical Exemption for Site Development Review No. 06-017 on  
17 March 20, 2012, and the Community Development Director has evaluated the time  
18 extension to determine if any new information has been presented or if any new  
19 environmental impacts would be created as a result of the time extension in compliance  
20 with the California Environmental Quality Act (CEQA) Guidelines and has determined  
21 that no additional environmental analysis is needed.  
22

23       **NOW THEREFORE**, the Planning Commission of the City of Hemet does hereby  
24 find, determine and resolve as follows:  
25

26       **SECTION 1. ENVIRONMENTAL FINDINGS**  
27

28       The Planning Commission, in light of the whole record before it, including but not limited  
29 to, the City's Local CEQA Guidelines and Thresholds of Significance, the  
30 recommendation of the Community Development Director as provided in the Staff  
31 Reports dated March 20, 2012 and documents incorporated therein by reference, and  
32 any other evidence (within the meaning of Public Resources Code §21080(e) and  
33 §21082.2) within the record or provided at the public hearing of this matter, hereby finds  
34 and determines as follows:  
35

- 36       1.       **CEQA:**   The Community Development Director determined that Site  
37 Development Review No. 06-017 qualified for a categorical exemption from  
38 provisions of the California Environmental Quality Act (from CEQA) pursuant to  
39 CEQA Guidelines Section 15332, and the Planning Commission approved the  
40 exemption on November 7, 2006. There has been no legal challenge brought  
41 forth against the project or the environmental exemption. Staff has reviewed the  
42 exemption in light of the applicant's submittal of the application for the extension  
43 of time for Site Development Review No. 06-017. As discussed in the staff  
44 report, staff has concluded that the extension of time for the said Site  
45 Development Review does not propose to change the density or intensity of the

1 project, and does not propose any other changes to the project that were not  
2 previously considered under the approved Categorical Exemption. As such, the  
3 extension of time for Site Development Review No. 06-017, and any effects it  
4 may have on the environment, fall within the scope of and were analyzed and  
5 considered under the previously approved Categorical Exemption for the project.  
6 Furthermore, based on staff's knowledge of the project and surrounding  
7 developments, staff concludes that there has been no change in circumstances  
8 under which the project is being undertaken that would require additional  
9 analysis under CEQA. Finally, staff has not been presented with any information  
10 contrary to these conclusions nor any information from which it could be fairly  
11 argued that the extension of time for Site Development Review No. 06-017  
12 involves new effects on the environment, and the following findings can be made:  
13

14 (a) The project is exempt from CEQA under CEQA Guidelines Section 15332  
15 in that the staff reports submitted by the Planning Department and other  
16 findings made in this Resolution demonstrate that: Site Development  
17 Review No. 06-017 is consistent with the R-II (Residential) General Plan  
18 designation and all applicable General Plan policies as well as with the  
19 Page Ranch Planned Community Development designation; Site  
20 Development Review No. 06-017 is located within the boundaries of the  
21 City of Hemet; the area within Site Development Review No. 06-017  
22 comprises less than five acres and has no value as habitat for  
23 endangered, rare or threatened species; there is no substantial evidence  
24 in the record that Site Development Review No. 06-017 will result in  
25 significant effects related to traffic, noise, air quality or water quality; and  
26 the site is or can be adequately served by all required utilities and public  
27 services. As such, the project meets the criteria for application of a Class  
28 32 (In-fill Development) Categorical Exemption under the CEQA  
29 Guidelines.  
30

31 (b) None of the exceptions to the categorical exemptions contained in CEQA  
32 Guidelines Section 15300.2 prevent CEQA Guidelines Section 15332 from  
33 exempting the project for the following reasons:  
34

35 (i) The project is not a Class 3, 4, 5, 6, or 11 project, and therefore is  
36 not subject to the exception pertaining to projects located in  
37 particularly sensitive environments.  
38

39 (ii) The nature of the project is such that significant cumulative impacts  
40 will not occur from successive projects of this type occurring in the  
41 same location over time. No information has been presented that  
42 this project would have impacts that would contribute to a level of  
43 cumulative impacts that would be considered significant.  
44

- 1 (iii) There is no reasonable possibility that unusual circumstances will  
2 cause the project to have a significant effect on the environment.  
3 No information is known or has been presented to indicate that  
4 there are unusual circumstances related to this project that would  
5 cause a significant effect.  
6
- 7 (iv) The project will not result in damage to scenic resources within a  
8 designated state scenic highway. The project is not located in  
9 proximity to such a highway.  
10
- 11 (v) The project site has not been listed as a hazardous waste and  
12 substance facility or site by the Department of Toxic Substances  
13 Control pursuant to California Government Code Section 659625.  
14
- 15 (vi) The project will not cause a substantial adverse change to the  
16 significance of a historical resource. The site is fully developed,  
17 and is not listed as a historical resource.  
18
- 19 (c) The Extension of Time for Site Development Review No. 06-017 does not  
20 propose changes to Site Development Review No. 06-017 that would  
21 affect the previous Categorical Exemption.  
22
- 23 (d) No substantial change has occurred in the circumstances under which the  
24 Extension of Time for Site Development Review No. 06-017 is being  
25 undertaken that would affect the previous Categorical Exemption.  
26

- 27 2. **Multiple Species Habitat Conservation Plan (MSHCP):** The project can be  
28 found to be consistent with the MSHCP. The project is located outside of any  
29 MSHCP criteria area, studies have determined that there is no potential to have  
30 negative impacts on specific habitat, and general mitigation is provided through  
31 payment of the MSHCP Mitigation Fee.  
32

## 33 **SECTION 2. SITE DEVELOPMENT REVIEW FINDINGS**

34  
35 In light of the record before it, including the staff report dated March 20, 2012, and all  
36 evidence and testimony heard at the public meeting of this item, the Planning  
37 Commission hereby finds as follows:  
38

- 39 1. The findings for approval of Site Development Review No. 06-017 as contained  
40 within Planning Commission Resolution No. 12-004 and the discussion in the  
41 Planning Commission Staff Report dated March 20, 2012 for Site Development  
42 Review No. 06-017 are hereby incorporated herein by this reference.  
43
- 44 2. A two-year extension of time for Site Development Review No. 06-017 will not  
45 create any inconsistencies between the City's General Plan or provisions of the

1 Page Ranch Planned Community Development Master Plan and Development  
2 Standards or provisions of the City's subdivision or zoning ordinances.  
3

4 **SECTION 3. PLANNING COMMISSION ACTIONS**  
5

6 The Planning Commission hereby takes the following actions:  
7

- 8 1. **Notice of Exemption.** In accordance with Public Resources Code Section  
9 21152(b) and CEQA Guidelines Section 15062, the Planning Commission hereby  
10 approves a categorical exemption for the project under CEQA Guidelines Section  
11 15332 and directs the Planning Director to prepare and file with the Clerk for the  
12 County of Riverside a notice of exemption as provided under Public resources  
13 Code Section 21152(b) and CEQA Guidelines Section 15062.  
14
- 15 2. **Approves Extension of Time No. 11-003 for Site Development Review No.**  
16 **06-017.** Extension of Time No. 11-003 for Site Development Review No. 06-017  
17 for the review of the site development and architecture for 40 multiple-family  
18 residential units in eight buildings is hereby approved as shown on Exhibit A,  
19 attached hereto and incorporated herein by reference, and subject to the  
20 Conditions of Approval attached hereto and incorporated herein by reference as  
21 Exhibit B. Any modification to the project shall be in compliance with the City of  
22 Hemet Zoning Ordinance, and other applicable state and local ordinances.  
23

24 **PASSED, APPROVED AND ADOPTED** this 20th day of March, 2012, by the  
25 following vote:  
26

27 AYES:

28 NOES:

29 ABSTAIN:

30 ABSENT:  
31  
32  
33  
34

35 \_\_\_\_\_  
36 John Gifford, Chairman  
37 Hemet Planning Commission

38 ATTEST:  
39  
40

41 \_\_\_\_\_  
42 Nancie Shaw, Secretary  
43 Hemet Planning Commission

---

**PLANNING COMMISSION RESOLUTION BILL NO. 12-004  
EXTENSION OF TIME NO. 11-003 FOR SDR NO. 06-017 (LOS OLIVOS)**

**Exhibit  
No. 1A  
Development Plan**

**Planning Commission  
Meeting of  
March 20, 2012**

City of Hemet - Planning  
RECEIVED

OCT 31 2011

PROJECT NO.(S)

EOT 11-003

# "LOS OLIVOS" ( THE OLIVES )

## 40 UNIT CONDOMINIUM PROJECT

APN 460-242-037

### PAGE RANCH

HEMET, CALIFORNIA

APPROVED  
PLANNING COMMISSION

NOV 07 2011

BY: B-211  
PROJECT: SDR 06-017

#### PROJECT DATA

ASSESSORS PARCEL NUMBER: 460-242-037  
PROJECT ADDRESS: CARLTON AVENUE, HEMET, CA  
LEGAL DESCRIPTION: A PORTION OF PARCEL ONE OF PARCEL MAP 25252, IN THE CITY OF HEMET, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 143, PAGE 100 & 101, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
ZONING: MULTI-FAMILY RESIDENTIAL  
GENERAL PLAN DESIGNATION: R11 PER PAGE RANCH 17 UNITS/ACRE ALLOWED  
EXISTING LAND USE: VACANT LOT  
PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL 18 UNITS/ACRE PROPOSED  
TOTAL GROSSNET LAND AREA: 2.48 ACRES/106,700 SQ. FT.  
TOTAL BUILDING FLOOR AREA: 68,564 SQ. FT.  
FLOOR AREA RATIO: 62%

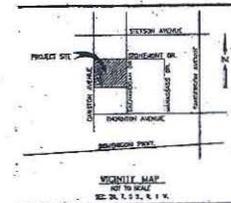
LOT COVERAGES: BUILDING FOOTPRINT AREA: 30,360 SQ. FT. 28%  
PARKING AREAS: 26,870 SQ. FT. 27%  
LANDSCAPE AREAS: 49,330 SQ. FT. 55%  
TOTAL: 106,560 SQ. FT. 100%  
PARKING REQUIREMENTS: ENCLOSED GARAGES: (2) 20'X20' 2 CAR GARAGE: 64 SPACES  
ENCLOSED GARAGES: (1) 14'X20' 1 CAR GARAGE: 8 SPACES  
TOTAL: 72 SPACES  
UNCOVERED SPACES DESIGNATED FOR "M" TYPE UNITS: (2) 10'X20' UNCOVERED: 8 SPACES  
GROSS TOTAL UNIT PARKING REQ'D: (40 UNITS @ 2 SPACES/UNIT): 80 SPACES  
GUEST PARKING PROVIDED: 1 (2'X10') PER 3 UNITS: 8 SPACES  
TOTAL PROJECT PARKING PROVIDED: 10 SPACES  
EXTRA GUEST PARKING PROVIDED: 2 SPACES  
DISABLED PARKING REQUIRED: 1 TO 21 SPACES (1 REQ'D): 1 SPACE  
DISABLED PARKING PROVIDED: 1 SPACE  
NUMBER OF STORIES: TWO & THREE STORY BUILDINGS  
MAXIMUM BUILDING HEIGHT ALLOWED: 50' 0"  
MAXIMUM BUILDING HEIGHT PROPOSED: 34' 0"  
OCCUPANT CLASSIFICATION: A-1 & A-1  
TYPE OF CONSTRUCTION: TYPE V (ONE HOUR)  
SPRINKLERED BUILDINGS: YES

#### UNIT SQUARE FOOTAGE DATA

PLAN AREA: FIRST FLOOR: 722 SQ. FT.  
SECOND FLOOR: 136 SQ. FT.  
TOTAL: 858 SQ. FT.  
GARAGE: 429 SQ. FT.  
DECK: 119 SQ. FT.  
PRIVATE YARD: 80 SQ. FT.  
PLAN BSR: FIRST FLOOR: 741 SQ. FT.  
SECOND FLOOR: 830 SQ. FT.  
THIRD FLOOR: 488 SQ. FT.  
TOTAL: 2,059 SQ. FT.  
GARAGE: 582 SQ. FT.  
DECK: 108 SQ. FT.  
PRIVATE YARD: 109 SQ. FT.  
PLAN OGR: FIRST FLOOR: 841 SQ. FT.  
SECOND FLOOR: 510 SQ. FT.  
THIRD FLOOR: 308 SQ. FT.  
TOTAL: 1,659 SQ. FT.  
GARAGE: 429 SQ. FT.  
PRIVATE YARD: 200 SQ. FT.

#### PRIVATE YARD SPACES

PLAN AREA: 150 SQ. FT.  
REQUIRED: 169 SQ. FT.  
PLAN BSR: 150 SQ. FT.  
REQUIRED: 210 SQ. FT.  
PLAN OGR: 150 SQ. FT.  
REQUIRED: 200 SQ. FT.



City of Hemet - Planning  
RECEIVED  
OCT 2 2006  
PROJECT NO.(S)  
TIA 34-112  
SDR 06-017

ASSESSORS PARCEL NO./ APN 460-242-037

CITY OF HEMET, COUNTY OF RIVERSIDE  
STATE OF CALIFORNIA  
SHEET TITLE: COVER SHEET,  
DATA/PROJECT SUMMARY

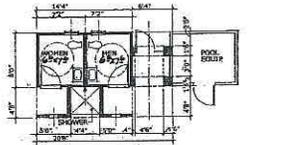
SHEET NO.:  
**1**  
OF 13 SHEETS

PROJECT: "LOS OLIVOS" 40 UNIT CONDOMINIUM PROJECT  
 ADKVAS  
 G R O U P  
 1949 240-6591  
 1000 GARDEN PLACE, SUITE 200, HEMET, CALIFORNIA 94301









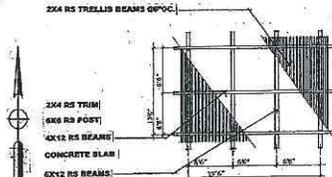
**POOL/RESTROOM BUILDING FLOOR PLAN**

SCALE: 1/8"=1'-0"

**POOL/RESTROOM BUILDING**  
6'0"x7'0" MEN & WOMEN'S 48 S.F.

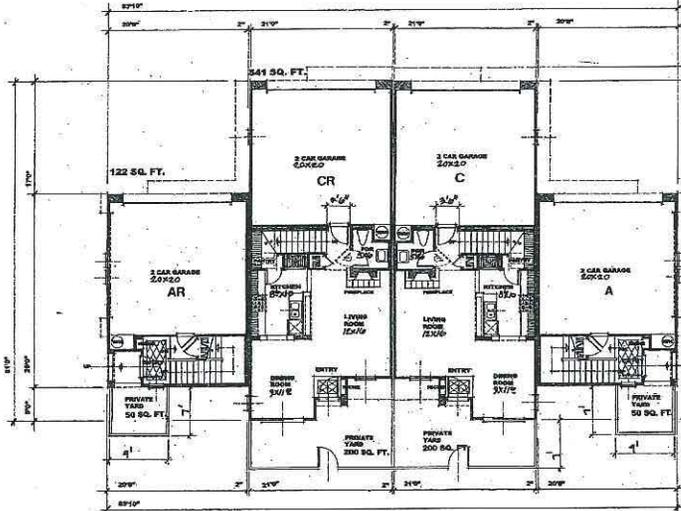
**BUILDING TYPE 1**

1:2



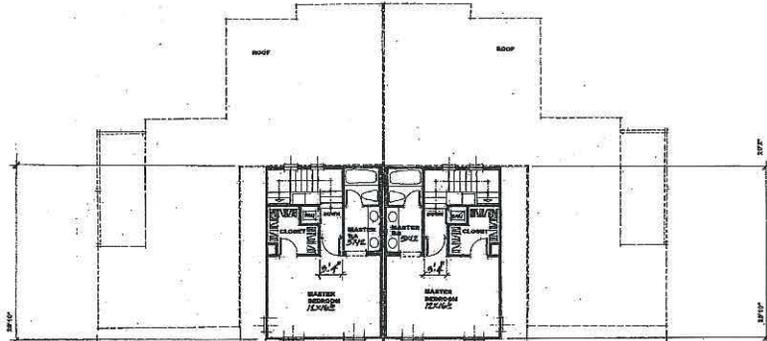
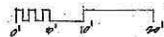
**PERGOLA PLAN**

SCALE: 1/8"=1'-0"



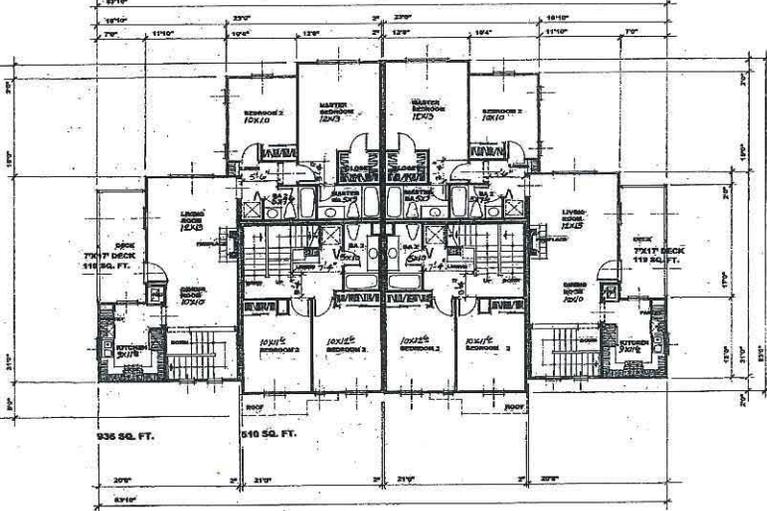
**FIRST FLOOR PLAN**

SCALE: 1/8"=1'-0"



**THIRD FLOOR PLAN**

358 SQ. FT.



**SECOND FLOOR PLAN**

935 SQ. FT.

510 SQ. FT.

**RESTROOMS & HALLS/CORRIDORS S.F.**

PLAN A/AR		
MASTER BA	5'0" x 7'0"	45 S.F.
BATH 2	5'0" x 7'0"	35 S.F.
HALLS/CORRIDORS	3'0" x 3'0"	28 S.F.

PLAN C/CR		
MASTER BA	5'0" x 7'0"	45 S.F.
BATH 2	5'0" x 7'0"	35 S.F.
BATH 3	5'0" x 7'0"	35 S.F.
1 <sup>ST</sup> FLR HALL	3'0" x 3'0"	28 S.F.
2 <sup>ND</sup> FLR HALL	3'0" x 3'0"	28 S.F.
3 <sup>RD</sup> FLR HALL	3'0" x 3'0"	28 S.F.



ASSESSORS PARCEL NO.: APN 460-342-037

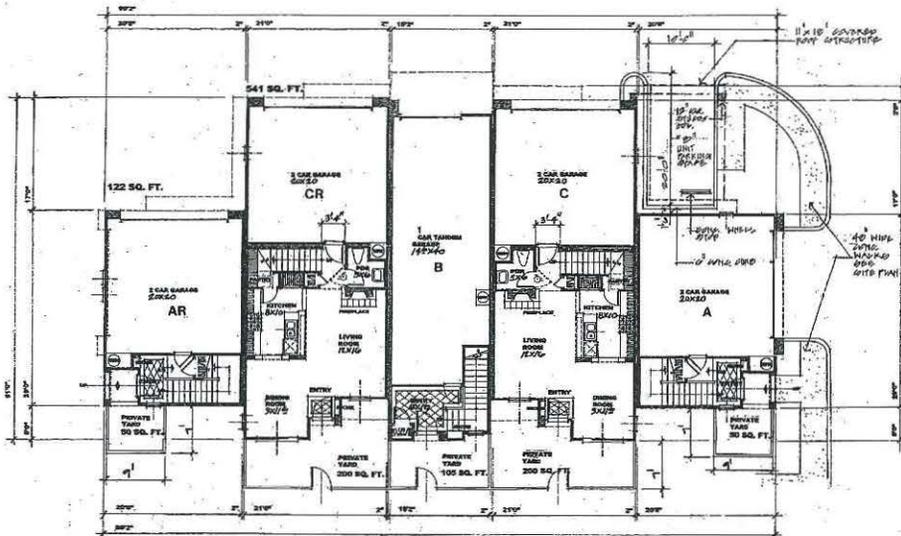
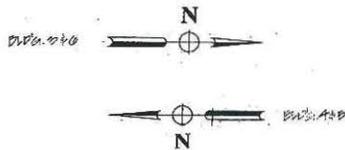
CITY OF HEMET, COUNTY OF RIVERSIDE  
STATE OF CALIFORNIA  
SHEET TITLE: BLD'G. TYPE I  
POOL/RESTROOM BLD'G.  
PERGOLA

SHEET NO.:  
**5**  
OF 13 SHEETS

**ADKVAS**  
 G R O U P  
 PROJECT: "LOS OLIVOS" 40 UNIT  
 CONDOMINIUM PROJECT  
 949.937.2406  
 949.937.2407

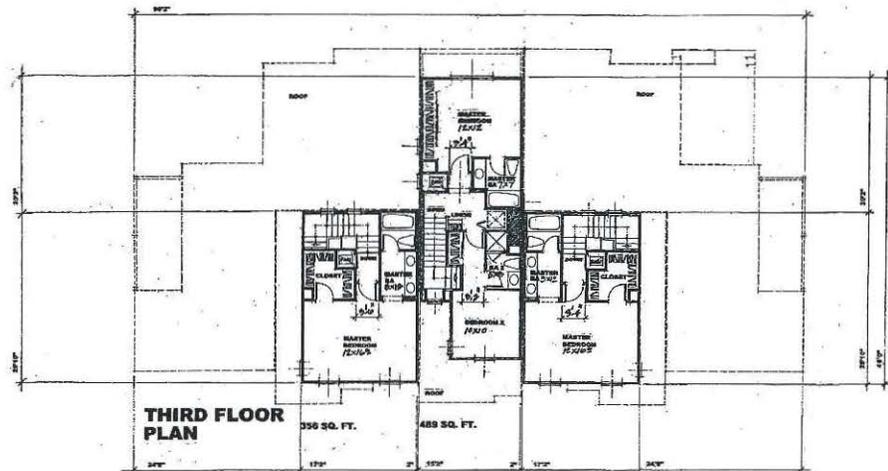
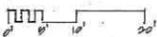
**BUILDING TYPE 2/2R**

3, 4, 5, 6

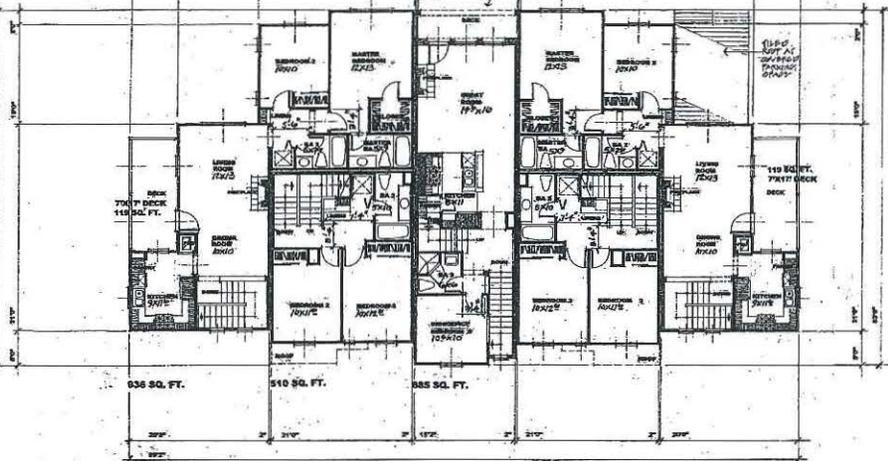


**FIRST FLOOR PLAN**

SCALE: 1/8"=1'-0"



**THIRD FLOOR PLAN**



**SECOND FLOOR PLAN**

**RESTROOMS & HALLS/CORRIDORS S.F.**

<b>PLAN A/R</b>			
MASTER BA	6'x7'	42 S.F.	
BATH 2	6'x7'6"	38 S.F.	
HALLS/CORRIDORS	6'x7'6"	28 S.F.	

<b>PLAN B/B</b>			
MASTER BATH	7'x7'	44 S.F.	
BATH 2	6'x7'	41 S.F.	
BATH 3	6'x7'	38 S.F.	
1 <sup>ST</sup> FLR HALL	NONE		
2 <sup>ND</sup> FLR HALL	3'x4" WIDE	11 S.F.	
3 <sup>RD</sup> FLR HALL	3'x7" WIDE	17 S.F.	

<b>PLAN C/C</b>			
MASTER BA	6'x12'	60 S.F.	
BATH 2	6'x10'	50 S.F.	
BATH 3	6'x10'	34 S.F.	
1 <sup>ST</sup> FLR HALL	3'x7'6"	21 S.F.	
2 <sup>ND</sup> FLR HALL	3'x7'6"	21 S.F.	
3 <sup>RD</sup> FLR HALL	3'x7'7"	22 S.F.	

ASSESSORS PARCEL NO.: APN 449-242-037

CITY OF HEMET, COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SHEET TITLE: **BUILDING PLANS**  
BLD'G. TYPE 2/2R

SHEET NO.:

**6**

OF 13 SHEETS

**ADKVAS**  
CORPORATION  
PROJECT: "LOS OLIVOS" 40 UNIT CONDOMINIUM PROJECT  
PHONE: (949) 240-6591

PROJECT: "LOS OLIVOS" 40 UNIT CONDOMINIUM PROJECT

08-17-06

# BUILDING TYPE 3

7 of 8

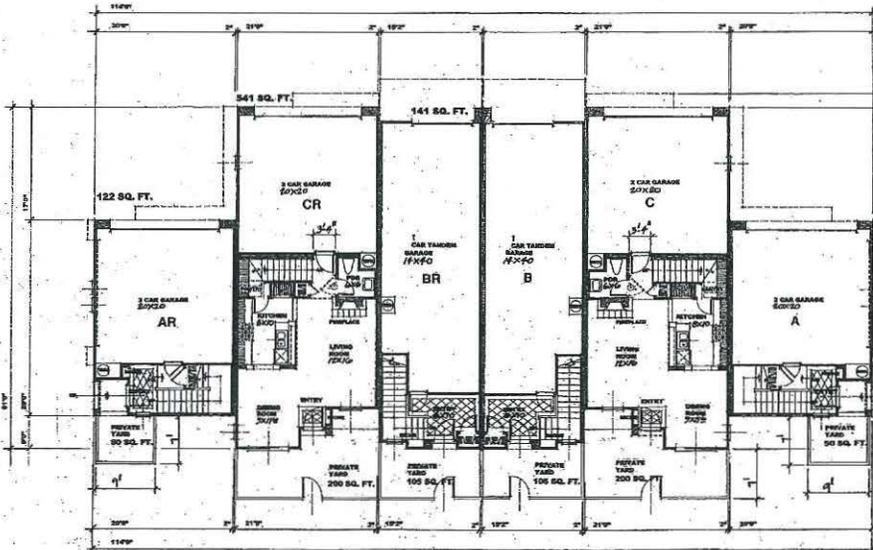


### RESTROOMS & HALLS/CORRIDORS S.F.

**PLAN A/R**  
 MASTER BA 8'2" x 5'0" 45 S.F.  
 BATH 2 5'0" x 7'0" 35 S.F.  
 HALLS/CORRIDORS 5'0" x 20'0" 100 S.F.

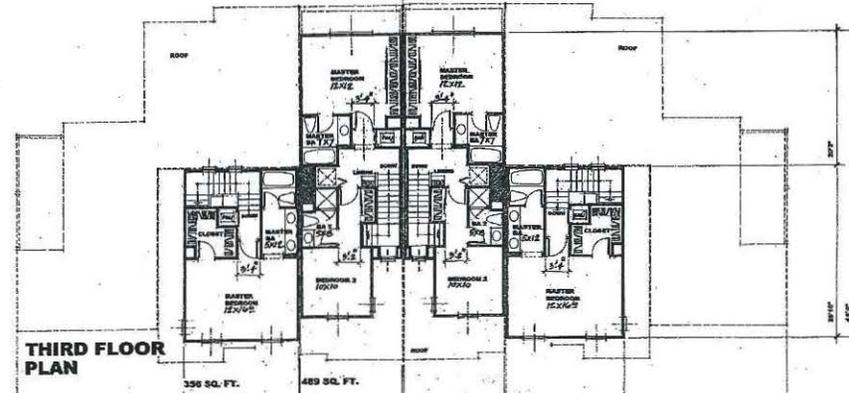
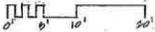
**PLAN B/R**  
 MASTER BATH 7'0" x 4'0" 28 S.F.  
 BATH 2 6'0" x 7'0" 42 S.F.  
 BATH 3 6'0" x 7'0" 42 S.F.  
 1<sup>st</sup> FLR HALL NONE  
 2<sup>nd</sup> FLR HALL 3'0" x 11'0" 33 S.F.  
 3<sup>rd</sup> FLR HALL 3'0" x 11'0" 33 S.F.

**PLAN C/R**  
 MASTER BA 5'0" x 7'0" 35 S.F.  
 BATH 2 6'0" x 7'0" 42 S.F.  
 BATH 3 6'0" x 7'0" 42 S.F.  
 1<sup>st</sup> FLR HALL 3'0" x 11'0" 33 S.F.  
 2<sup>nd</sup> FLR HALL 3'0" x 11'0" 33 S.F.  
 3<sup>rd</sup> FLR HALL 3'0" x 11'0" 33 S.F.

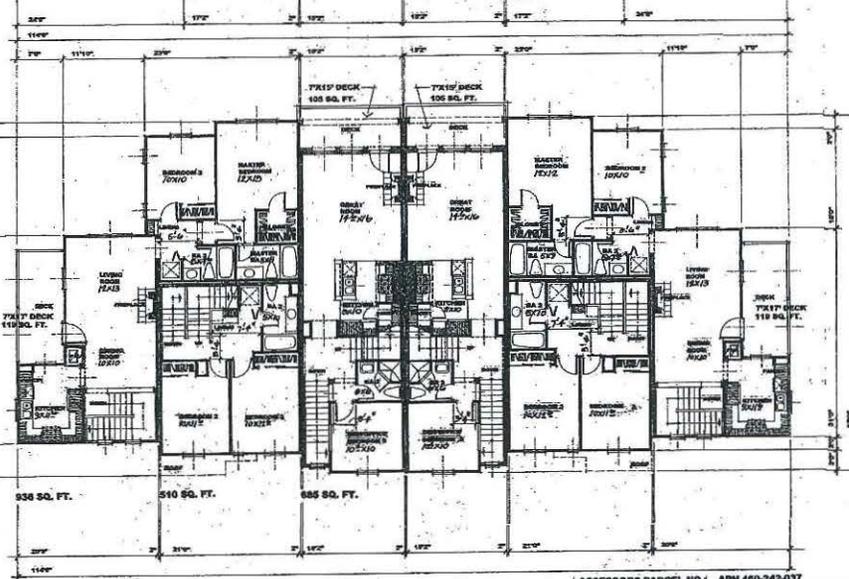


**FIRST FLOOR PLAN**

SCALE: 1/8"=1'-0"



**THIRD FLOOR PLAN**



**SECOND FLOOR**

ASSESSORS PARCEL NO./ APN 450-242-037

CITY OF HEMET, COUNTY OF RIVERSIDE  
 STATE OF CALIFORNIA

SHEET TITLE: BUILDING PLANS  
 BLD'G. TYPE 3

SHEET NO.:

**7**

OF 13 SHEETS

PROJECT: "LOS OLIVOS" 40 UNIT  
 CONDOMINIUM PROJECT

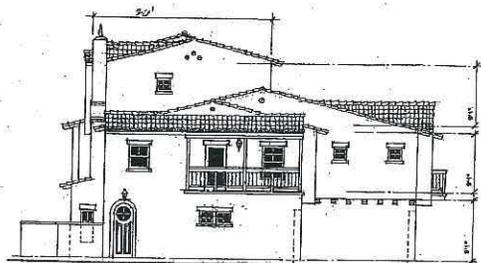
08-17-05

**ADKVAS**  
 C R O U P

(949) 240-6591

# BUILDING TYPE 1

1/2



RIGHT SIDE ELEVATION

- 1 EXTERIOR STUCCO FINISH.
- 2 CONC. "P" STYLE TILE ROOFING.
- 3 ENTRY DOORS.
- 4 SECTIONAL ROLL-UP METAL GARAGE DOOR.
- 5 WHITE VINYL WINDOWS.
- 6 FOAM TIRE WETSTUCCO OVER.
- 7 CLAY TILES.
- 8 STUCCOED PRIVATE YARD WALL.
- 9 WROUGHT IRON WINDOW BARS.
- 10 LOUVERED SHUTTERS.
- 11 FALSE WOOD PORCH BEAMS.
- 12 FALSE STUCCO CHIMNEY.
- 13 DECORATIVE STUCCOED RECESSES.
- 14 WOOD POST.
- 15 WOOD & IRON BALCONY RAILING.
- 16 WOOD FRENCH DOOR.



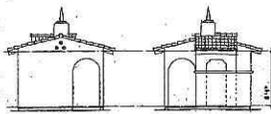
LEFT SIDE ELEVATION

WROUGHT IRON GATE & DOORS TO POOL EQUIP.  
ICI DULUX 406 "OLD TUDOR" MP800TY14141

CERAMIC TILES AT SHOWER WALLS  
VARIED COLORED MEXICAN TILES



POOL/RESTROOM BLD'G. REAR ELEVATION



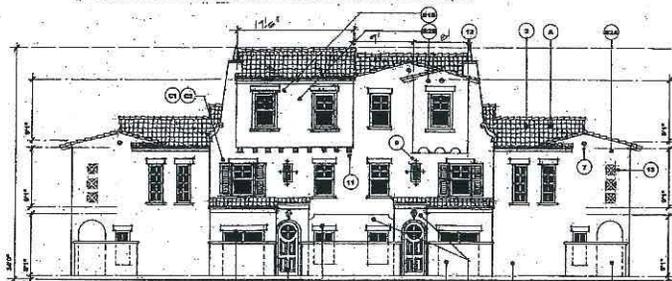
POOL/RESTROOM BLD'G. LEFT RIGHT ELEVATION



REAR ELEVATION

## EXTERIOR COLORS & MATERIALS

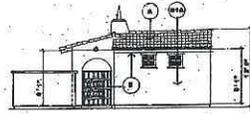
- Plat. 1
- Plat. 2
- A ROOFING: EAGLE CO. NO. 3950 LOS PADRES BLEND "P" MISSION STYLE TILE ROOFING
  - B1A STUCCO: MAIN BODY COLOR: OMEGA STUCCO #14 CREAM
  - B1B STUCCO: ACCENT COLOR - OMEGA STUCCO #415 LIGHT TAUPE
  - B2A STUCCO: MAIN BODY COLOR: OMEGA STUCCO #123 BEGA TAN
  - B2B STUCCO: ACCENT COLOR - OMEGA STUCCO #412 BISON BEIGE
  - C1 SHUTTERS: ICI DULUX 406 "OLD TUDOR" MP800TY14141 (OR EQUAL) STUCCO COLORS
  - C2 SHUTTERS: ICI DULUX #72 "VIRGINIA VINE" MP80TY22144 (OR EQUAL) STUCCO COLORS
  - D WINDOW SLIDING GLASS DOORS: WHITE VINYL: MELGARD CO. (OR EQUAL)
  - E WOOD TRIM/PANCA/SARAGE DOORS/WINDOW DOORS, DECK RAILS/CORBEL/ENTRY DOORS: ICI DULUX 406 "OLD TUDOR" MP800TY14141
  - F CERAMIC TILES AT SHOWER WALLS - VARIED COLORED MEXICAN TILES
  - G WROUGHT IRON GATE & DOORS TO POOL EQUIP.: ICI DULUX 406 "OLD TUDOR" MP800TY14141



FRONT ELEVATION

SCALE: 1/8"=1'-0"

ADDRESS NUMBER LOCATIONS: WILL PROVIDE ELIMINATED ADDRESS NUMBERS ON BUILDING FACADE ADJACENT TO EACH UNIT'S ENTRANCE DOOR, PER CITY REQUIREMENTS.



POOL/RESTROOM BLD'G. FRONT ELEVATION

SCALE: 1/8"=1'-0"

ASSESSORS PARCEL NO.: APN 460-242-037

CITY OF HEMET, COUNTY OF RIVERSIDE STATE OF CALIFORNIA		SHEET NO.:
SHEET TITLE: ELEVATIONS BLD'G. TYPE 1 POOL/RESTROOM BLD'G.		8
		OF 13 SHEETS

(949) 240-6591

**ADKVAS**  
CORPORATION

PROJECT: "LOS OLIVOS" 40 UNIT  
CONDOMINIUM PROJECT

08-17-06

# BUILDING TYPE 2/2R

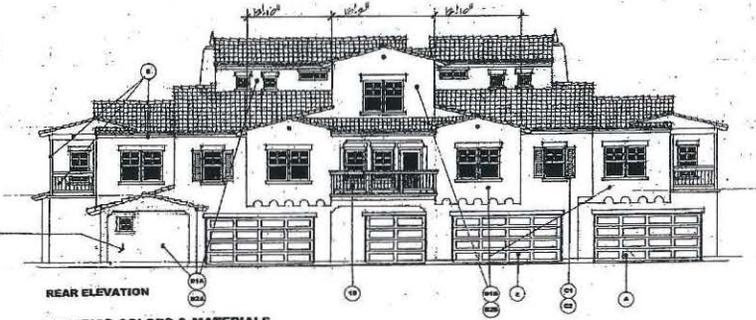
3 4 5 6



RIGHT SIDE ELEVATION

- 1 EXTERIOR STUCCO FINISH.
- 2 CONIC-UP STYLE TILE ROOFING.
- 3 ENTRY DOGGE.
- 4 SECTIONAL ROLL-UP METAL GARAGE DOOR.
- 5 WHITE VINYL WINDOWS.
- 6 FOAM TRIM W/STUCCO OVER.
- 7 CLAY TILES.
- 8 STUCCOED PRIVATE YARD WALL.
- 9 WROUGHT IRON WINDOW BARS.
- 10 LAUNDRY SHUTTERS.
- 11 FALSIE WOOD POAK BEAMS.
- 12 FALSIE STUCCO CHIMNEY.
- 13 DECORATIVE STUCCOED KNEESSES.
- 14 WOOD POST.
- 15 WOOD & IRON BALCONY RAILING.
- 16 WOOD FRENCH DOOR.

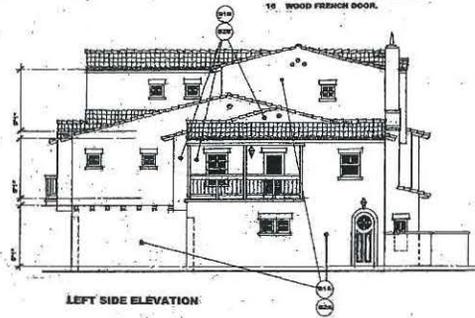
WALKWAY FOR  
120 UNIT DRIVE  
STAIRS



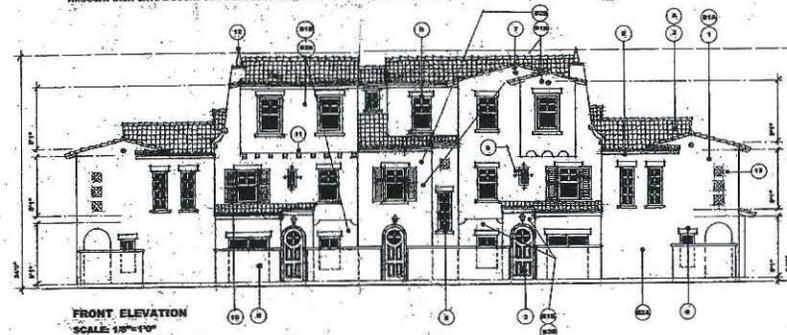
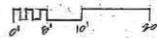
REAR ELEVATION

### EXTERIOR COLORS & MATERIALS

- A ROOFING: EAGLE CO. NO. 3880 LOS PARDOS BLEND 7" MISSION STYLE TILE ROOFING
- B1A STUCCO: MAIN BODY COLOR: OMEGA STUCCO #14 CREAM
- B1B STUCCO: ACCENT COLOR : OMEGA STUCCO #419 LIGHT TOAST
- B2A STUCCO: MAIN BODY COLOR: OMEGA STUCCO #123 BEVA TAN
- B2B STUCCO: ACCENT COLOR : OMEGA STUCCO #412 BRN EDGE
- C1 SHUTTERS: ICI DULUX 406 "OLD TUDOR" MP300TY14/141 68/1A/19 STUCCO COLORS
- C2 SHUTTERS: ICI DULUX #72 "VIRGINIA VINE" MP30TY23/144 68/2A/19 STUCCO COLORS
- D WINDOW/SLIDING GLASS DOORS: WHITE VINYL WILKINS CO. (OR EQUAL)
- E WOOD TRIM/STAIRS/LANARAKE DOOR/FRENCH DOOR(S),  
DECK RAIL/SCREENED ENTRY DOORS: ICI DULUX 406 "OLD TUDOR" MP300TY14/141  
CEILING TILES AT SHOWER WALLS : VARIOUS COLORED METRICAN TILES  
WROUGHT IRON GATE & DOORS TO POOL EQUIP. : ICI DULUX 406 "OLD TUDOR" MP300TY14/141



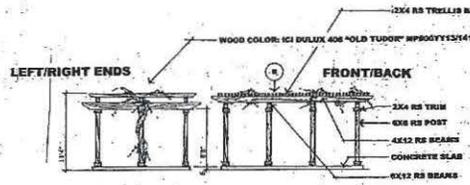
LEFT SIDE ELEVATION



FRONT ELEVATION

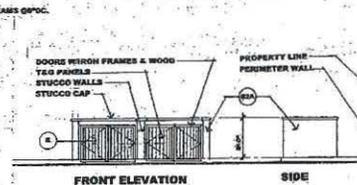
SCALE: 1/8"=1'-0"

ADDRESS NUMBER LOCATIONS: SHALL PROVIDE ILLUSTRATIVE ADDRESS NUMBERS ON BUILDING FACADE RELATIVE TO EACH UNIT'S ENTRANCE DOOR, PER CITY REQUIREMENTS.



PERGOLA ELEVATIONS

SCALE: 1/8"=1'-0"



FRONT ELEVATION

TRASH ENCLOSURE

SCALE: 1/8"=1'-0"

ASSESSORS PARCEL NO.: APN 460-242-037

CITY OF HERMET, COUNTY OF RIVERSIDE  
STATE OF CALIFORNIA

SHEET TITLE: **ELEVATIONS**  
BLD'G. TYPE 2/2R  
PERGOLA  
TRASH ENCLOSURE

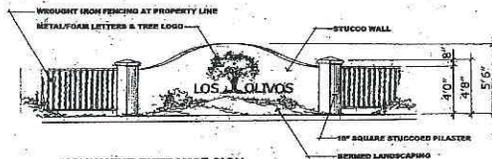
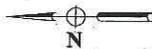
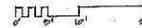
PROJECT: "LOS OLIVOS" 40 UNIT CONDOMINIUM PROJECT  
 ADKVAS  
 949 240-6591  
 SHEET NO. 9 OF 13 SHEETS  
 08-17-06





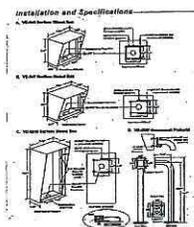
STREET SCENE

SCALE 1/8"=1'-0"



MONUMENT ENTRANCE SIGN

- SCALE: 1/4"=1'-0"
- COLORS & MATERIALS**
- A WALLS & FILASTERS: OMEGA CO. 412 BROWN BRIDE
  - B WROUGHT IRON: KCI DULUX 400 "OLD TUDOR"
  - C LOS OLIVOS LOGO: GOLD METAL FINISH



The VIKING, VIK-600 and VIK-600S are made of weather resistant, as well as visually to many Viking products.

The VIK-Series backboxes are black powder painted steel, weather resistant boxes designed to be surface mounted to a single gang box, a wall or a VIK-CSP concrete pedestal.

The VIK-600 is designed to be used with the E-10, E-15 and E-30 handsets phones as well as the VIK-600S and VIK-600S handsets. The VIK-600S is designed to be used with the VIK-600S handsets phone and the VIK-600S is designed to be used with the VIK-600S, VIK-600S and the VIK-600S visual/relaxing phones.

The VIK-600S concrete pedestal is designed to be used with any of the VIK-Series backboxes and is ideal for three up communication.



ASSESSOR'S PARCEL NO.: APN 450-242-037

CITY OF HEMET, COUNTY OF RIVERSIDE  
STATE OF CALIFORNIA

SHEET TITLE: STREET SCENE

SHEET NO.:

11

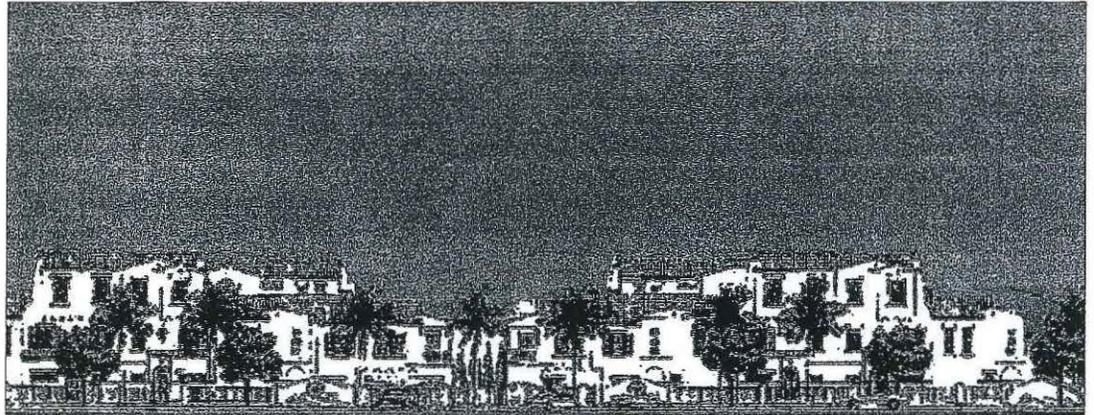
OF 13 SHEETS

PROJECT: "LOS OLIVOS" 40 UNIT  
CONDOMINIUM PROJECT

ADKVAS  
G R O U P

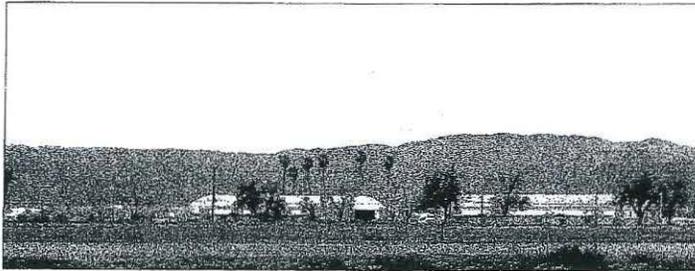
1000 W. 10TH STREET, SUITE 100, RIVERSIDE, CA 92507

(949) 240-6591



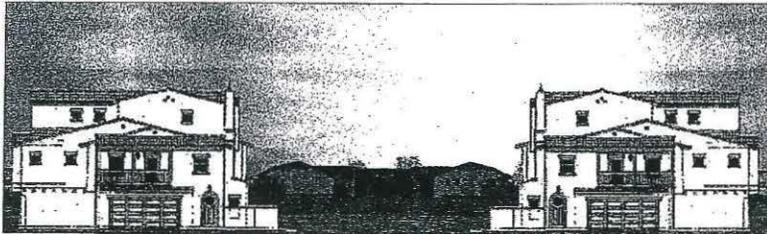
ELEVATION-DIGITAL RENDERING

2 VIEW LOOKING EASTWARD  
Not to scale



ELEVATION-DIGITAL

1 VIEW LOOKING WESTWARD  
Not to scale



ELEVATION-DIGITAL RENDERING

3 VIEW LOOKING SOUTHWARD  
Not to scale

VIEWSHED LEGEND:

ELEVATION VIEW LOOKING WESTWARD:

1 VIEW LOOKING ACROSS CAWSTON STREET TOWARD VACANT PARCEL.

ELEVATION VIEW LOOKING EASTWARD:

2 VIEW LOOKING AT PROJECT PARCEL ALONG SIDEWALK AT CAWSTON AVENUE. EXISTING RESIDENTIAL HOMES AND DISTANT MOUNTAINS BEYOND.

ELEVATION VIEW LOOKING SOUTHWARD:

3 VIEW LOOKING TOWARD EXISTING APARTMENT PROJECT FROM NORTH PROPERTY LINE.

ANALYSIS:

THE PARCEL IS A FLAT UNDEVELOPED PROPERTY ADJACENT TO AN EXISTING APARTMENT PROJECT WITH NO SPECIAL OR DISTINGUISHING VIEWS OF PROPERTY OR STRUCTURES.

THE BUILDINGS AS PROPOSED ARE CONSISTENT WITH SURROUNDING PROJECTS. A TWO STORY APARTMENT PROJECT TO THE SOUTH AND EXISTING ONE AND TWO STORY SINGLE FAMILY HOMES TO THE EAST. ALONG THE NORTH PROPERTY LINE IS AN EXISTING UNDEVELOPED PARCEL WITH AN EXISTING SINGLE STORY UTILITY COMPANY STRUCTURES ADJACENT TO IT. THIS PROJECT COMPRISING ONE, TWO AND THREE STORY STRUCTURED BUILDINGS WILL IN FACT PROVIDE A BUFFER FOR NOISE TO THE SINGLE FAMILY RESIDENCES FROM CAWSTON AVENUE.

ANY MOUNTAIN VISTAS VISIBLE ALONG CAWSTON AVENUE WILL STILL BE VISIBLE FROM ALONG THE FUTURE SIDEWALK ALONG CAWSTON AVENUE.

ON THE OPPOSITE SIDE OF THE STREET, AT THE MAXIMUM RIDGE-ROOF HEIGHT THE BUILDINGS AS PROPOSED ARE WELL UNDER THE ALLOWED 50' HEIGHT LIMIT.

ENV 5

Landscape • Planning • Design  
802 South 25 Camino Real • San Clemente, California 92672  
Tel: (949) 940-0110 Tel: 800ENV5.OCconsult.com

REVISION

DATE

REVISION	DATE

CITY OF HEMET, COUNTY OF RIVERSIDE  
STATE OF CALIFORNIA

PROJECT VIEW-SHED ANALYSIS

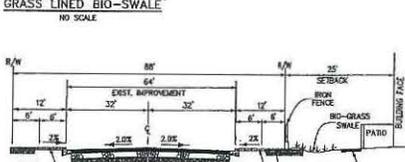
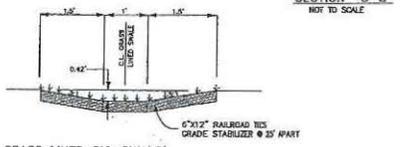
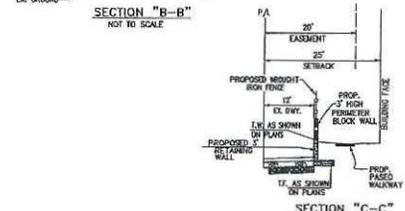
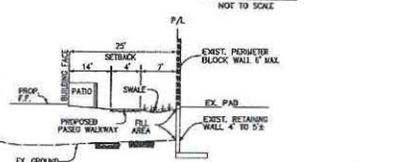
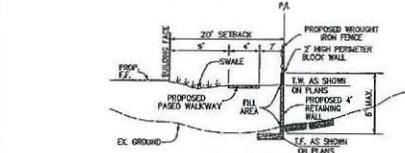
SHEET NO.:

12

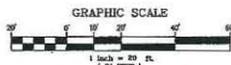
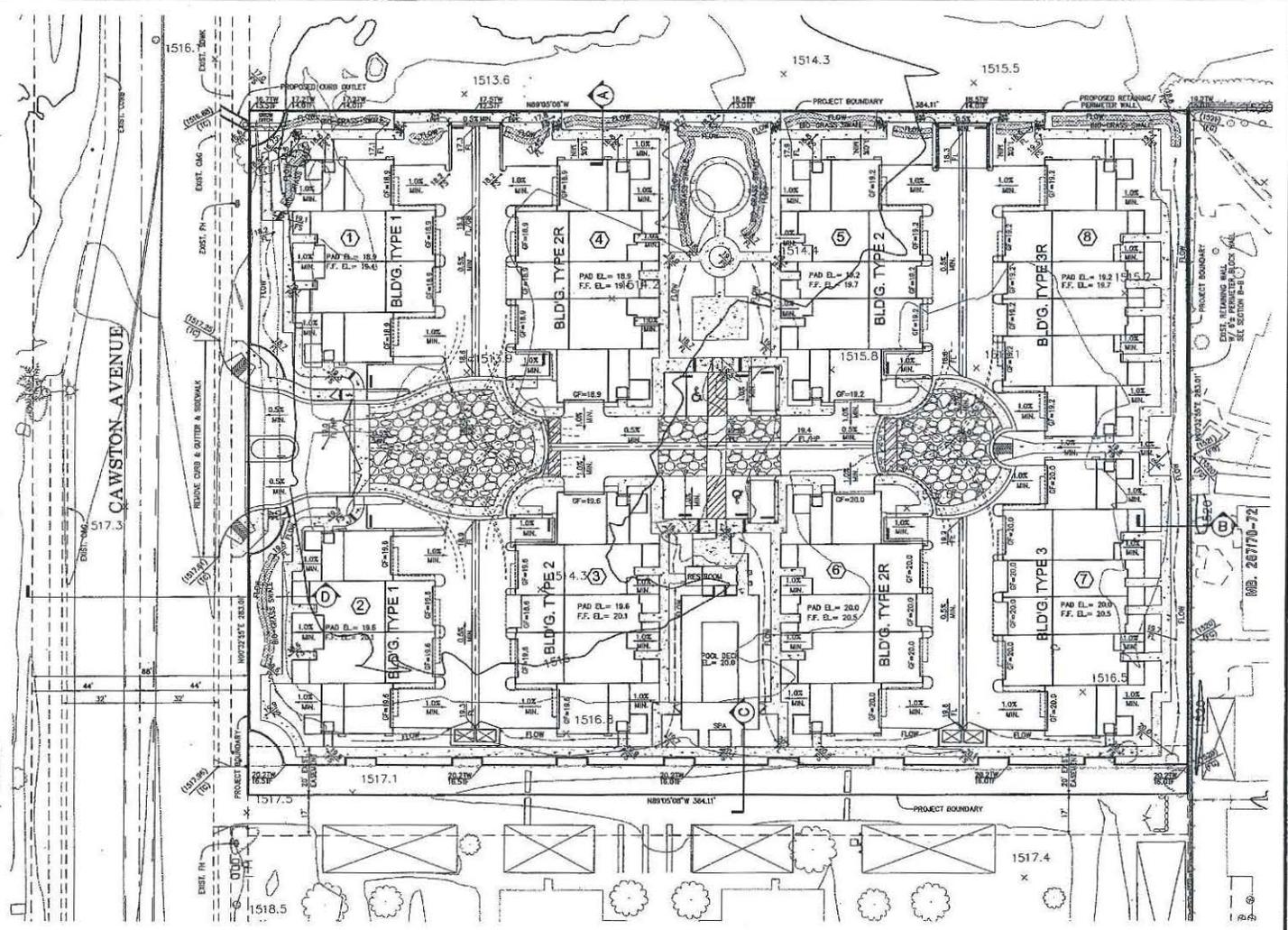
OF 13 SHEETS

**NOTE:**

1. THIS PROJECT IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD.
2. THE PROJECT IS NOT WITHIN ANY SPECIAL HAZARD ZONES.
3. THERE ARE NO KNOWN ENVIRONMENTALLY OR CULTURALLY SENSITIVE AREAS.



- LEGEND**
- BIO-GRASSLINED SWALE
  - FS FINISH SURFACE
  - FL FLOW LINE
  - HP HIGH POINT
  - LP LOW POINT
  - TW TOP OF WALL
  - TF TOP OF FOOTING
  - FF.F. = 78.10 FINISH FLOOR ELEV.
  - PAD EL. = 77.60 PAD ELEVATION
  - G.F. EL. = 77.70 GARAGE FLOOR ELEVATION
  - ELDE FLOW DIRECTION
  - 1097.5 EXISTING ELEVATION
  - ADA PATH OF TRAVEL
  - PRIVATE DRAIN
  - GRAVE INLET



**EARTHWORK QUANTITY**  
 CUT = 0 CY  
 FILL = 10,000 CY  
 IMPORT = 10,000 CY

**SOURCE OF TOPOGRAPHY**  
 VERTICAL MAPPING RESOURCES, INC.  
 JANUARY 2006

**BENCH MARK**  
 NO. 14-A-71  
 0.25' SQUARE, S.W. CORNER 12' x 7' CONCRETE  
 SLAB 90' NORTH OF GIBSON AVENUE AND  
 100' W. OF CAWSTON AVENUE.

**PACIFIC COAST LAND CONSULTANTS, Inc.**  
 Civil Engineering • Land Planning • Land Surveying  
 43761 Enterprise Circle N., Red, Sonoma, Ca. 95970  
 Tel: (925) 719-3770 Fax: (925) 719-3780

REVISION	DATE



CITY OF HEMET, COUNTY OF RIVERSIDE  
 STATE OF CALIFORNIA  
**DEVELOPMENT PLOT PLAN NO. 34712**  
 CONCEPTUAL GRADING & DRAINAGE PLAN

SHEET NO.:  
**13**  
 OF 13 SHEETS

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**Exhibit  
No. 1B  
Conditions of Approval**

**Planning Commission  
Meeting of  
March 20, 2012**



Development Review 06-017 shall become effective on March 31, 2012 unless appealed to the City Council by **March 30, 2012** (10 calendar days after action by the Planning Commission. The appeal shall be in writing and shall be accompanied by the required fee.

3. The conditions of approval of this project shall supersede all conflicting notations, specifications, dimensions, typical sections, and the like, which may be shown on the tentative project plans.
4. This project site shall be developed in accordance with the approved plan(s) and the conditions contained herein.
5. This project shall comply with all sections of the Zoning and Subdivision Ordinances and all other applicable Local regulations in effect at the time of the building permit application and/or time of recordation, including the California Building Code, California Fire Code, and City and State Handicapped Accessibility Requirements (California Code of Regulations, Title 24).
6. Prior to the issuance of building permits, the applicant shall be subject to all applicable development fees at the rate in effect at the time of building permit application. Such fees may include, but not be limited to: Park Fees, School Fees, Master Plan Storm Drainage Fees, Permit and Plan Checking Fees, Water and Sewer Service Fees, and Capital Facility Fees.
7. Prior to or concurrent with the submittal of building plans for plan check review on this Project, the conditions of approval contained herein shall be photocopied onto the first sheet of the building plans. A copy of the building plans shall be submitted to the Planning Department prior to the issuance of building permits to verify compliance with the conditions of approval and the approved plans.
8. Construction activity shall meet the requirements of Hemet Municipal Code Chapter 30, Article II.
9. Prior to any grading or drainage activity, a grading and/or drainage plan shall be prepared and submitted to the City Engineer and Planning Department for review and approval. No grading or drainage work shall occur without a grading permit and/or the permission of the City Engineer.
10. The applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or

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any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.

11. The applicant shall be required to remove, replace and/or repair any existing appurtenances damaged or broken during construction. Replacement and repairs shall be in accordance with the City of Hemet Standard Specifications for Public Works Construction.
12. In accordance with City Ordinance No. 821, all utilities serving the project shall be provided underground.
13. The developer shall install U. S. Postal Service approved neighborhood mailboxes prior to occupancy.

Site Development:

14. Prior to the issuance of a Certificate of Occupancy for the project site or activity being commenced thereon, pursuant to **Site Development Review No. 06-017**, all conditions of approval contained herein shall be completed to the satisfaction of the Planning Department.
15. All electrical and mechanical equipment, including but not limited to air conditioning units, electrical boxes, transformers, backflow preventers, and roof mounted equipment shall be visually screened from public view. Screening shall be to the satisfaction of the Planning Department and in compliance with the Hemet Building Code.
16. The building plans submitted for plan check shall include the location of all parking lot lighting, lighting standard specifications.

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17. An anti-graffiti coating shall be provided on all walls and written verification of its application from the developer shall be provided to the City of Hemet Planning Department.
18. This project shall be consistent with the City's Multiple-Family Residential Design Guidelines approved by the City Council on August 27, 2002 (CC Resolution No. 3677). After approval of the Site Development Review project, the Community Development Director shall have the authority to adjust up to 20% of the home/plot plans. The Site Development Review application shall provide all submittal information as required by the Multiple-Family Residential Design Guidelines.
19. The developer shall provide all homes with central air conditioning.

Landscaping:

20. This project shall comply with the landscape design requirements outlined in the City's Commercial Design Guidelines in effect at the time of the Building Department plan check. Submit landscape and irrigation plans prepared by a registered landscape architect in conjunction with building plan check.
21. The project shall comply with the water efficient landscape requirements outlined in Article XLVIII. Section 90-1700 Landscape and Irrigation.
22. Prior to the issuance of a Certificate of Occupancy or finalization of the Building Permit, landscaped areas shall have an automatic irrigation system, with automatic timers, installed and operational.
23. Prior to the issuance of building permits for the project, the applicant shall submit for review and approval by the Planning Department a detailed on-site landscape and irrigation plan consistent with the project site plan. The landscape plans shall include a landscape palette that contains the botanical and common names, quantity for each specie and the number of individual plants proposed in the plans. The plans shall be prepared by a registered landscape architect.
24. The applicant shall provide a disclosure notice to each prospective buyer and to each new property owner within this development. The disclosure notice shall be recorded against all properties which states the following:
  - a. The property owner is aware of any required financing mechanisms for the subdivision project such as Landscape-Lighting & Maintenance District (LLMD), Landscape-Lighting & Parks Maintenance District (LLPMD) or Conditions, Covenants and Restrictions (CC&R's).

- b. The condominium homeowners association is responsible for the irrigation of parkway landscaping adjacent to the development. Any lack of landscape/irrigation maintenance is subject to code violation actions.
- 25. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash, disease, vermin, and debris, during the term of this project. Continued maintenance of public areas shall be guaranteed by establishment of a homeowners association or alternative mechanism approved by the Community Development Director.
- 26. Trees along the east property line shall be of a size at least equal to five-year growth.

**Environmental:**

- 27. During construction, should any archaeological artifacts be discovered, the Planning Department shall be notified immediately, and all work shall cease until a qualified archaeologist has examined the artifacts and the site and submitted findings and recommendations to the Planning Department. Recommencement of construction shall be upon the approval of the Planning Department.
- 28. This property lies within an Airport Influence area of the Hemet/Ryan Airport. Prior to the issuance of a Certificate of Occupancy, the property owner shall record an Avigation Easement, in a form acceptable to the City.

**PLANNING CONDITIONS**

The following conditions of approval are project specific and were recommended by the Planning Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Planning Department at (951) 765-2375.

Planning – Site Development

- 29. Prior to the issuance of a grading permit, the developer shall submit a Final Landscape Plan showing screening along the north property line by evergreen shrubs such as Photinia, Bougainvillea, India Hawthorn (*Raphiolepis indica*), or other species as approved, to the satisfaction of the Community Development Director for the purpose of providing screening that is 90 percent effective at the age of five years.
- 30. Prior to the issuance of any building permit, the developer shall provide a copy of the condominium plan recorded by the Riverside County Recorder, conforming to the approved plans for inclusion in the project file.

31. Prior to the issuance of a certificate of occupancy for any building, the developer shall provide vehicle gate control mechanisms satisfactory to the Superintendent of Recycling and Refuse to said Superintendent.
32. Prior to the issuance of a certificate of occupancy for any building, the developer shall provide documentation California Department of Real Estate approval of the Subdivision Public Report for inclusion in the project file.
33. Prior to the issuance of a certificate of occupancy for any building, the developer shall provide documentation for inclusion in the project file, that Covenants, Conditions, and Restrictions for the project have been recorded by the Riverside County Recorder.
34. Prior to the issuance of a certificate of occupancy for any building, the developer shall provide documentation for inclusion in the project file, that recorded Covenants, Conditions, and Restrictions for the project include a provision that individual owners of units located adjacent to the project's east property line shall not remove or alter window shutters that obscure views into yards of adjacent single-family residences.
35. Prior to the issuance of a certificate of occupancy for any building, the developer shall provide documentation for inclusion in the project file, that recorded Covenants, Conditions, and Restrictions for the project include a provision that the homeowners association shall maintain trees along the east property line to assure that views into yards of adjacent single-family residences are obscured.
36. If new units are occupied by individual owners prior to completion of project construction, the developer shall phase the project so as to limit construction impacts on occupied new units to the extent feasible.
37. All improvements shall be completed prior to any certificate of occupancy unless a phasing plan is approved by the Community Development Director.
38. Following construction, the project site shall be maintained in a clean and orderly condition by the developer first, and then by the homeowners association after the developer or his successor owns less than twenty percent of the units.

## **ENGINEERING CONDITIONS**

The following conditions of approval are project specific and were recommended by the Engineering Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Public Works - Engineering Department at (951) 765-2360.

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General:

39. The applicant shall coordinate with affected utility companies and obtain any permits as necessary for the development of this project
40. Where survey monuments exist, such monuments shall be protected or shall be referenced and reset, pursuant to Business and Professions Code, Sections 8700 to 8805 (Land Surveyors Act).
41. Prior to any lane closure or detour, the Applicant shall submit a Construction Traffic Management Plan, for review and approval by the City Engineer. The plan shall include, but not limited to, signing, truck routes, and dirt hauling hours.

Mapping:

42. When changes to the approved Tentative Map are proposed, a Substantial Compliance Exhibit consisting of a vellum map, in the same scale of the Tentative Map, shall be submitted for review and approval of the City Engineer.
43. The applicant shall coordinate with affected utility companies and obtain any permits as necessary for the development of this project
44. Digitized drawing files of the Final Map, in a City's compatible CAD system, shall be submitted along with original mylar plans.
45. Easement(s) of record not shown on the tentative map shall be relinquished or relocated. Lots affected by proposed easements or easements of record, which cannot be relinquished or relocated, shall be redesigned.
46. Where survey monuments exist, such monuments shall be protected or shall be referenced and reset, pursuant to Business and Professions Code, Sections 8700 to 8805 (Land Surveyors Act).
47. Monuments shall be provided in accordance with City of Hemet Standard Specifications for Public Works Construction Standard M-900 and M-900A. In lieu of Standard M-901, street centerline monuments shall conform with Riverside County Surveyor's Office provided that cross-ties are set in top of curbs and tie sheets are filed with the City Engineer.
48. The applicant shall enter into a subdivision improvement agreement with the City, whereby the applicant agrees to construct the public improvements required as a condition of acceptance of the final or parcel map.

Streets:

49. Remove and replace the existing curb and gutter, as determined by the City Engineer to be necessary, in accordance with the City of Hemet Standard Specifications for Public Works Construction.
50. Remove and replace the existing A.C. paving to the centerline of Cawston Avenue.
51. Install match-in paving from the new curb and gutter to the existing pavement in accordance with the City of Hemet Standard Specifications for Public Works Construction.
52. Street structural sections shall be designed for a Traffic Index (TI) of 8.0. Preliminary soils investigations shall be used to determine an appropriate R-value and the pavement and the base thickness based on the established TI.
53. Install driveway approach in accordance with the City of Hemet Standard Specifications for Public Works Construction, Standards C-208, C-209, and C-210. In accordance with City of Hemet Resolution No. 1783, driveway widths and locations shall be approved by the City Engineer.
54. Install handicap ramp(s) in accordance with the City of Hemet Standard Specifications for Public Works Construction, Standard C-216A and Uniform Building Code Title 24.
55. All private streets must be constructed in accordance with City of Hemet Ordinance No. 634.
56. Install parkway type sidewalk in accordance with the City of Hemet Standard Specifications for Public Works Construction Standard C-215.
57. Install public street lights in accordance with the City of Hemet Standard Specifications for Public Works Construction, Standards G-805, G-808, and G-808A. The plans shall be designed by a registered electrical engineer.
58. Install stop signs, street name signs and red curb per instructions of the City Engineer.
59. All existing and proposed aerial utility lines shall be relocated and installed underground, in accordance with the City of Hemet Ordinance Bill 05-100, amending Section 82-172 of the Municipal Code.
60. Install street trees, 40-feet on-center, in accordance with the City of Hemet Approved Street Tree List. Install automatic irrigations system to trees.

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61. Digitized drawing files of all improvement plans, in a City's compatible CAD system, shall be submitted along with original mylar plans.
62. Existing City roads, which will require reconstruction, shall remain open for traffic at all times, with adequate detours, to the satisfaction of the City Engineer.
63. The applicant shall close any unused drive approach with standard concrete curb, gutter and sidewalk, and shall repair any damaged curb, gutter and sidewalk along the subject frontage prior to the issuance of a Certificate of Occupancy

Drainage:

64. The incremental increase in runoff between the developed and undeveloped property for the 100-year/3-hour storm must be retained on site.
65. Prior to the issuance of the Building Permit, the Applicant shall pay the Master Storm Drain Plan fee, at the currently adopted rate.
66. The HUD Flood Insurance Rate Map shows this project to be in Zone B (areas subject to 100-year flooding with average depths less than one foot). All building foundation pads within the development shall be elevated in accordance with City of Hemet Ordinance No. 754.
67. The Applicant shall adhere to all Federal Emergency Management Agency (FEMA) regulations and requirements in the event that existing drainage patterns are affected by this development. Prior to the issuance of a grading permit all necessary calculations shall be submitted to the City of Hemet and to any governing Federal agency for review and approval.
68. Prior to recording the Final Map, the Applicant shall submit to the City Engineer for review and approval, hydrology and hydraulic calculations within and immediately adjacent to the project site. Improvements proposed by the Applicant shall be taken into account when analyzing impacts to upstream, adjacent and downstream properties.
69. Adequate provisions shall be made to intercept and conduct the drainage flows within and from the site in a manner which will not adversely affect adjacent or downstream properties.
70. Construction of the detention basin shall include, but not limited to, the following improvements: decorative perimeter fencing, access gate, inlet and outlet structure with safety grate, sump to collect nuisance water, and discharge pump.

71. Cross-lot drainage and the designated drainage easements shall not be allowed. All pads shall be designed to drain to the streets. Storm water shall be collected in an appropriate storm drain system.
72. Effective January 1, 2006, all construction projects on one acre or more, in the San Jacinto Watershed, shall apply for coverage under the State General Permit for Storm Water Discharges Associated with Construction Activity (General Permit) Order No. 99-08-DWQ.
73. Prior to the issuance of a Grading Permit, the applicant shall submit to the City for review and approval, a project-specific Water Quality Management Plan (WQMP). This plan shall address Site Design BMPs, incorporate the applicable Source Control BMPs, incorporate Treatment Control BMPs, describe the long-term operation and maintenance requirements for BMPs needing long-term maintenance, and describe the mechanism for funding the long-term operation and maintenance of the BMPs.
74. Prior to the issuance of a Grading Permit, the applicant shall provide the City Engineer with proof of filing a Notice of Intent with the State Water Resources Control Board in Sacramento, obtain a WDID number from the Board, and have an approved WQMP from the City.
75. Prior to the issuance of a Grading Permit, the property owner shall record a "Covenant and Agreement" with the County Recorder, or other instrument acceptable to the City, to inform future property owners of the requirement to implement the approved project-specific WQMP
76. Install underground storm drain lines and appurtenances, in accordance with the City of Hemet Standard Specifications for Public Works Construction.
77. Drainage easement(s), as required by the City Engineer, shall be shown on the improvement plans or grading plans. Easement(s) shall be recorded by deed or as part of the Final Map.

Water:

78. Domestic water service will be provided by EMWD.

Sewer:

79. Domestic sewer service will be provided by EMWD.

Landscaping:

80. Prior to the issuance of a Grading Permit, a landscape plan shall be submitted to Engineering for review and approval.
81. Prior to the issuance of a Certificate of Occupancy, a Lighting and Landscaping Maintenance District (LLMD) shall be established.
82. Prior to the issuance of a Certificate of Occupancy or finalization of the Building Permit, submit landscape "as-built" in public areas, and RP principle backflow prevention certification(s) for all water service.

**BUILDING CONDITIONS**

The following conditions of approval are project specific and were recommended by the Building Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Building Department at (951) 765-2475.

Building Code Requirements

83. Smoke detectors shall be installed in accordance with California Building Code Section 1210.12.
84. As part of the plan check submittal, a detailed structural analysis, in compliance with Chapter 16 of the California Building Code for the building's intended use, shall be provided.
85. The electrical, plumbing and mechanical systems shall be in accordance with applicable adopted codes.

ADA Requirements:

86. Handicapped restrooms shall be installed in accordance with California Code of Regulations, Title 24/California Building Code, Section 1115(b).
87. Handicapped parking and signage shall be installed in compliance with applicable State and City codes, if off-street parking is provided.
88. For multiple-family projects, all entrances and exits shall be handicapped accessible per California Code of Regulations, Title 24.
89. For multiple-family projects, a handicapped accessible pedestrian access to the site shall be provided.

General:

90. Type V, 1-hour construction shall be required throughout.
91. For multiple family projects prior to the issuance of a building permit, Riverside County Environmental Health Department approval shall be obtained.

Security:

92. All exterior doors shall be constructed of solid wood core, minimum of 1 and 3/4-inch thick or of metal construction.
93. Doors utilizing a cylinder lock shall have a minimum five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of 1-inch.
94. All exterior sliding glass doors or windows shall be equipped with metal guide tracks at the top and bottom and shall be constructed so that the door or window cannot be lifted from the track when in the closed or locked position.

Model homes:

95. All entrances and exits shall be handicapped accessible per California Code of Regulations, Title 24.
96. A handicapped accessible pedestrian access to the site shall be provided.
97. Conversion of sales office and model home(s) into residential homes shall be required prior to sale of model home(s). Building permits for the conversions shall be required.

## FIRE PREVENTION CONDITIONS

The following conditions of approval are project specific and were recommended by the Fire Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Fire Department, FIRE PREVENTION DIVISION at (951) 765-2450.

***Unless specifically stated herein, these conditions shall not be construed to permit or allow deviation from any Federal or State laws nor any of the local codes and ordinances adopted by this jurisdiction. Please contact the Hemet Fire Department, Fire Prevention Division for any questions regarding compliance with the applicable codes or following conditions:***

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## AGENCY APPROVALS

98. Prior to the issuance of a building permit written proof shall be provided from the water purveyor that sufficient capacity is available for fire protection. The minimum required fire flow for this project is 1500 GPM @ 20psi residual pressure for a duration of 2 hours, per CFC Appendix III-A. Fire flow and flow duration for buildings without automatic fire protection and having an area in excess of 3,600 square feet shall not be less than specified in Table B105.1.
99. A Fire Protection Plan (FPP) shall be submitted by the applicant with approval by the Fire Chief for all new development within the Urban-Wildland Interface (UWI) areas. The FPP shall include mitigation measures consistent with the unique problems resulting from the location, topography, geology, flammable vegetation, and climate of the proposed site. The FPP shall address water supply access , building ignition and fire resistance, fire protection systems and equipment, defensible space and vegetation management. The FPP shall be consistent with the Interface Code, Municipal Code or other recognized standards 2010 cfc Chapter 47.

### General:

100. The final Conditions of Approval for this project shall be included in any site plan or construction plans submitted for permit issuance. Plans will not be approved without reference to these "conditions".
101. This project is subject to review and approval in accordance with the California Code of Regulations, Title 19 for Fire and Life Safety. This project may be subject to an annual inspection and permit from the Hemet Fire Department for this type of occupancy (use).

### Hydrants and Fire Protection Systems:

102. An approved water supply capable of supplying the required fire flow for fire protection shall be provided on site when any portion of the building or facility is in excess of 400 feet from an approved water supply on a public street, per 2010 CFC Section 508 The location of on-site hydrants and mains shall be approved by the Fire Marshall prior to permit issuance.
103. Prior to combustible construction commencing, install and/or upgrade, as required by the 2010 CFC street (off-site) fire hydrants pursuant to the City of Hemet Standard Specifications for Public Works Construction. Distance between fire hydrants shall not exceed 300 feet without approval from the Fire Marshal. Fire hydrants shall be located within 150 feet of Fire Department Connections (FDC) for Standpipes and Automatic fire sprinklers.

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104. Prior to combustible construction install, as required by the City of Hemet Fire Marshal, on-site fire hydrants pursuant to the City of Hemet Standard Specifications for Public Works Construction. Travel distance along the fire access route shall not exceed 300 ft. between hydrants without approval from the Fire Marshal. CFC Section 508
105. In accordance with the 2010 CFC Section 508, the water system (mains and hydrants) shall be tested and accepted by the Fire Marshal prior to the commencement of combustible construction. Hydrant markers (Blue Dots) shall be installed pursuant to the City of Hemet Standard Specifications for Public Works Construction.
106. In accordance with the 2010 CFC Section 903 as amended and Article II, Chapter 14 of the Hemet Municipal Code, automatic fire sprinklers shall be installed throughout all buildings 3,500 square feet or larger pursuant to NFPA Standards. Systems with 20 heads or more shall be monitored by a UL listed central station alarm system meeting NFPA 72 and City of Hemet requirements.
107. In accordance with the 2010 CFC Section 903 an automatic fire sprinkler system is required throughout all buildings with this occupancy type based on the user(s) proposed. Systems with 20 heads or more shall be monitored by a UL listed central station alarm system meeting NFTA 72 and City of Hemet requirements.
108. In accordance with the CFC Section 904 and CCR Title 19 alternative automatic fire extinguishing systems shall be installed and maintained pursuant to NFPA standards. Prior to installation (or modification) of a fire protection system, complete plans shall be submitted to the City of Hemet Fire Marshall to review and approval.
109. Portable fire extinguishers shall be installed and maintained in accordance with 2010 CFC Section 906 and Chapter 3, Title 19 CCR. The type and spacing shall be approved by the City of Hemet Fire Marshall prior to installation.
110. An approved manual automatic or (manual and automatic) fire alarm/monitoring system shall be installed and tested prior to final inspection in accordance with the 2010 CFC Section 907 and pursuant to NFPA standards. Automatic fire sprinkler systems with 20 heads or more shall be monitored by a UL listed central station meeting the standards of NFPA 72 and City of Hemet requirements.
111. All check valves, post indicator valves, fire department controls, and connections shall be located as required and approved by the Fire Marshal of the City of Hemet. If multiple buildings, each building shall have separate (approved) control valves. A separate permit will be required for all underground piping for fire protection systems.

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Fire Department Access:

112. Prior to delivery of combustible materials on site, provide and maintain a surfaced all weather access roadway 20-feet wide with a 13-foot 6-inch vertical clearance designed to support the imposed loads of fire apparatus in accordance with the 2010 CFC Section 503.1 (dirt or native soil does not meet minimum standard). Minimum turning radius for fire apparatus is 52 feet (outside) and 32 feet (inside). Fire access is required to within 150 ft of all portions of every building unless otherwise approved by the Fire Marshal.
113. In accordance with the 2010 CFC Section 503.2.5, approved turnarounds are required on any access road in excess of 150 feet in length, per City of Hemet Fire Department Standards.
114. Fire Departments access roads shall have an unobstructed minimum width of 26 feet where fire hydrants are located along the access roadway or as otherwise determined by the Fire Marshall in accordance with 2010 CFC Section 503.2.2.
115. On flag lots or other constrained areas where fire access does not meet approved standards or is otherwise restricted, automatic fire protection may be required. An automatic fire protection system shall be approved by the City of Hemet Fire Department and installed pursuant to NFPA Standards.
116. Provide secondary access/egress per 2010 CFC Section 503.1.2 as required by the Fire Department. No portion of any public or private street used for fire access shall exceed 12% grade without approval from the Fire Marshall. All cul-de-sacs shall conform to City Standards for length, width and turnaround radius.
117. Prior to the issuance of a Certificate of Occupancy, "No Parking - Fire Lane" signs, red curbing, street signs and other required marking shall be provided to the specifications of the of the City of Hemet Fire Marshal in accordance with the 2010 CFC Section 503.3 and California Vehicle Code Section 22500.1.
118. Prior to final inspection, addresses shall be provided on all new and existing buildings in accordance with the 2010 CFC Section 505
119. In accordance with the 2010 CFC Section 503, security gates if installed, shall be installed with approved automatic devices and/or key switches or Opti Com to allow Fire and Police Department access/egress pursuant to the City of Hemet Municipal Code and Fire Department Standards.
120. In accordance with the 2010 CFC Section 505 and Chapter 14, Article II, Section 10.301 of the Hemet Municipal Code, illuminated project directories shall be installed at all entrances pursuant to the City of Hemet Fire Department Standards.

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121. Install Knox key boxes and/or Knox locks for Fire and/or Police Department access in accordance to 2010 CFC Section 506 and the Hemet Municipal Code.
122. Modify driveway and on-site circulation in order to provide additional access for fire apparatus pursuant to 2010 CFC Section 503 (contact the Fire Marshal for specifics). Minimum turning radius for fire apparatus is 52 feet (outside) and 32 Feet (inside). Fire access turn-around areas must be clear from obstructions including outside storage, trash enclosures and parked vehicles.
123. A fence enclosure, if installed, shall lead to a safe dispersal area 50-feet from buildings or shall have gates which comply with 2010 CFC Section 1008 which lead to a public way.

Miscellaneous:

124. Interior finish, decorative materials and furnishings shall be in accordance with 2010 CFC Chapter 8 Classification and acceptance criteria of interior finishes shall comply with NFPA standards. Interior wall and ceiling finish shall not have a flame spread index greater than that specified in CFC Table 803.3
125. Model homes. An emergency exit shall be provided in trap fence (gate shall remain unlocked when sales office is open).
126. Portable fire extinguishers shall be installed in each model home and sales office. The type and spacing shall be set by the City of Hemet Fire Marshal in accordance with 2010 CFC Section 906
127. Prior to the issuance of a Certificate of Occupancy, an electronic version of the final tract map or site plan shall be submitted for fire suppression use. The scale shall be such that the site plan shall be clearly legible, showing all streets, the building footprints and addresses, fire hydrant locations, Knox box locations (if applicable), and access driveways. The format shall be compatible with the latest version of "AutoCAD" or equivalent.
128. No change in use or occupancy shall be made to any existing building or structure unless the means of egress system is made to comply with the requirements for the new use or occupancy in accordance with 2010 CFC Chapter 10
129. Fire safety during construction and demolition shall comply with 2010 CFC Chapter 14
130. Due to environmental issues and the inability to provide adequate fuel modification zones for fire protection all construction adjacent to wildland

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interface areas shall be ignition-resistant or fire rated construction in accordance with 2010 CFC Chapter 47 and be fully protected by an automatic fire sprinkler system pursuant to AFPA standards.

131. Access during construction. Access for fire fighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13'-6". Fire department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs. Access shall be provided to within 150 feet of combustible construction pursuant to 2010 CFC Chapter 14
132. Trash containers with an individual capacity of 1.5 cu. yds. or greater shall not be stored within 5 feet of combustible walls, openings, eaves, etc. unless protected by an approved means (automatic fire sprinkler system and/or an approved 4-hour fire separation).
133. An approved manual, automatic or (manual and automatic) fire alarm system is required for this occupancy in accordance to the 2010 CFC Section 907 and pursuant to NFPA standards. The Fire alarm system plans shall be submitted and approved prior to installation.

END

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City of Hemet - Conditions of Approval   
EXTENSION OF TIME NO. 11-003 for  
SITE DEVELOPMENT REVIEW NO. 06-017 – Los Olivos

**Attachment  
No. 2  
Staff Report and  
Project Analysis  
dated Nov 7, 2006**

**Planning Commission  
Meeting of  
March 20, 2012**



## *Staff Report*

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TO: City of Hemet Planning Commission

FROM: Richard A. Masyczek, Planning Director  
Bernard L. Chase, Associate Planner

DATE: November 7, 2006

RE: **TENTATIVE TRACT MAP NO. 34712 (MAP 06-005) & SITE DEVELOPMENT REVIEW NO. 06-17 (LOS OLIVOS)** - A request for Planning Commission review and approval of a Categorical Exemption from the California Environment Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, and review and approval of a tentative tract map for 40 residential condominium units within a one-lot subdivision.

### **PROJECT APPLICANT INFORMATION**

Applicant/Owner: Temecula Creek Estates, LLC  
Authorized Agent: Matthew Fagan Consulting Services  
Project Location: East side of Cawston Avenue, approximately 700 feet south of Stetson Avenue  
Lot Area: 2.5 Acres

### **STAFF RECOMMENDATION**

The Planning Department recommends that the Planning Commission:

1. Adopt the attached Planning Commission Resolution Bill No. 06-43 (Attachment No. 1), entitled:

**“A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA APPROVING A CATEGORICAL EXEMPTION AND TENTATIVE TRACT MAP NO. 34712 (MAP 06-005) PERTAINING TO PROPERTY LOCATED ON THE EAST SIDE OF CAWSTON AVENUE SOUTH OF STETSON STREET (APN 460-242-037)”**

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City of Hemet - Planning Department   
Planning Commission Meeting of November 7, 2006

2. Adopt the attached Planning Commission Resolution Bill No. 06-44 (Attachment No. 2), entitled:

**“A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA APPROVING SITE DEVELOPMENT REVIEW NO. 06-017 CONSISTING OF THE SITE DEVELOPMENT PLANS FOR 40 MULTIPLE-FAMILY RESIDENCES AND APPURTENANT LANDSCAPING AND IMPROVEMENTS WITHIN TENTATIVE TRACT MAP 34712 LOCATED ON THE EAST SIDE OF CAWSTON AVENUE SOUTH OF STETSON STREET (APN 460-242-037)”**

### **PROJECT DESCRIPTION AND BACKGROUND**

The applicant is requesting approval of **TENTATIVE TRACT MAP NO. 34712 (MAP 06-005)** and **SITE DEVELOPMENT REVIEW NO. 06-017** for development of 40 multiple-family condominium residences within the Page Ranch Planned Community Development. The subdivision will create a one-lot condominium subdivision with 40 units on a 2.5-acre parcel. Within this portion of Page Ranch, multiple-family units are specifically allowed without regard to size as long as a site plan is approved, while in other areas of the City, the minimum project size is three acres and a conditional use permit is required. The site development review is for the proposed structures and site improvements. A rental apartment project could be built without a subdivision, and once the subdivision is approved, a proponent could submit an application for a revised design. Consequently, the attached resolutions and conditions vary slightly, and pertain to the individual applications.

The design concept for the proposed buildings, on-site improvements, and landscaping is for a site that is bisected by a central driveway that ends in a cul-de-sac near the rear of the site. Perpendicular to the driveway are four rows of townhomes on either side of the driveway. The rows closest to the Cawston Avenue frontage have four townhomes each, and the rows closest to the rear property line have six townhomes each. The other rows have five townhomes each. The townhome units are two stories in height on each end, and three stories in the middle. Each townhome has a ground-floor garage facing an alley. All of the garages have two spaces, but one type of garage has a tandem arrangement along with a detached carport. A separate pool and recreation area is allowed near the center of the project. A series of landscaped pedestrian areas run along the fronts of the townhomes, including the street and rear setback areas, and along the side setback areas. Along the north side, the project has been conditioned to provide a combination of view fencing and shrubbery to provide screening without placing a tall wall atop a retaining wall. Due to grading and existing off-site improvements, this is not an issue on the east or south sides. Enhanced landscaping and fixed shutters are proposed and mandated by conditions so that privacy is ensured for adjoining residences to the east. The architecture could be described as Spanish classical.

## **OUTSTANDING ISSUES**

There are no outstanding issues relative to this project.

The recommended conditions of approval were reviewed with the applicant as part of the Development Review Committee process and the applicant has voiced general agreement with all of the recommended conditions. Subdivision conditions are included as Attachment 1 Exhibit 1B, and site development review conditions are included as Attachment 2 Exhibit 2B. The conditions vary slightly so that the subdivision conditions reference what must be accomplished as part of a site development review, while the site development review conditions are more specific and were produced as part of the DRC process.

## **RESOLVED ISSUES**

The following issues were discussed during the DRC review of the project and were satisfactorily resolved.

### **Resolved Issue: Ensuring privacy for adjoining single-family residences**

Staff was concerned that single-family residences adjoining the east side of the project would lose privacy due to the project's second- and third-story windows looking over the rear yards of the residences. In response, the applicant revised the design to include densely planted trees with larger initial sizes along the east property line, and to include shutters on third-story windows that would have fixed louvers to obscure views down into the rear yards. The louvers will allow horizon views towards mountains, and fresh air. An approval condition is to retain the shutters.

### **Resolved Issue: Landscape Architecture, and Fence and Wall Design**

Due to grading, the site will have a higher elevation than the adjoining vacant commercial parcel on the north. Site fencing and walls are required by zoning requirements and suggested by design guidelines. A typical solution is to construct a retaining wall, with a solid six-foot wall atop the retaining wall. To avoid this tall wall, the applicant revised the design to include a view fence atop the retaining wall. Because this is a small project, staff believed that it would be unlikely that a future homeowners association would have the wherewithal to replace the view fence with a wall when the commercial property might be developed in the future, and asked that thick landscape screening be provided. At the request of the applicant, a condition was included that the landscape plan be later revised to the satisfaction of the Planning Director rather than change the landscape plans at this time.

### **CEQA REVIEW**

The project is exempt from CEQA under CEQA Guidelines Section 15332 in that the staff report submitted by the Planning Department and other findings made in this Resolution demonstrate that: Tentative Tract Map No. 34712 is consistent with the R II (Residential) General Plan designation and all applicable General Plan policies as well as with the Page Ranch Specific Plan and the applicable zoning designation; Tentative Tract Map No. 34712 is located within the boundaries of the City of Hemet; the area within Tentative Tract Map No. 34712 comprises less than five acres and has no value as habitat for endangered, rare or threatened species; there is no substantial evidence in the record that Tentative Tract Map No. 34712 will result in significant effects related to traffic, noise, air quality or water quality; and the site is or can be adequately served by all required utilities and public services. As such, the project meets the criteria for application of a Class 32 (In-fill Development) Categorical Exemption under the CEQA Guidelines.

### **POLICIES, REQUIREMENTS AND GUIDELINES REVIEW**

The proposed project's Development Plans (Attachments No. 1 - Exhibit 1A and No. 2 – Exhibit 2A) were reviewed by the Design Review Committee (DRC) for consistency with the City's applicable policies, requirements and guidelines. Subsequently, the DRC has recommended that the project, subject to the recommended conditions of approval, be found consistent with the City's General Plan, Zoning Ordinance and other development requirements and guidelines. The complete analysis of this project for consistency with the City's policies, requirements and guidelines is included in the Project Analysis which is included and made a part of this report as Attachment No. 3.

### **PUBLIC COMMUNICATIONS RECEIVED**

The Planning Department has not received any letters of comment from the public. Any comments received prior to the time of the scheduled Planning Commission meeting will be provided to the Commission at the time of the meeting.

### **REPORT SUMMARY**

Tentative Tract Map No. 34712 and Site Development Review No. 06-017 pertains to the condominium subdivision and design of 40 townhome units in eight buildings on a 2.5 acre parcel in Page Ranch. As a planned community, Page Ranch has specific regulations that are supplemented by the zoning ordinance.

For the reasons stated above and in the attached Project Analysis, the Planning Department believes that the project can be found exempt for CEQA as an in-fill development project.

The design proposed by SDR 06-017 conforms to and is consistent with development standards and guidelines provided by the Page Ranch Master Plan and Development Standards, the Zoning Ordinance, and the Multiple-Family Residential Design Guidelines. For these reasons, and as more fully discussed in the Staff Report and accompanying attachments, the Planning Department recommends approval of the project. The Planning Commission's actions are final unless appealed to the City Council within ten working days.

Respectfully submitted,

Reviewed By:

Bernard Chase  
Associate Planner

David Sawyer  
Principal Planner

BC

### **ATTACHMENTS**

- 1) Planning Commission Resolution for TTM 34712 (MAP 06-005)
  - Exhibit 1A - Development Plan
  - Exhibit 1B - Conditions of Approval
- 2) Planning Commission Resolution for SDR 06-017
  - Exhibit 2A - Development Plan
  - Exhibit 2B - Conditions of Approval
- 3) Project Analysis
  - Exhibit 3A - Photographs of Site
  - Exhibit 3B - Adjacent Zoning Map
  - Exhibit 3C - Neighborhood Context Worksheet
  - Exhibit 3D - Surrounding Area Map
  - Exhibit 3E - Final Development Review Committee Meeting Minutes and Sign-Off Sheet

### **INCORPORATED HEREIN BY REFERENCE**

City of Hemet General Plan  
City of Hemet General Plan EIR  
City of Hemet Zoning Ordinance  
Page Ranch Planned Community PCP 79-93 Master Plan and Development Standards  
City of Hemet Subdivision Ordinance  
City Of Hemet Multiple-Family Residential Design Guidelines

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City of Hemet - Planning Department   
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Project Site's Riverside County Integrated Plan Multi-Species Habitat Conservation Plan  
Summary Report  
Contents of City of Hemet Planning Department Project File(s) TTM 34712, SDR 06-017



## *Project Analysis*

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PROJECT NAME: Los Olivos Condominiums

FILE NUMBER(S): Tentative Tract May No. 34712 (MAP 06-005) / Site Development Review No. 06-17

DESCRIPTION: Condominium subdivision of a 2.5-acre parcel into 40 residential units and common area on one lot, and design review of eight buildings each containing either four or six townhome units with three different floor plans, located on the east side of Cawston Avenue, between Stetson and Thornton Avenues, approximately 700 feet south of Stetson Avenue

### Project Setting

The site consists of a 2.5-acre vacant parcel located on the east side of Cawston Avenue. The site is approximately 283 feet wide, and 384 feet deep. The topography is flat with slight mounds and depressions that appear to have resulted from minor borrowing or stockpiling of material. There are no trees on the site.

To the north of the project site, is a vacant parcel that is approximately 50 feet wide. That property is zoned commercial, conforming to the C-2 requirements. The Adelpia cable television property construction / equipment yard. Is adjacent to the vacant lot. Further to the north are several Adelpia properties, and a former cemetery for which there is a proposal for retail commercial development.

To the east of the project site is a single-family residential neighborhood with rear yards backing onto the common property line. The four adjoining residences are one- and two-story buildings, on lots with nominal depths of 100 feet. Because of a street knuckle, several appear to have depths of less than 90 feet. The rear yards of these homes are relatively shallow, and the proposed condominium project was designed to include buffering.

To the south of the project site is an apartment complex on another 2.5-acre site. Further to the south is a second apartment complex on another 2.5-acre site. To the west of the project site, across Cawston Avenue is a large recreational vehicle resort park. To the north of the RV park, and northwest of the project site, across Cawston Avenue is a vacant property that is zoned commercial. Further to the northwest is the Hemet Ryan Airport, approximately one-half mile distant. The proposed project site is approximately perpendicular to the east portion of the airport. Based on the 1992 Hemet Ryan Land Airport Comprehensive Airport Land Use Plan, the project site is outside the transition zones associated with the runway and with approach and

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departure paths to and from the ends of runways.

The project setting can also be seen in materials attached to the November 7, 2006 Staff Report:

- Aerial Map and Photographs of Site (Exhibit A)
- Adjacent Zoning Map (Exhibit B)
- Neighborhood Context Worksheet (Exhibit C)
- Surrounding Area Map (Exhibit D)

Parks and schools are located in the general vicinity. Brubaker Park is located at Cawston and Harrison Avenues, about one-half mile south of the project site. Harmony Elementary School is located on Cawston Avenue, about one-fourth of a mile south of the project site. West Valley High School is located about one-half mile to the southeast of the project site. The closest commercial zone is the Page Plaza shopping center, about one-half mile east of the project site, although Stetson Avenue also has commercial zoning.

	LAND USE	ZONING	GENERAL PLAN
PROJECT SITE	Vacant	PCD 79-93 Page Ranch Planned Community High- Medium Density Residential (HM R)	R II
NORTH	Vacant and Utility Yard	PCD 79-93 Commercial	Commercial
SOUTH	Apartments	PCD 79-93 (HM-R)	R II
EAST	Single-Family Res'l.	PCD 79-93 (HM-R)	R II
WEST	Rec. Vehicle Resort	PCD 79-93 (HM-R)	R II

General Plan Consistency

The proposed project is in conformance with the General Plan for the City of Hemet. The land use designation for the project site is R II (7-17 dwelling units per acre). The proposed dwelling unit mix is compatible with the residential goals and policies of the General Plan. The proposed project will have a density of 16 units per acre which is consistent with the overall residential density goals of the General Plan. The proposed multiple-family residential development is consistent with the concept of utilizing multiple-family development as a transition between commercial uses along Stetson Avenue, about 700 feet to the north, and to single-family developments further to the south of the site, as provided in the Southwest Hemet Area Plan in the Community Development Element of the General Plan.

The proposed development is also consistent with the Community Development Community Character and Design Concept of eliminating conflicts between adjacent uses and providing clear buffers between the project site and the adjoining single-family residential area, as provided in the Community Vision Element of the General Plan, by designing the subdivision to provide landscape buffer areas, and to meet requirements of a Site Development Review to ensure compatibility relating to the design of the site layout, building architecture, and landscaping.

Zoning Consistency

The project is located within and subject to the Page Ranch Planned Community Development Standards for the High-Medium Density Residential Regulations (1.4). Where those regulations are silent, the site is then subject to R-3 multiple-family zone development standards. In the table below, the applicable regulatory document is referenced, along with the requirement and what is provided by the proposed development.

DEVELOPMENT STANDARDS	REQUIRED <sup>1</sup> Page Ranch PCD <sup>2</sup> Zoning Ordinance	PROVIDED
Front Setback	25 Feet <sup>2</sup>	25 Feet
Side Setback	5 Feet for each Story <sup>2</sup>	10 Feet (2-Story portion)
Street Side Setback	Not Applicable	Not Applicable
Rear Setback	5 Feet + 20 Feet <sup>1</sup>	25 Feet
Building Height	50 Feet <sup>1</sup>	Three Stories, 34.5 Feet
Parking/Circulation	Two-Car Garage or Carport <sup>2</sup>	Two-Car Garage or Carport

In conclusion, the proposed project complies with City requirements, and Zoning Code and Page Ranch requirements for the multiple-family residential developments relating to setbacks, building height, walls, landscaping, and underground utilities. The project proposes multiple-family residences in a High-Medium Density residential area, and the proposed structures meet or exceed the minimum setbacks from property lines, and are well below the maximum height.

The proposed project also complies with Zoning Code requirements relating to Site Development Review. Condition of Approval 13 for Tentative Tract Map (TTM) No. 34712 requires that a Site Development Review satisfy each of the findings under the Hemet Municipal Code Section 90-1455. Findings can be made as follows:

1. The project complies with all provisions of Article XLI (Site Development Plan Review) of the Hemet Zoning Code. The proposed residential development is consistent with Article XLI in that the application is being reviewed and approved as required by this section and the Conditions of Approval for Tentative Tract Map No. 34712. As provided by the Conditions of Approval, the proposed residential development is consistent with the Multiple-Family Residential Design Guidelines as adopted on August 27, 2002 by City Council Resolution No. 33677, and as discussed in the Project Analysis which is attached to the Staff Report dated November 7, 2006.
2. The following are so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, so that there will be no adverse effect on surrounding property:
  - a. Buildings, structures and improvements: The proposed site layout consists of a central access driveway that serves the proposed residential buildings. The driveway entrance on the east side of Cawston Avenue is located so that it is approximately equidistant from current or potential driveways for adjoining properties, provides adequate line-of-sight for traffic entering Cawston Avenue, and provides queuing and turn-around space for traffic entering the site. On-site pedestrian access ways are provided along the central driveway and the sides of the project. Thus there will be no adverse effect on surrounding property related to traffic congestion or safety related to the placement of buildings, structures, or improvements.
  - b. Vehicular ingress and internal circulation: The proposed development will be gated and an access gate will be provided on Cawston Avenue. This gate is designed to allow an inbound vehicle stacking and turn-around area, with adequate lines of sight to Cawston Avenue. The on-site access drive includes sidewalks, and a series of pedestrian paseos that provide access to the fronts of units that connect and provide protected pedestrian access leading to the main Recreation Center. Therefore, there will be no adverse traffic and safety effect on surrounding property.
  - c. Setbacks: The project has been designed to be consistent with required setbacks provided in the Development Standards for Multiple Family Residences within the Page Ranch Planned Community Development, the Zoning Ordinance, and the Uniform Building Code. Therefore, there will be no adverse impact on surrounding property.
  - d. Height of buildings: The building height in the Multiple-Family Residential area in the Page Ranch Community Development Standards is restricted to a maximum of 50 feet. The maximum proposed height of the proposed model plans is 34.5 feet,

so there will be no adverse impact on surrounding property.

- e. Service areas: Trash enclosures are provided at the ends of alleys, accessible to users and servicers. Therefore, there is no reasonable expectation that there will be any adverse impact on surrounding property.
  - f. Walls: The applicant is proposing to use a combination of wall and fence types, and landscaping to provide reasonable screening around the project perimeter. Therefore, there will be no adverse impact on surrounding property.
  - g. Landscaping: Landscaping will be provided along the access drive and in the pedestrian and setback areas, and consistent with the Multiple-Family Residential Design Guidelines. Therefore, there will be no adverse impact on surrounding property. Additional landscaping will be provided along the north property line to provide screening without the use of perimeter walls atop retaining walls. Additional trees will be provided along the east property line to provide screening between the proposed project and adjoining residences.
3. Underground Utilities: All utilities will be underground in compliance with City standards and the development plans and conditions of approval.
  4. Proposed lighting is located as to reflect the light away from adjoining properties. Proposed lighting will include low-intensity lights along driveway and pedestrian areas, which will be hooded and directed to minimize light spillage into the adjacent properties as a condition of approval.
  5. Proposed signs will not, by size, location, color or lighting, interfere with traffic or limit visibility. Entry monumentation signage for this residential development will consist of entry features designed as part of the front fencing near the project entrance, and will not interfere with or limit traffic visibility.
  6. All applicable public easements and rights-of-way have been dedicated with previous subdivisions.

#### Design Guidelines Consistency

The proposed project is consistent with the Multiple-Family Residential Design Guidelines in that the project proposes a dominant entry statement that provides an open view into the development, a transition between the street and the project interior, an enhancement of the image of the existing development, features including hardscaping, landscaping, decorative paving, and monument signage, clustered buildings with varied and articulated planes connected by pedestrian walkways, separated pedestrian and vehicular access paths, alley-loaded garages that do not face public streets, provision of a community swimming pool area that is centrally

located but sheltered from public view, and landscaping and architectural enhancements in excess of that called out in the Guidelines.

Subdivision Ordinance Consistency

The project is consistent with provisions outlined in Hemet Municipal Code Section 70-1 and following (Subdivision Ordinance), which is supplemental to the California Subdivision Map Act (SMA). The proposed residential condominium subdivision of 40 units on one lot has been prepared, reviewed, and acted upon in conformance with Sections 70-131 through 70-134, and 70-1, with appropriate conditions in conformance with other sections of that Chapter. Findings pursuant to the SMA can be made as follows:

1. Tentative Tract Map No. 34712 is consistent and compatible with the objectives, policies, general land uses, and programs specified in the City's General Plan in that:

The proposed subdivision is in conformance with the General Plan for the City of Hemet. The land use designation for the project site is R II (7-17 dwelling units per acre). The proposed dwelling unit mix is compatible with the residential goals and policies of the General Plan. The proposed project will have a density of 16 units per acre which is consistent with the overall residential density goals of the General Plan. The proposed multiple-family residential development is consistent with the concept of utilizing multiple-family development as a transition between commercial uses along Stetson Avenue, about 700 feet to the north, and to single-family developments further to the south of the site, as provided in the Southwest Hemet Area Plan in the Community Development Element of the General Plan.

The proposed subdivision is also consistent with the provisions of the Page Ranch Planned Community Development Master Plan because the project proposes a multiple-family residential development at a rate of 16 units per acre in the Planning Area II-A designated as 1.4 High-Medium Density Residential at a density not exceeding 18 units per acre.

2. The design and improvement of the subdivision proposed under Tentative Tract Map No. 34712 is consistent with the City's General Plan in that:

The proposed development is consistent with the Community Development Community Character and Design Concept of eliminating conflicts between adjacent uses and providing clear buffers between the project site and the adjoining single-family residential area, as provided in the Community Vision Element of the General Plan, by designing the subdivision to provide landscape buffer areas, and to meet requirements of a Site Development Review to ensure compatibility relating to the design of the site layout, building architecture, and landscaping.

3. The site is physically suitable for the type of development proposed under Tentative Tract Map No. 34712, in that:

The site is physically suitable for the proposed development of multiple-family residential development in that the site topography is generally flat, and that the squarish shape of the site allows for an orderly pattern of locating buildings, driveways, parking, landscape areas, drainage, and utilities. No major geological hazards have been reported on the site, nor other limited conditions that would render it unsuitable for multiple-family residential development.

4. The site is physically suitable for the density of development proposed under Tentative Tract Map No. 34712, in that:

The site is generally square in shape and flat, and consists of approximately 2.5 acres. The subdivision has been designed to accommodate the development of 40 multiple-family residential dwelling units in eight buildings considering the shape and topography of the site. The project as proposed has a density of 16 units per acre. According to the density ranges provided in the Land Use Element of the City's General Plan for the R II Residential land use designation permitting densities up to 17 dwelling units per acre, the proposed project density of 16 is appropriate for a site of this size and shape.

5. The design of the subdivision and improvements proposed under Tentative Tract Map No. 34712, is not likely to cause substantial environmental damage or substantially and avoidable injure fish or wildlife or their habitat in that:

The project site consists of highly disturbed agricultural fields and pastures with farmstead structures. A biological assessment was conducted, and the conclusion was that there are no sensitive plant or animal species on the site, that the site has little or no potential to support sensitive fauna, and that fauna which might be supported is not present. This determination is based on the project Initial Study. In addition, this project has been conditioned to comply with the environmental policies and regulations of the City of Hemet and those of all local and regional governmental agencies having jurisdiction over the site.

6. The design of the subdivision and improvements proposed under Tentative Tract Map No. 34712, is not likely to cause serious public health problems in that:

The design of the subdivision is in conformance with the City's General Plan, Zoning Ordinance, Specific Plan, and Subdivision Ordinance. The construction of all units on the site has been conditioned to comply with all applicable City of Hemet ordinances, codes, and standards, including, but not limited to, the California Uniform Building Code and the City's Ordinances relating to stormwater run-off management and controls. In addition,

the design and construction of all improvements for the subdivision has been conditioned to be in conformance with adopted City standards and ordinances. The City's ordinances, codes and standards have been created based on currently accepted standards and practices for the preservation of public health, safety and welfare. Finally, the proposed street system throughout the subdivision will facilitate emergency vehicular access in the project.

7. The design of the subdivision and improvements proposed under Tentative Tract Map No. 34712, will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision in that:

There is no indication of easements of record or easements established by judgment of a court of competent jurisdiction for public access across the site that have not been accommodated by the design of the subdivision, and the City does not otherwise have any constructive or actual knowledge of any such easements.

8. The design of the subdivision proposed Tentative Tract Map No. 34712 adequately provides for future passive or natural heating and cooling opportunities in the subdivision in that:

Taking into consideration local climate and the existing contour and configuration of the site and its surroundings, the size and configuration of units in buildings within the proposed subdivision have been arranged, to the greatest extent feasible, to take advantage prevailing breezes and to orient buildings and landscaping to provide shade.

#### Transportation Uniform Mitigation Fee (TUMF)

Pursuant to Chapter 31, Section 31-16 (8) of the Hemet Municipal Code, only development proposals for which discretionary approval had been given prior to February 12, 2004, are exempt from provisions of the MSHCP Fee Ordinance. Therefore, pursuant to Hemet Municipal Code Section 31.7, this project is subject to the payment of MSHCP fees. The fees are paid in full at the time of issuance of a certificate of occupancy or request for final inspection, whichever occurs first.

#### Multi-Species Habitat Conservation Plan (MSHCP)

The project can be found to be consistent with the MSHCP. The project is located outside of any MSHCP criteria area, studies have determined that there is no potential to have negative impacts on specific habitat, and general mitigation is provided through payment of the MSHCP Mitigation Fee.

### Airport Land Use Compatibility

The Airport Compatibility Analysis dated February 23, 2006 concluded that the project is within Zone 6 of the California Airport Land Use Planning Handbook's Compatibility Zones, and complies with the qualities specified for those zones. An Avigation Easement will be required as a condition of approval.

### Development Review Committee (DRC) Recommendation

On September 11, 2006, the project was reviewed for design and conditions. Staff from the various City departments provided conditions as appropriate. The Final DRC Meeting Minutes are provided as Exhibit 3E.

### CEQA Review

The project is exempt from CEQA under CEQA Guidelines Section 15332 in that the staff report submitted by the Planning Department and other findings made in this Resolution demonstrate that: Tentative Tract Map No. 34712 is consistent with the R II (Residential) General Plan designation and all applicable General Plan policies as well as with the Page Ranch Specific Plan and the applicable zoning designation; Tentative Tract Map No. 34712 is located within the boundaries of the City of Hemet; the area within Tentative Tract Map No. 34712 comprises less than five acres and has no value as habitat for endangered, rare or threatened species; there is no substantial evidence in the record that Tentative Tract Map No. 34712 will result in significant effects related to traffic, noise, air quality or water quality; and the site is or can be adequately served by all required utilities and public services. As such, the project meets the criteria for application of a Class 32 (In-fill Development) Categorical Exemption under the CEQA Guidelines.

### EXHIBITS

- Exhibit 3A - Photographs of Site
- Exhibit 3B - Adjacent Zoning Map
- Exhibit 3C - Neighborhood Context Worksheet
- Exhibit 3D - Surrounding Area Map
- Exhibit 3E - Final Development Review Committee Meeting Minutes and Sign-Off Sheet

**Attachment**

**No. 3**

**Resolution No. 06-42**

**Dated Nov 7, 2006**

**Planning Commission**

**Meeting of**

**March 20, 2012**

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**PLANNING COMMISSION  
RESOLUTION NO. 06-42**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF HEMET, CALIFORNIA APPROVING SITE  
DEVELOPMENT REVIEW NO. 06-017 CONSISTING OF THE  
SITE DEVELOPMENT PLANS FOR 40 MULTIPLE-FAMILY  
RESIDENCES AND APPURTENANT LANDSCAPING AND  
IMPROVEMENTS WITHIN TENTATIVE TRACT MAP 34712  
LOCATED ON THE EAST SIDE OF CAWSTON AVENUE  
SOUTH OF STETSON STREET (APN 460-242-037)**

**WHEREAS**, an application for Site Development Review No. 06-017 has been duly  
filed by:

Applicant/owner: Temecula Creek Estates, LLC  
Authorized Agent: Matthew Fagan Consulting Services  
Project Location: East side of Cawston Avenue, approximately 700 feet  
south of Stetson Avenue  
Lot Area: 2.5 Acres; and,

**WHEREAS**, the project site is located within the Page Ranch Planned Community  
High-Medium Density Residential area, and is subject to the Page Ranch Master Plan and  
Development Standards; and

**WHEREAS**, approved land uses for the Page Ranch Planned Community are  
maintained pursuant to concepts within the Southwest Hemet Area Plan within the  
Community Development Element of the General Plan; and

**WHEREAS**, multiple-family residences are permitted uses subject to site plan  
approval within the Page Ranch Planned Community High-Medium Density Residential  
area pursuant to Section V.A.4.c of the Page Ranch Master Plan and Development  
Standards, and accomplished through the Site Development Review process pursuant to  
Hemet Municipal Code Section 90-1451; and

**WHEREAS**, the Planning Commission is authorized to review and approve,  
conditionally approve or deny Site Development Review No. 06-017 pursuant to Hemet  
Municipal Code Section 90-1455; and,

**WHEREAS**, the applicant is requesting approval of Site Development Review No.  
06-017 for the site development plans for 40 multiple-family residences and appurtenant

1 landscaping and improvements in compliance with Hemet Municipal Code Section 90-  
2 1455, and in conjunction with approval for Tentative Tract Map No. 34712; and,

3  
4 **WHEREAS**, the Planning Commission concurrently approved a Categorical  
5 Exemption for Tentative Tract Map No. 34712 on November 7, 2006; and,

6  
7 **WHEREAS**, on October 27, 2006 the City gave public notice by posting notice in  
8 three locations of the holding of a public meeting at which the project would be considered;  
9 and,

10  
11 **WHEREAS**, on November 7, 2006 the Planning Commission held the noticed public  
12 meeting at which interested persons had an opportunity to testify in support of, or  
13 opposition to the proposed Site Development Review; and,

14  
15 **WHEREAS**, the Planning commission of the City of Hemet has considered oral and  
16 written comments, pro and con, as presented by the Planning Department, the applicant,  
17 and other interested parties at a public meeting held on November 7, 2006.

18  
19 **NOW THEREFORE**, the Planning Commission of the City of Hemet does hereby  
20 find, determine and resolve as follows:

21  
22 **SECTION 1. SITE DEVELOPMENT REVIEW FINDINGS**

23  
24 In light of the record before it, including the staff report dated November 7, 2006, and all  
25 evidence and testimony heard at the public meeting of this item, the Planning Commission  
26 hereby finds as follows:

27  
28 A. Condition of Approval No. 13 for Tentative Tract Map No. 34712 requires that the  
29 Site Development Review satisfy each of the findings under the Hemet Municipal  
30 Code Section 90-1455. The Planning Commission hereby finds and determines  
31 that each of these requirements is satisfied as follows:

- 32  
33 1. The project complies with all provisions of Article XLI (Site Development Plan  
34 Review) of the Hemet Zoning Code.

35  
36 The proposed residential development is consistent with Article XLI in that  
37 the application is being reviewed and approved as required by this section  
38 and the Conditions of Approval for Tentative Tract Map No. 34712. As  
39 provided by the Conditions of Approval, the proposed residential  
40 development is consistent with the Multiple-Family Residential Design  
41 Guidelines as adopted on August 27, 2002 by City Council Resolution No.  
42 33677, and as discussed in the Project Analysis which is attached to the  
43 Staff Report dated November 7, 2006.  
44

1 2. The following are so arranged that traffic congestion is avoided and  
2 pedestrian and vehicular safety and welfare are protected, so that there will  
3 be no adverse effect on surrounding property:  
4

5 a. Buildings, structures and improvements.  
6

7 The proposed site layout consists of a central access driveway that  
8 serves the proposed residential buildings. The driveway entrance on  
9 the east side of Cawston Avenue is located so that it is approximately  
10 equidistant from current or potential driveways for adjoining  
11 properties, provides adequate line-of-sight for traffic entering Cawston  
12 Avenue, and provides queuing and turn-around space for traffic  
13 entering the site. On-site pedestrian access ways are provided along  
14 the central driveway and the sides of the project. Thus there will be  
15 no adverse effect on surrounding property related to traffic congestion  
16 or safety related to the placement of buildings, structures, or  
17 improvements.  
18

19 b. Vehicular ingress and internal circulation.  
20

21 The proposed development will be gated and an access gate will be  
22 provided on Cawston Avenue. This gate is designed to allow an  
23 inbound vehicle stacking and turn-around area, with adequate lines  
24 of sight to Cawston Avenue. The on-site access drive includes  
25 sidewalks, and a series of pedestrian paseos that provide access to  
26 the fronts of units that connect and provide protected pedestrian  
27 access leading to the main Recreation Center. Therefore, there will  
28 be no adverse traffic and safety effect on surrounding property.  
29

30 c. Setbacks.  
31

32 The project has been designed to be consistent with required  
33 setbacks provided in the Development Standards for Multiple Family  
34 Residences within the Page Ranch Planned Community  
35 Development, the Zoning Ordinance, and the Uniform Building Code.  
36 Therefore, there will be no adverse impact on surrounding property.  
37

38 d. Height of buildings.  
39

40 The building height in the Multiple-Family Residential area in the Page  
41 Ranch Community Development Standards is restricted to a  
42 maximum of 50 feet. The maximum proposed height of the proposed  
43  
44

1 model plans is 34.5 feet, so there will be no adverse impact on  
2 surrounding property.

3  
4 e. Service areas.

5  
6 Trash enclosures are provided at the ends of alleys, accessible to  
7 users and servicers. Therefore, there is no reasonable expectation  
8 that there will be any adverse impact on surrounding property.

9  
10 f. Walls.

11  
12 The applicant is proposing to use a combination of wall and fence  
13 types, and landscaping to provide reasonable screening around the  
14 project perimeter. Therefore, there will be no adverse impact on  
15 surrounding property.

16  
17 g. Landscaping.

18  
19 Landscaping will be provided along the access drive and in the  
20 pedestrian and setback areas, and consistent with the Multiple-Family  
21 Residential Design Guidelines. Therefore, there will be no adverse  
22 impact on surrounding property. Additional landscaping will be  
23 provided along the north property line to provide screening without the  
24 use of perimeter walls atop retaining walls. Additional trees will be  
25 provided along the east property line to provide screening between  
26 the proposed project and adjoining residences.

27  
28 3. Underground Utilities.

29  
30 All utilities will be underground in compliance with City standards and the  
31 development plans and conditions of approval.

32  
33 4. Proposed lighting is located as to reflect the light away from adjoining  
34 properties.

35  
36 Proposed lighting will include low-intensity lights along driveway and  
37 pedestrian areas, which will be hooded and directed to minimize light spillage  
38 into the adjacent properties as a condition of approval.

39  
40 5. Proposed signs will not, by size, location, color or lighting, interfere with  
41 traffic or limit visibility.

1 Entry monumentation signage for this residential development will consist  
2 of entry features designed as part of the front fencing near the project  
3 entrance, and will not interfere with or limit traffic visibility.  
4

- 5 6. All applicable public easements and rights-of-way have been dedicated or  
6 offered for dedication.  
7

8 All applicable public easements and rights-of-way have been dedicated with  
9 previous subdivisions.  
10

- 11 B. Condition of Approval No. 13 for Tentative Tract Map No.34712 requires the Site  
12 Development Review to comply with the City of Hemet Multiple-Family Residential  
13 Design Guidelines, as adopted by City Council Resolution No. 3677 on August 27,  
14 2002, and to be architecturally compatible with adjacent residential areas. The  
15 Planning Commission hereby finds and determines that SDR No. 06-017 satisfies  
16 this Condition of Approval as follows:  
17

- 18 1. The project complies with the Design Guidelines in that the buildings are  
19 designed to provide articulation and relief, with varying building elevation  
20 heights.  
21  
22 2. Pursuant to the Guidelines, architectural relief is provided by using all sides  
23 of the buildings as trimmed fronts, in conformance with the Multiple-Family  
24 Residential Guidelines specification to provide relief as required under any  
25 design guidelines adopted by City Council resolution.  
26  
27 3. The project was designed to provide articulation and relief, with varying  
28 building elevation heights. Pursuant to the Guidelines, architectural relief in  
29 the form of "dressed" elevations along all sides of the buildings is provided  
30 in compliance with the Multiple-Family Residential Guidelines and in  
31 conformance with the Single-Family Residential Guidelines specification to  
32 provide relief as required under any design guidelines adopted by City  
33 Council resolution.  
34

35 **SECTION 2. ENVIRONMENTAL REVIEW.**  
36

37 The Planning Commission, in light of the whole record before it, including but not limited  
38 to, the City's Local CEQA Guidelines and Thresholds of Significance, the recommendation  
39 of the Planning Director as provided in the Staff Report dated November 7, 2006 and  
40 documents incorporated therein by reference, and any other evidence (within the meaning  
41 of Public Resources Code §21080(e) and §21082.2) within the record or provided at the  
42 public hearing of this matter, hereby finds and determines as follows:  
43  
44

1. **CEQA:** The project is exempt from CEQA under CEQA Guidelines Section 15332 in that the staff report submitted by the Planning Department and other findings made in this Resolution demonstrate that: Tentative Tract Map No. 34712 is consistent with the R II (Residential) General Plan designation and all applicable General Plan policies as well as with the Page Ranch Specific Plan and the applicable zoning designation; Tentative Tract Map No. 34712 is located within the boundaries of the City of Hemet; the area within Tentative Tract Map No. 34712 comprises less than five acres and has no value as habitat for endangered, rare or threatened species; there is no substantial evidence in the record that Tentative Tract Map No. 34712 will result in significant effects related to traffic, noise, air quality or water quality; and the site is or can be adequately served by all required utilities and public services. As such, the project meets the criteria for application of a Class 32 (In-fill Development) Categorical Exemption under the CEQA Guidelines.
2. **Wildlife Resources:** Pursuant to Title 14, California Code of Regulations Section 753.5(c), the Planning Commission has determined, based on consideration of the whole record before it, that there is no evidence that the proposed project will have the potential for any adverse effect on wildlife resources or the habitat upon which wildlife depends. Furthermore, on the basis of substantial evidence, the Planning Commission hereby finds that any presumption of adverse impact has adequately been rebutted. Therefore, pursuant to Fish and Game Code Section 711.4(c)(2)(B) and Title 14, California Code of Regulations, Section 753.5(a)(3), the project is not required to pay Fish and Game Department filing fees.
3. **Multiple Species Habitat Conservation Plan (MSHCP):** The project can be found to be consistent with the MSHCP. The project is located outside of any MSHCP criteria area, studies have determined that there is no potential to have negative impacts on specific habitat, and general mitigation is provided through payment of the MSHCP Mitigation Fee.

### **SECTION 3. PLANNING COMMISSION ACTIONS.**

The Planning Commission hereby takes the following actions:

1. **Approves Site Development Review No. 06-017.** Site Development Review No. 06-017 for the review of the site development and architecture for 40 multiple-family homes is hereby approved as shown on Exhibit 2A, attached hereto and incorporated herein by reference, and subject to the Conditions of Approval attached hereto and incorporated herein by reference as Exhibit 2B. Any modification to the project shall be in compliance with the City of Hemet Zoning Ordinance, and other applicable state and local ordinances.

1 **PASSED, APPROVED AND ADOPTED** this 7th day of November 2006, by the  
2 following vote:

3  
4 **AYES:** Chairman Duisternars, Vice Chairman Jones and Commissioners McBride  
5 and Rhoten

6 **NOES:** None

7 **ABSTAIN:** Commissioner Mendoza

8 **ABSENT:** None  
9

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11  
12  
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Bob Duisternars, Chairman  
Hemet Planning Commission

21 **ATTEST:**

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Nancie Shaw, Secretary  
Hemet Planning Commission

**Attachment  
No. 3  
Aerial Photograph**

**Planning Commission  
Meeting of  
March 20, 2012**



**Los Olivos**

**EOT 11-003 for SDR 06-017**

**AERIAL VIEW**

**Attachment  
No. 4  
Adjacent  
Zoning Map**

**Planning Commission  
Meeting of  
March 20, 2012**

