



AGENDA

REGULAR MEETING OF THE HEMET CITY COUNCIL

March 27, 2012

6:30 p.m.

www.cityofhemet.org

City of Hemet Council Chambers
450 E. Latham Avenue

Please silence all cell phones

**Notice: Members of the Public attending shall comply with the Council's adopted Rules of Decorum in Resolution No. 4148. A copy of the Rules of Decorum are available from the City Clerk.*

Call to Order

Roll Call

ROLL CALL: Council Members Franchville, Krupa and Smith, Mayor Pro
Tem Foreman and Mayor Youssef

Work Study

Discussion regarding these items, with possible direction to staff

1. Armed Forces Banner Program - Special Events Coordinator Knotek
2. Update on AB109 - Chief Brown

REGULAR SESSION

7:00 p.m.

City of Hemet Council Chambers
450 E. Latham Avenue

Call to Order

Roll Call

ROLL CALL: Council Members Franchville, Krupa and Smith, Mayor Pro
Tem Foreman and Mayor Youssef

Invocation

Pledge of Allegiance

Presentations

3. Proclamation proclaiming April 2012 as Donate Life Month
 4. Recognition of Visitors from Hemet's Sister City Marumori, Japan
-

City Council Business

Notice to the Public

The Consent Calendar contains items which are typically routine in nature and will be enacted by one motion by the Council unless an item is removed for discussion by a member of the public, staff, or Council. If you wish to discuss a Consent Calendar item please come to the microphone and state the number of the item you wish to discuss. Then wait near the lectern. When the Mayor calls your item give your last name, and address, then begin speaking. You will have three minutes at that time to address the council.

Consent Calendar

5. **Recommendation by Council Member Krupa** - Planning Commission Re-Appointment
 - a. Re-appoint Sharon Deuber to Seat 1 on the Planning Commission in order to fill a term expiration. The two year term will expire April 1, 2014.
6. **Recommendation by Council Member Krupa** - Park Commission Re-Appointment
 - a. Re-appoint Chuck Wright to Seat 1 of the Park Commission in order to fill a term expiration. The two year term will expire April 1, 2014.
7. **Recommendation by Council Member Krupa** - Traffic and Parking Commission Re-Appointment
 - a. Re-appoint Dave Oltman to Seat 1 of the Traffic and Parking Commission in order to fill a term expiration. The two year term will expire April 1, 2014.
8. **Recommendation by Mayor Pro Tem Foreman** - Planning Commission Appointment
 - a. Appoint Michael Perciful to Seat 2 on the Planning Commission in order to fill a term expiration. The two year term will expire April 1, 2014.
9. **Recommendation by Mayor Pro Tem Foreman** - Park Commission Re-Appointment
 - a. Re-appoint Joe Cagliero to Seat 2 on the Park Commission in order to fill a term expiration. The two year term will expire April 1, 2014.

10. **Recommendation by Mayor Pro Tem Foreman** - Traffic and Parking Commission Appointment
 - a. Appoint Charles.W. Cecchi to Seat 2 on the Traffic and Parking Commission in order to fill a term expiration. The two year term will expire April 1, 2014.

- 10.A **Recommendation by Council Member Franchville** - Planning Commission Appointment
 - a. Appoint Nasser Moghadam to Seat 4 on the Planning Commission in order to fill an unscheduled vacancy. The term will expire April 1, 2013

11. **Approval of Minutes** - February 2, 2012

12. **Approval of Minutes** - February 14, 2012

13. **Receive and File** - Warrant Registers
 - a. Warrant registers dated February 23, 2012, March 6, 2012 and March 8, 2012. Payroll for the period of February 20, 2012 to March 4, 2012 was \$562,024.37.

14. **Recommendation by City Manager** - Modify the Senior Public Works Inspector Job Description and Salary Range
 - a. Approve modifications to the City's Classification Manual through adding duties to the Senior Public Works Inspector job classification and set the salary range at S-58.

15. **Recommendation by Community Development Director** - Specific Plan Amendment No. 06-001 (Tres Cerritos East).
 - a. Adopt an ordinance approving Specific Plan Amendment No. 06-001, an amendment to the Hemet Valley Country Club Estates Specific Plan (SP 90-009 and readoption as the Tres Cerritos East Specific Plan (SP 90-009). **(Ordinance Bill No. 11-001)**

16. **Recommendation by Engineering** - Notice of Completion - Lyon Avenue Pavement Rehabilitation, City Project No. 5562
 - a. Accept this project; and
 - b. Instruct the City Clerk's Office to file a Notice of Completion with the County Recorder's Office. The 10% retention and Labor and Materials Bond will be released after the Notice of Completion is filed and received by the County Recorder's Office. The Performance Bond will be maintained for and released after a period of one year.

17. **Recommendation by Engineering** - Award of Bid for the Warren Road Pavement Rehabilitation Project, City Project No. 5552
 - a. Award a contract to Cooley Construction, inc. for the Warren Road Pavement Rehabilitation Program CIP 5552 in the amount of \$937,490 and reject all other bids; and
 - b. Authorize the City Manager to enter into a construction contract for the improvements; and
 - c. Establish budget in the amount of \$937,490 in Street Fund No. 329-5552-5500 for the cost of construction and \$30,000 in Street Fund No. 329-5552-2710 for geotechnical testing and surveying. The total cost of the project is estimated to be \$967,490.

 18. **Recommendation by Police Department** - Public Safety Interoperable Radio System - US Department of Homeland Security Grant
 - a. Approve the Professional Services Agreement by and between the City of Hemet and Comtronix Communications for the purchase and installation of a fixed-site "turn-key" Public Safety Radio Interoperability System.
-

City Council acting as the Redevelopment Successor Agency Consent Calendar

19. **Approval of Minutes** - Hemet Redevelopment Agency January 24, 2012

 20. **Recommendation by Community Investment Director** - Draft Recognized Obligation Payment Schedule Pursuant to AB 1X 26
 - a. Approve the draft Recognized Obligation Payment Schedule (ROPS) and forward the ROPS to the Oversight Board for consideration prior to submitting to the California Department of Finance.
(Resolution Bill No. 12-026)
-

Communications From the Public

Anyone who wishes to address the Council regarding items not on the agenda may do so at this time. As a courtesy, please complete a Request to Speak Form, found at the City Clerk's desk. Submit your completed form to the City Clerk prior to the beginning of the meeting. Presentations are limited to three minutes in consideration of others who are here for agenda items. Please come forward to the lectern when the Mayor calls upon you. When you are recognized, you may proceed with your comments.

****Notice: Members of the Public attending shall comply with the adopted Rules of Decorum in Resolution No. 4148. A copy of the Rules of Decorum are available from the City Clerk.***

State law prohibits the City Council from taking action or discussing any item not appearing on the agenda except for brief responses to statements made or questions posed by the public. In addition, they may, on their own initiative or in response to questions posed by the public, ask a question for clarification, provide a reference to staff or other resources for factual information, or request staff to report back to them at a subsequent meeting. Furthermore, a member of the City Council or the council itself may take action to direct staff to place a matter of business on a future agenda.

Discussions

21. **FY 2011/12 General Fund Budget Amendment and Appropriation Authorization** - City Manager Nakamura
- a. Authorize and approve a FY 2011/12 Budget amendment of \$300,000 from the General Fund Reserve and \$82,500 from the EMS reimbursement revenue fund, allowing the continuation of specific and special programs, projects and services and further authorize the City Manager to negotiate and execute appropriate contracts based upon the parameters outlined.
-

City Council Reports

22. CITY COUNCIL REPORTS AND COMMENTS
- A. Council Member Franchville
 1. Riverside Transit Agency (RTA)
 2. Airport Land Use Commission (ALUC)
 3. League of California Cities
 4. Autism Task Force

 - B. Council Member Krupa
 1. Library Board
 2. Traffic and Parking Commission
 4. Riverside County Habitat Conservation Agency (RCHCA)
 5. Riverside Conservation Authority (RCA)
 6. Ramona Bowl Association
 7. Indian Gaming Distribution Fund

 - C. Council Member Smith
 1. League of California Cities
 2. Riverside County Transportation Commission (RCTC)
 3. Planning Commission
 4. Public Safety Update
 5. National League of Cities

- D. Mayor Pro Tem Foreman
 - 1. Park Commission
 - 2. Indian Gaming Distribution Fund

 - E. Mayor Youssef
 - 1. Western Riverside Council of Governments (WRCOG)
 - 2. Riverside County Transportation Commission (RCTC)

 - F. Ad-Hoc Committee Reports
 - 1. Hemet ROCS Executive Advisory Committee
 - 2. Special Events Ad-Hoc Committee

 - G. Town Hall Meetings

 - H. City Manager Nakamura
 - 1. Manager's Reports
 - 2. Update on the Potato Shed
-

Continued Closed Session

City Attorney Continued Closed Session Report

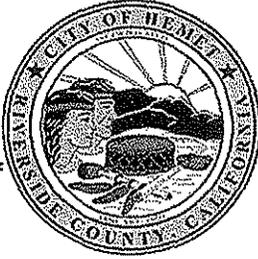
Future Agenda Items

If Members of Council have items for consideration at the next City Council meeting, please state the agenda item to provide direction to the City Manager.

Adjournment

Adjourn to Tuesday, April 10, 2012 at 7:00 p.m. for considerations of items placed on that agenda. The next regular meeting will be held, April 24, 2012.

Staff reports and other disclosable public records related to open session agenda items are available at the City Clerk's Office or at the public counter located at 445 E. Florida Avenue during normal business hours.



Work Study Session

TO: Honorable Mayor and City Council
FROM: Brian Nakamura, City Manager *BN*
DATE: March 27, 2012
RE: Work Study Session on Armed Forces Banner Program

RECOMMENDED ACTION:

It is respectfully recommended that the City Council conduct a Work Study to review and approve the draft policy for the Armed Forces Banner Program recognizing residents of Hemet serving in the United States Armed Forces.

BACKGROUND:

At a previous Work study in April of 2011, the City Council gave direction to staff to begin working on an Armed Forces Banner in an effort to recognize and honor active duty military personnel that reside or have an immediate family member that resides in the City of Hemet.

The Council Ad-hoc subcommittee which consists of Council members Foreman and Krupa along with representatives of American Legion Post 53 reviewed the policies of several other programs and have contributed to the development of the attached policy (Attachment 1).

DISCUSSION:

The Armed Forces Banner Program will honor active duty military personnel with the display of banners hung on light standards at various locations determined by the City. The banners will be hung continuously with the exception of when the Ramona Pageant banners, holiday banners or U.S. Flags are displayed.

Currently there are 63 locations on Florida Avenue that have the appropriate hardware in place to install banners, thereby eliminating the need to purchase additional hardware. If the current locations fill up and there are requests for additional banners the City may purchase additional hardware at an approximate cost of \$130 per location.

The banners will be 83" tall x 30" wide and made of a durable vinyl material. Staff is currently working with two local vendors to refine cost estimates and design options. The vendors anticipate the banners should last approximately three years.

To announce the implementation of the program and to solicit the names of the individuals to be recognized, staff will prepare a press release along with announcements on the City's website.

After receipt of applications, staff along with members of American Legion Post 53, will review all applications to ensure qualifications and conformance with the approved policy. The policy requires an annual eligibility determination ensuring that the honoree is still eligible to participate.

It is envisioned that following commencement, the Armed Forces Banner Program will continue to be a City managed program, however American Legion Post 53 intends to actively participate with the City. Their role will be to review applications with staff, assist with the annual verification process, solicit donations and hold fundraisers to offset the cost of the program for the honorees and their families.

COORDINATION & REVIEW:

The proposed Armed Forces Banner Program has been reviewed with and received comments from the following departments: Administration/City Manager, City Attorney, Finance, Community Development, Community Investment and Public Works (Engineering and Operations).

Additionally, the proposed Armed Forces Banner Program has been coordinated and reviewed with the Council Ad Hoc committee and representatives of American Legion Post 53.

CONSISTENCY WITH ADOPTED GOALS, PLANS, AND PROGRAMS:

The proposed Armed Forces Banner Program support the Council's goal of fostering and maintaining a high quality of life and encouraging community pride.

ALTERNATIVES:

None identified at this time.

FISCAL IMPACT:

The approximate unit cost of a banner and installation is \$175. If approved, the City will begin to collect banner fees in a designated account for the production and installation of banners.

Respectfully submitted,


Laurie Knotek
Special Projects Manager

Attachment

DRAFT

Attachment 1

CITY OF HEMET

ARMED FORCES BANNER POLICY

I. PURPOSE:

To recognize and honor the City of Hemet ("City") residents or their immediate family members who are currently serving in the United States Armed Forces (Air Force, Army, Coast Guard, Marines, Navy or Active National Guard or Reserves). The American Legion Post 53 will assist the City with this program.

The City permits the display of light standard banners for non-commercial use at specified locations on a first-come, first-served basis pursuant to the established policies. This display of military banners is permitted solely in conformance with the policy. In establishing the policy, the City does not intend in any manner to create a public forum or other means by which non-commercial. Social, religious, or political messages may be conveyed or by which public discourse, exchange of opinions or discussion on issues of any nature may occur. Instead, the sole and limited purpose of the banner program is to recognize and honor the contribution of active duty military personal that reside in the City by permitting the uniform display of banners containing the serviceperson's name and service division.

The City reserves the right to revise this policy, discontinue the Armed forces Banner program, and/or revise applicable fees without prior notice.

II. ELIGIBILITY CRITERIA:

1. Any person or organization can apply for a banner for a serviceperson. The serviceperson must be serving on active duty. For the purpose of this program, "active duty" is defined as 12 months of continuous service in the United States Armed Forces.
2. The serviceperson must be a resident of the City of Hemet or the spouse, mother, father, daughter, son, brother, sister, grandson or granddaughter of a current City of Hemet resident or within zip codes 92543, 92544 or 92545. Residency must be verified with a recent utility bill, driver's license, or other form of identification listing a current City of Hemet address.

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III. ANNUAL ELIGIBILITY DETERMINATION

1. On an annual basis, the City will request from all banner applicants written verification that the serviceperson continues to meet the Eligibility Criteria. Banner applicants will be contacted at their last known address listed on their application form. Any banner no longer meeting the Eligibility Criteria shall be removed and the location reassigned.
2. It shall be the responsibility of each banner applicant to promptly update his or her information on file with the City, as needed. The City shall not be responsible in the event it does not receive any updated contact information that is not personally delivered to the City.

IV. DISPLAY TERM:

1. The banner will be displayed continuously (with the exception of hanging of Ramona Pageant, Holiday banners or other City promotional banner campaigns). The banner will be removed if:
 - a. The banner becomes damaged due to wind, age, or other reasons as solely determined by the City;
 - b. The military serviceperson no longer meets the eligibility criteria;
 - c. In the event the Armed Forces banner program is discontinued for any reason at the discretion of the City Council;
 - d. In the event all banner locations become filled, the City shall have the right to rotate banners every year thereby allowing those interested to participate.

V. PROCESS:

1. Applications will be submitted to the City on a form provided by the City, and shall include the name of the serviceperson, branch of service, photo, contact information or applicant, and a form of identification in order to verify City of Hemet residency of either the serviceperson or the applicant. Verification of active duty status must also be submitted.
2. Applications will be accepted on an on-going basis, but banners will be installed twice each calendar year during May and September.
3. The City with the assistance of the American Legion Post 53 will verify that the application meets all eligibility requirements including residency.
4. Once the application has been processed, the City will create the banner. Only one banner per serviceperson is allowed. The lettering of the name and branch of the serviceperson will be sized to fit the personalization area on the banner. Spelling of the name will be taken directly from the application.
5. Installation and removal of banners are at the City's sole discretion

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6. The number of, and specific banner locations shall be determined solely by the City, and may be revised without prior notice. An applicant may not select a specific location.
7. The City is not responsible for replacing banners that are stolen, damaged, or destroyed due to age, vandalism, or any acts of nature including high winds.
8. Annual re-verification of the serviceperson's active duty status will be required.
9. Removed banners will be returned to the applicant.
10. In the event a serviceperson is killed in the line of duty, his or her banner will be removed and given to applicant and serviceperson's name will be added to the Veteran's Memorial wall located at Gibbel Park.
11. Approval of a banner application only entitles the applicants banner to be hung and displayed by the City pursuant to this policy. The City shall have no obligation to perform any maintenance to a banner or in conjunction with the display of any banner. Once installed, a banner applicant shall have no right of access to the banner, provided, however, that a banner applicant may request the removal of the applicant's banner. Once a banner is removed following such a request, the banner applicant shall have no further rights pursuant to this policy.

VI. COST/SPONSORSHIP

1. The current cost for banner and installation is \$ 175.00. Fee to be paid at time application is submitted and payable to the City of Hemet.
2. In an effort to keep families from paying the cost of the banner, the City will accept donations on an on-going basis.
3. The American Legion Post 53 will actively pursue donations/sponsorships to assist the program and periodically have fundraisers for same.

VII. INDEMNIFICATION AND HOLD HARMLESS:

1. By applying for and receiving approval to sponsor a banner, each banner applicant agrees to indemnify and hold the City of Hemet, and each of its elected officials, officers, employees, agents and volunteers free and harmless with respect to any and all liabilities, claims, lawsuits and/or damages of any nature whatsoever that allegedly arise from or are connected to the approval of the applicant's banner application, including the display of, and/or damage to or loss of any banner or banners.



Staff Report

TO: Honorable Mayor and Members of the City Council
FROM: Council Member Krupa
DATE: March 27, 2012
RE: Planning Commission Re-Appointment

RECOMMENDATION:

Council Member Krupa respectfully recommends that the City Council re-appoint Sharon Deuber to Seat 1 on the Planning Commission in order to fill a term expiration. The two year term will expire April 1 2014.

BACKGROUND:

Ms. Deuber has lived in the community over 6 years. Ms. Deuber in Real Estate and Mortgages as licensed broker. Ms. Deuber has served as the President of an HOA Community Board in San Deigo. She has also been involved with Toastmasters, the National and California Association of Realtors. Ms. Deuber has served on the City's Planning Commission for 2 years and wished to continue in this capacity to serve the community of Hemet. I highly recommend the re-appointment of Ms. Deuber to serve on the City's Planning Commission.

Respectfully submitted,



Linda Krupa
Council Member



CITY OF HEMET
Application for Appointment
to Volunteer Commissions/Board/Committee

COMMISSION/BOARD/COMMITTEE that you wish to apply for:

Hemet City Planning Commission

NAME: Sharon L. Deuber

ADDRESS: 585 Parnevik Drive

CITY: Hemet, CA. ZIP: 92545

TELEPHONE: 951-926-0823

Past Experience and/or Education: 2 years on Planning Commission;
1 1/2 as Vice Chair; 11 years in Real Estate, and mortgages
as a licensed Broker.

Other Boards and/or Commissions on which you have served: 12 years as President
of an HOA Community Board in San Diego County

Organizations you have belonged to Trustmasters National Association
of Reactors + California Association of Reactors

How long have you lived in the community? 6 years 6 months

On a separate sheet of paper, please describe briefly why you wish to be appointed to this Commission. Wish to continue in current capacity in service to the community
of Hemet.

Return to:
City Clerk
City of Hemet
445 E. Florida Avenue
Hemet, CA 92543

S. Deuber Jan 24, 2012
Signature Date

All applicants must be residents of the City of Hemet or Sphere of Influence when applicable. The Library Board and Planning Commission members are required to file the California Fair Political Practices Commission Statement of Economic Interests as outlined in the City of Hemet's Conflict of Interest Code.



Staff Report

TO: Honorable Mayor and Members of the City Council

FROM: Council Member Krupa

DATE: March 27, 2012

RE: Park Commission Re-Appointment

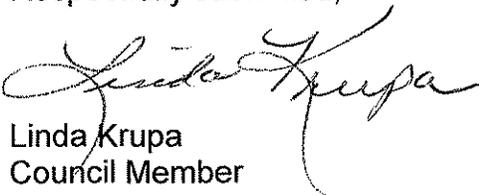
RECOMMENDATION:

Council Member Krupa respectfully recommends that the City Council re-appoint Chuck Wright to Seat 1 on the Park Commission in order to fill term expiration. The two year term for Seat 1 will expire April 2014.

BACKGROUND:

Mr. Wright has lived in the community for 13 years. Mr. Wright has been involved in Valley Beautiful, Seven Hills Property Owners Association as the Chairman of the CC&R's Committee and the Green Coalition Executive Board. Mr. Wright has enjoyed being on the Park Commission and would like the opportunity to continue. I strongly recommend the re-appointment of Chuck Wright to the Park Commission.

Respectfully submitted,



Linda Krupa
Council Member



CITY OF HEMET
Application for Appointment
to Volunteer Commissions/Board/Committee

COMMISSION/BOARD/COMMITTEE that you wish to apply for:

PARK COMMISSON

NAME: CHUCK WRIGHT

ADDRESS: 2598 BEECH TREE ST.

CITY: HEMET ZIP: 92545

TELEPHONE: 951 925-1424

Past Experience and/or Education: _____

Other Boards and/or Commissions on which you have served: _____

Organizations you have belonged to _____

How long have you lived in the community? 13 years _____ months

On a separate sheet of paper, please describe briefly why you wish to be appointed to this Commission.

Return to:
City Clerk
City of Hemet
445 E. Florida Avenue
Hemet, CA 92543

C. Wright
Signature

2-13-2012
Date

All applicants must be residents of the City of Hemet or Sphere of Influence when applicable. The Library Board and Planning Commission members are required to file the California Fair Political Practices Commission Statement of Economic Interests as outlined in the City of Hemet's Conflict of Interest Code.

TO: City of Hemet
Attn: City Clerk
445 East Florida Avenue
Hemet, CA 92543

FROM: Charles (Chuck) Wright
2598 Beech Tree Street
Hemet, CA 92545

Subject: Appointment to the City of Hemet Park Commission

I have enjoyed being on the Parks Commission and wish to continue.
I have found it to be both interesting and challenging.
I have some ideas about the development of the Ralph H. Welsh
Memorial Green (across the street from the city hall) that want to
explore. Replacing the Orange trees along Florida with a better choice is
another project I would like study.

Sincerely



Chuck Wright
Park Commissioner



Staff Report

TO: Honorable Mayor and Members of the City Council
FROM: Council Member Krupa
DATE: March 27, 2012
RE: Traffic and Parking Commission Re-Appointment

RECOMMENDATION:

Council Member Krupa respectfully recommends that the City Council re-appoint David R. Oltman to Seat 1 on the Traffic and Parking Commission. The two year term will expire April 1, 2014.

BACKGROUND:

Mr. Oltman has lived in the City for over 47 years. Dave was appointed to the Commission on April 11, 2006 after retiring as the Public Works Director from the City of Hemet. His previous experience is invaluable on the Traffic and Parking Commission. I strongly recommend his re-appointment.

Respectfully submitted,


Linda Krupa
Council Member



1

CITY OF HEMET
Application for Appointment
to Volunteer Commissions/Board/Committee

COMMISSION/BOARD/COMMITTEE that you wish to apply for:

TRAFFIC & PARKING COMMISSION

NAME: DAVID R. OLTMAN

ADDRESS: 249 SO. FRANKLIN ST.

CITY: HEMET ZIP: 92543

TELEPHONE: 658-3437

1. Past Experience and/or Education: I WAS EMPLOYED BY THE
CITY OF HEMET FOR 38 YEARS. THE MAJORITY
OF THE 38 YEARS WAS AS PUBLIC WORKS DIRECTOR,
(SEE PAGER)

Other Boards and/or Commissions on which you have served: _____

I WAS THE STAFF REPRESENTATIVE TO THE
TRAFFIC COMMISSION & PARK COMMISSION FOR A NUMBER OF YEARS.

Organizations you have belonged to I AM A PAST MASTER (PRESIDENT)
OF HEMET MASONIC LODGE #615 & A MEMBER OF HEMET ELK LODGE #1740

How long have you lived in the community? 47 years 6 months

On a separate sheet of paper, please describe briefly why you wish to be appointed to this Commission.

Return to:
 City Clerk
 City of Hemet
 445 E. Florida Avenue
 Hemet, CA 92543

David R. Oltman 2/14/12
 Signature Date

All applicants must be residents of the City of Hemet or Sphere of Influence when applicable. The Library Board and Planning Commission members are required to file the California Fair Political Practices Commission Statement of Economic Interests as outlined in the City of Hemet's Conflict of Interest Code.

②

#1 CONTINUED

HOWEVER I ALSO SERVED AS CHIEF CODE ENFORCEMENT OFFICER, DIRECTOR OF PROJECT MANAGEMENT (NEW LIBRARY) AND OTHER POSITIONS OVER THE YEARS. I HAVE A MASTERS DEGREE IN PUBLIC ADMINISTRATION

THANK YOU FOR YOUR CONSIDERATION

*Staff Report*

TO: Honorable Mayor and Members of the City Council
FROM: Mayor Pro Tem Foreman
DATE: March 27, 2012
RE: Planning Commission Appointment

RECOMMENDATION:

Mayor Pro Tem Foreman respectfully recommends that the City Council appoint Michael Perciful to Seat 2 on the Planning Commission in order to fill a term expiration. The two year term will expire April 1 2012.

BACKGROUND:

Michael Perciful has lived in the Community for almost 10 years. Mr. Perciful has been a Real Estate Agent/Broker for 10 years. Mr. Perciful is a member of the Hemet-San Jacinto Chamber of Commerce and the Hemet-San Jacinto Board of Realtors. As a retired Reserve Police Officer with the City of Chula Vista, Mr. Perciful was involved in the City's Community Oriented Policing, this program included the planning and design of City projects to assist in reducing crime. As a Real Estate Broker I have assisted many home owners in avoiding foreclosure to help reduce the negative effect on the community. I highly recommend the appointment of Mr. Perciful to serve on the City's Planning Commission.

Respectfully submitted,

Jim Foreman
Mayor Pro Tem



CITY OF HEMET
Application for Appointment
to Volunteer Commissions/Board/Committee

All applicants must be residents of the City of Hemet unless specifically exempted in the Hemet Municipal Code or by the City Council. The following Commissions/Boards require filing of the California Fair Political Practices Commission Statement of Economic Interests as outlined in the City of Hemet's Conflict of Interest Code:

Planning Commission Park Commission Rent Review Commission Library Board

COMMISSION/BOARD/COMMITTEE that you wish to apply for:

PLANNING COMMISSION

NAME: MICHAEL PEREIRA

ADDRESS: 3150 TURNBROOK CIR.

CITY: HEMET ZIP: 92545

TELEPHONE: 951-294-8908

Past Experience and/or Education: 10 YEARS AS RESERVE POLICE OFFICER CVPD.

5 YRS US NAVY (MILITARY POLICE - INVESTIGATION) 5 YEARS REAL ESTATE

AGENT/BROKER CURRENTLY ENROLLED MSTC BUSINESS ADMIN

Other Boards and/or Commissions on which you have served: NONE

Organizations you have belonged to HEMET/SAN JACINTO CHAMBER OF

COMMERCE - HEMET/SAN JACINTO ASSOCIATION OF REALTORS, CAR, NAR
CALIFORNIA RESERVE POLICE OFFICERS ASSOCIATION

How long have you lived in the community? 9 years 8 months

Please describe briefly why you wish to be appointed to this Commission (please use a separate sheet of paper.)

Return to:
 City Clerk
 City of Hemet
 445 E. Florida Avenue
 Hemet, CA 92543

[Signature] _____
 Signature Date

RECEIVED
 MAY 24 2010
 City Manager's Office
 City of Hemet

For many years I have had an interest in the community. I continue to want to take a proactive role in the community in which I live. The community is only as good as the people in it and the more involved people become the better off the community is as a whole.

In 1997, I began taking an active role in the city of Chula Vista as a volunteer, a reserve police officer. I worked there as a reserve officer for ten years until I retired in 2007. During my time as a reserve officer I not only worked patrol, but I worked on community oriented policing and problem solving within the city. This included working with community members and city staff to address issues to reduce crime. One of the areas was with the planning and design of building projects within the city. This included meeting with property owners to suggest ways to make improvement to properties that were aesthetically pleasing, conforming to the general plan, and to help in reducing crime.

For the past two years I have been a residential real estate broker and business owner in the city of Hemet. With the down-turn in the housing market, I have taken a proactive approach to help minimize the effect on the community. Because bank foreclosures affect everyone in the community I have assisted home owners to avoid foreclosure to help in reducing the negative effect on the community as a whole.

With the training and experience I have gained as a police officer and real estate broker I think I would be a valuable asset to the community as a member of the city of Hemet Planning Commission.

Thank you for the opportunity.



Staff Report

TO: Honorable Mayor and Members of the City Council
FROM: Mayor Pro Tem Foreman
DATE: March 27, 2012
RE: Park Commission Re-Appointment

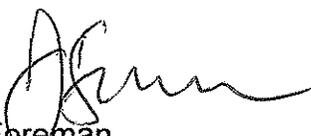
RECOMMENDATION:

Mayor Pro Tem Foreman respectfully recommends that the City Council re-appoint Joe Cagliero to Seat 2 on the Park Commission to fill a term expiration. The term will expire April 1, 2014.

BACKGROUND:

Mr. Cagliero has lived in the community for 52 years. Mr. Cagliero has owned Cagliero Ranch Nursery since 2003. He has worked in horticulture businesses for over 32 years. He currently belongs to the California Association of Nurseries and Garden Centers and the Master Nursery Association. Mr Cagliero's extensive background in horticulture and the fact that he was born and raised in the valley has been a valuable asset on the commission. I highly recommend his re-appointment.

Respectfully submitted,


Jim Foreman
Mayor Pro Tem



CITY OF HEMET
Application for Appointment
to Volunteer Commissions/Board/Committee

COMMISSION/BOARD/COMMITTEE that you wish to apply for:

Park Commission - seat 2 - I seek
reappointment!

NAME: Joe Cagliero

ADDRESS: 40121 Newport Rd.

CITY: Hemet ZIP: 92543

TELEPHONE: 951-236-1883

Past Experience and/or Education: Over 30 years of
nursery and plant experience in the valley.

Other Boards and/or Commissions on which you have served: _____

Organizations you have belonged to _____

How long have you lived in the community? 52 years _____ months

On a separate sheet of paper, please describe briefly why you wish to be appointed to this Commission.

Return to:
 City Clerk
 City of Hemet
 445 E. Florida Avenue
 Hemet, CA 92543

Joe Cagliero 1/26/12
 Signature Date

All applicants must be residents of the City of Hemet or Sphere of Influence when applicable. The Library Board and Planning Commission members are required to file the California Fair Political Practices Commission Statement of Economic Interests as outlined in the City of Hemet's Conflict of Interest Code.



Staff Report

TO: Honorable Mayor and Members of the City Council
FROM: Mayor Pro Tem Foreman
DATE: March 27, 2012
RE: Traffic and Parking Commission Appointment

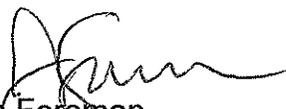
RECOMMENDATION:

Mayor Pro Tem Foreman respectfully recommends that the City Council appoint Charles W. Cecchi to Seat 2 on the Traffic and Parking Commission. The two year term will expire April 1, 2014.

BACKGROUND:

Mr. Cecchi spent 19 years in the USMC as a Traffic Manager and Logistics. He have been involved with the VFW Post 2266, the Hemet Heritage Foundation, and the Citizens 4 Accountable Government. I highly recommend his appointment.

Respectfully submitted,


Jim Foreman
Mayor Pro Tem



CITY OF HEMET
Application for Appointment
to Volunteer Commissions/Board/Committee

COMMISSION/BOARD/COMMITTEE that you wish to apply for:

Traffic & Parking Commission

NAME: Charles W. CECCHI

ADDRESS: 2433 Tulip Ct

CITY: Hemet

ZIP: 92545-4748

TELEPHONE: Cell 951-850-7056

Past Experience and/or Education: 19 year, 6 month in USMC, as a Traffic Manager
and Logistics

Other Boards and/or Commissions on which you have served: NONE

Organizations you have belonged to VFW Post 2266, Hemet Heritage Foundation,

CITIZENS 4 ACCOUNTABLE GOVERNMENT

How long have you lived in the community? _____ years _____ months

On a separate sheet of paper, please describe briefly why you wish to be appointed to this Commission.

Return to:
City Clerk
City of Hemet
445 E. Florida Avenue
Hemet, CA 92543

CW Cecchi
Signature

2-17-12
Date

All applicants must be residents of the City of Hemet or Sphere of Influence when applicable. The Library Board and Planning Commission members are required to file the California Fair Political Practices Commission Statement of Economic Interests as outlined in the City of Hemet's Conflict of Interest Code.



Staff Report

TO: Honorable Mayor and Members of the City Council
FROM: Council Member Franchville
DATE: March 27, 2012
RE: Planning Commission Appointment

RECOMMENDATION:

Council Member Franchville respectfully recommends that the City Council appoint Nasser Moghadam to Seat 4 on the Planning Commission to fill an unscheduled vacancy. The term will expire April 1, 2013.

BACKGROUND:

Mr. Moghadam has lived in the community for over 25 years. Mr. Moghadam has been in the Architectural field since 1975. He has a Bachelor of Science Degree in Environmental Design followed by a Professional Degree of Bachelor of Architecture. Mr. Moghadam feels that through his professional has gained the experience to solve problems and negotiate solutions. I strongly recommend Nasser Moghadam's appointment to Seat 4 on the Planning Commission.

Respectfully submitted,

Jerry Franchville
Council Member



CITY OF HEMET
Application for Appointment
to Volunteer Commissions/Board/Committee

All applicants must be residents of the City of Hemet unless specifically exempted in the Hemet Municipal Code or by the City Council. The following Commissions/Boards require filing of the California Fair Political Practices Commission Statement of Economic Interests as outlined in the City of Hemet's Conflict of Interest Code:

Planning Commission Park Commission Rent Review Commission Library Board

COMMISSION/BOARD/COMMITTEE that you wish to apply for:

PLANNING COMMISSION

NAME: NASSER M. MOGHADAM

ADDRESS: 44052 GALICIA DRIVE

CITY: HEMET ZIP: 92544

TELEPHONE: (951) 927-4520

Past Experience and/or Education: ARCHITECT, STATE OF CALIFORNIA

BUSINESS OWNER "FLORIDA & STANFORD SHELL"

B.S. IN ENVIRONMENTAL DESIGN & B. ARCH. PROFESSIONAL DEGREES

Other Boards and/or Commissions on which you have served: _____

Organizations you have belonged to CHAMBER OF COMMERCE & LIONS CLUB

How long have you lived in the community? 20 years 10 months
 Please describe briefly why you wish to be appointed to this Commission (please use a separate sheet of paper.)

Return to:
 City Clerk
 City of Hemet
 445 E. Florida Avenue
 Hemet, CA 92543

Nasser M. Moghadam
 Signature

10-17-07
 Date

RECEIVED
 OCT 17 2007
 City Manager's Office
 City of Hemet

Nasser Moghadam, Architect

44052 Galicia Drive

Hemet, Ca. 92544

Phone (951) 927-4520

Fax (951) 927-4520

NMDESIGNWORKS@AOL.COM

October 18, 2007

City of Hemet
Hemet City Council
445 E. Florida Ave.
Hemet, CA 92543

To Whom It May Concern:

I wish to be appointed the commission to serve my community.

I have lived and been an active business owner in Hemet for the past twenty years. My wife and I have raised three sons in the community all of them attending Hemet schools and graduating from Hemet High School. They have all gone on to college, the youngest is currently attending MSJC.

I have served my community as a business owner (Florida and Stanford Shell Station) for over ten years.

I have been in the architectural field since 1975. I completed a Bachelor of Science Degree in Environmental Design followed by a Professional Degree of Bachelor of Architecture. I am a state licensed California Architect.

As An Architect I have been representing clients for Planning Commissions, City Councils, Board of Supervisors and other agencies. This has given me the experience need to solve problems and negotiate solutions.

I feel I am well qualified for this appointment. I feel that my professional, educational, business and life experiences will guide me as I serve the Hemet Community.

Sincerely,



Nasser M. Moghadam

#11



MINUTES

SPECIAL MEETING OF THE HEMET CITY COUNCIL

February 2, 2012

6:30 p.m.

www.cityofhemet.org

City of Hemet Council Chambers

450 E. Latham Avenue

Please silence all cell phones

Call to Order

Mayor Youssef called the meeting to order at 6:30 p.m.

Roll Call

PRESENT: Council Members Franchville, Krupa, Mayor Pro Tem Foreman and Mayor Youssef

ABSENT: Council Member Smith

Council Member Franchville moved and Council Member Krupa seconded motion to excuse Council Member Smith. Motion carried 4-0.

OTHERS PRESENT: Deputy City Manager Orme, City Attorney Vail and City Clerk McComas

The City Council conducted Item No. 2 at this time.

Work Study

1. Groundwater Management Plan - Eric Vail, City Attorney

Discussion regarding these items, with possible direction to staff

Eric Vail, City Attorney, gave the City Council a powerpoint presentation on the Groundwater Management Plan (GWMP). Mr. Vail noted that the term "Hemet" refers to the City's water utility system area only, not the entire city. Hemet is using more groundwater than is safe for the Basin. The past and the planned demand on the groundwater resources exceeds the supply, creating an "Overdraft". This overdraft will cause irreparable damage to the groundwater resources, if not addressed. The GWMP addresses the overdraft. Mr. Vail displayed a map of the "San Jacinto Watershed". The San Jacinto Watershed covers 728 square miles including: the San Jacinto Valley, the surrounding mountains and the San Jacinto River. The Watershed is recharged by the San Jacinto Basin and the Hemet Basin. There are 4 Primary Zones in the Management Area: Canyon, Upper Pressure; Hemet North; and Hemet South. All of these zones are part of the San Jacinto Watershed. Mr. Vail displayed a map of the Management Area. The Management Players include: Public Water Purveyors; Private Pumpers; Municipal Utilities; and the Soboba Band of Luiseño Indians. There are five sources of water supply: groundwater; surface water; recycled water; imported water; and return flows. There are three sources of water demand: agriculture; urban; and the Soboba Band of Luiseño Indians. The factors that effect the supply are: ground & surface water; and recycled & imported water. Mr. Vail displayed a graph showing the Annual Management Area Water Supplies for the years 1984 to 2004. As well as a chart showing the surface water diversion and groundwater production system for the Hemet/San Jacinto Groundwater Basin. The total average annual supply for the years 1984 to 2004 was approximately

68,000 AFY. The factors affecting demand are: historical trend that shows an increase in demand; all communities are projecting continued residential and commercial growth; and agricultural demand assumed not to exceed 25,000 AFY for initial period. Mr. Vail showed a map of the 1998 Land Use and a map of the Projected 2025 Land Use. Graphs were displayed showing EMWD's, LHMWD's, San Jacinto's, Soboba Tribes, and Hemet's Historical and Projected Water Demand for the years of 1984 to 2020. A graph was displayed showing the Annual Groundwater Production, by Management Zone. The reported Average Annual Demand is 66,200 AFY, the GWMP is using 68,000 AFY for planning purposes. The reported Projected Additional Future Demand is 11,800 AFY, the GWMP is using 14,000 AFY for planning purposes. Safe Yield is the long term, average quantity of water supply in the Management Area that can be pumped without causing undesirable results, including the gradual reduction of natural groundwater in storage over long-term hydrologic cycles. The estimate for Safe Yield is between 40,000 and 45,000 AFY. Mr. Vail explained the Safe Yield versus Demand. Bottom line is that Hemet is pulling more water out of the ground than can safely be pulled out. The basins have been mined water for decades, it is likely to ruin the water resource which has costs involved. Mining and overdraft changes the hydrostatic pressure, the compaction of soil and the capacity to store water. The specific problem with an overdraft is the higher pumping costs, the depletion of surface water, degrading of the water quality and the land subsidence. The only solution is to manage the basins for the future. Hemet has been part of a collaborative process since the early 1990's. The Soboba Claim/Suit started in 1995. The Water Policy Committee was formed in 1998. The resolution of the Soboba Claim & Law Suit is the mechanism used to assist with the overdraft. The actual reduction of overdraft will be dealt with by: gradual programmed reduction of groundwater production; recharge groundwater; and increase availability of other supply sources. The agencies will collaboratively manage the basins. Implementation will include the settlement with the Soboba Tribe. The Soboba Tribe filed damage claims for \$70 million against EMWD and LHMWD for infringement of tribal water rights alleging historical interference and unauthorized use of tribal water. In 2000, the Soboba Tribe sued MWD in Federal Court regarding damage to tribal water rights allegedly due to MWD tunnel drilling etc. MWD, EMWD and LHMWD denied any damage, interference or wrongful use of Tribal water. Parties began litigation and negotiation with assistance of the United States Government. In 2004, the Soboba's, MWD, EMWD & LHMWD reached a settlement in principle, the settlement required review and approval by Federal agencies and Congress. In 2008, The Federal agencies, Congress and the President approved the settlement. The parties are continuing to resolve. The Soboba's must approve the GWMP. The particulars of the Soboba Settlement spell out the Tribal Water Rights, EMWD & LHMWD's Obligations, the U.S. Government Assistance, as well as MWD's Obligations. The Physical Solution will require approval of the Stipulated Judgment and the Water Management Plan. As well as the approval of the implementing agreements to include: Phase 1 Facilities Agreements; EMWD/MWD Agreements; and In-Lieu Agreements. The City's are not part of the Claim or Law Suit, however they are implicated. The City's will pay their pro-rata share in funding the infrastructure. The City's will share in the benefits of the Settlement. The "Physical Solution" is the court decreed method of managing the water supply to maximize the reasonable and beneficial use of the waters, to eliminate the overdraft, to protect the prior rights of the Soboba Tribe, and to provide for the substantial enjoyment of all water rights recognizing their priorities. The Court has

continued jurisdiction. There are two components to the Physical Solution, the Stipulated Judgment and the Water Management Plan. The Physical Solution will: have a collective governance by the Watermaster; fix rights of public participants to pump groundwater free of charge; gradually reduce the amount of water pumped free of charge; require levy replenishment and administrative assessments; include the purchase of imported and other water; increase the capacity to replenish ground water; include various regulatory controls on the Basin; encourage conjunctive use projects; and provide an opportunity for Private Water Producers to join. The Physical Solution includes two documents with one purpose. The first document is the Stipulated Judgment. The Participants will file a friendly lawsuit with the Court. The Lawsuit is settled by the agreed upon or "Stipulated" Judgment. The Stipulated Judgment contains the Physical Solution. The Judgment also creates the Watermaster. The Court keeps continuing jurisdiction. The second document is the Water Management Plan. The agreed upon plan to implement the Judgment and the Physical Solution. The Plan adds depth, context and detail to the Stipulated Judgment. The goals of the Physical Solution and the Water Management Plan are to: eliminate overdraft and address the declining groundwater levels; provide for Soboba Tribe's paramount water rights; ensure reliable water supply; provide for planned urban growth; protect and enhance the water quality; develop a cost-effective water supply; maximize the reasonable and beneficial use of the waters; provide adequate monitoring for water supply and water quality; supersede the Fruitvail judgment and Decree; and provide for the substantial enjoyment of all water rights by recognizing their priorities. The Stipulated Judgment created a Watermaster to allow for Collective Governance. The 5 member governing board will: include one representative of each Public Participant; include one representative for all Private Pumpers; include one vote per representative; require majority and super majority voting requirements; have the authority to implement the Physical Solution and enforce the Stipulated Judgment; and have the powers stated in the Stipulated Judgment and the WMP. An Independent Advisor will be retained. Independent Legal Counsel will be retained. The Watermaster will contract with EMWD for certain services. The Base Production Rights are based on documented pumping from 1995 to 1999. Several adjustments were made to raw pumping data for operation activities of the agencies. The Base Production Rights are: EMWD 10,869 AFY or 33.7%; LHMWD 11,063 AFY or 34.2%; City of Hemet 6,320 AFY or 19.6%; City of San Jacinto 4,031 AFY or 12.5%. Mr. Vail explained the adjustments made for each agencies Base Production Rights. The Private Water Producers Production Rights collectively is 25,000 AFY. Their overlying rights are: reasonable & beneficial use; collaborative; and paramount, subject to prescription & other priorities. The Private Water Producers treatment in the WMP is: not adversely impact or affect the rights; not forced to be parties; and opportunity to join voluntarily & individual determination of production. The Goal is to reduce Adjusted Base Production Rights until they equal Safe Yield. The goal is: 1st year, 10% reduction of Base Rights; and 2nd to 6th years, maximum 5% reduction to Base Rights. Cumulative reduction over a 7 year period is 35%. The Watermaster will estimate the Safe Yield every 3-5 years. The Water Production is subject to assessments. The Administrative Assessments includes an initial \$50/AF on Adjusted Base Production Right pumped. Replenishment Assessments will be levied on each AF pumped in excess of the Participant's Adjusted Base Production Right. The Assessment is equal to the cost per AF of imported Water. The Components of the Cost include: cost of water; conveyance and recharge losses; transportation and energy

costs; facilities operations and maintenance costs; reserve for replacement; and other administrative costs. In 2012, the estimate was \$442/af (MWD) & \$60/af (EMWD). As pumping rights are reduced toward safe yield Participants will be required to pay more for replenishment assessments. The accounts and assessments will be administered and collected by EMWD, under contract with and subject to the policies set by the Watermaster. The funds will be maintained in separate restricted accounts. An annual independent financial audit will be conducted. The San Jacinto River Integrated Recharge and Recovery Program (IRRP) will be implemented to increase capacity to recharge the basin. The Groundwater Replenishment Program will be implemented. There will be direct replenishment of groundwater to store water for future use. The augmentation of imported or recycled water will be used to provide immediate increases in water supply and the associated decrease in groundwater pumping. The use of recycled water will be expanded. IRRP is the core of the Physical Solution. There are two phases in concept. It is designed to recharge imported water and extract groundwater at a capacity such that the following goals are met: 1) satisfy prior and paramount Soboba Tribe water rights; 2) offset the estimated 10,000 AFY overdraft in the Management Area; 3) provide an additional 15,000 AFY to help meet projected demand increases; and 4) provide as much as 45,000 AF of storage for conjunctive use/drought management. The Major Elements of the IRRP are: modifications to pump stations; construction of pipelines; design and construction of recharge basins; drilling extraction wells; installation of pumps and chlorination equipment in extraction wells; and design and drilling of monitoring wells. IRRP Phase 2 provides up to 15,000 af/yr of additional imported water for future demands of the Management Area. The estimated cost for IRRP is \$50 million. Various regulatory controls will be set on: exports from basin; water quality controls; impact of recharge; and recycled water. Public Participants may propose water supply projects to the Watermaster for consideration. The Watermaster may fund or reject. If rejected the sponsor agency may undertake the project provided it does not significantly impact the implementation of the WMP or interfere with ongoing groundwater production. The 7 Direct Recharge projects are: Buena Vista Flood Control Basin; Cienega; Fairview; Bautista Creek along Florida Avenue; Salt Creek between Lyon Avenue and State Street; Little Valley; and Bautista Flood Control Ponds. The 2 In-Lieu Recharge projects are: Recycled Water In-Lieu Project and Hemet-Simpson Conjunctive Use Project. The Private Pumpers have the opportunity to decide by a voluntary election to participate as Class A or Class B members or continue as Non-Participants. As Non-Participants, they can continue pumping groundwater for reasonable & beneficial uses. However, they are excluded from future participation in the Water Management Plan. Class A Participant is a party to the Stipulated Judgment, historical pumping and beneficial uses may continue. Pumping facilities are subject to metering, testing, water level and water quality sampling at no cost to the owner. Class A Participant can convert to Class B in the first 3 years after the Judgment, with payment of all past assessments. Class B Participant has all of the benefits and obligations of Class A plus the same pumping management terms as the water agencies. Their ABPR will be determined using the base period of 1995-1999. All Replenishment Water Assessments must be paid. The Private Pumpers Right is conditionally transferred to the appropriate public water agency. The Phase 1 Facilities Agreement is between EMWD, LHMWD, the City of San Jacinto and the City of Hemet. It's purpose is to fund, construct, operate, maintain facilities required for Phase 1 of the IRRP and allocate Soboba

Settlement costs and benefits. Under the agreement EMWD's obligations are: finance construction costs; administer construction of facilities; operate and maintain facilities; and hold in trust for the benefit of Hemet, San Jacinto and LHMWD. The other parties obligations and benefits are: to pay apportioned costs of construction & financing; to pay apportioned cost of operation and maintenance; enjoy apportioned right to capacity in the facilities; and cap on construction expenses. The Agreement includes an Agreement to Purchase MWD water & unused Soboba water. Each party: pays its apportioned cost of purchasing the MWD water; pays its apportioned cost of the \$7 million payment to the Soboba Tribe; enjoys its apportioned share of MWD water; and enjoys its apportioned share of unused Soboba water. The EMWD/MWD Agreement provides low-costs water deliveries for the Soboba Tribe. The In-Lieu Project Agreements are designed to reduce the amount of groundwater production by delivering recycled or imported water to be used in lieu of local groundwater. The Supplemental Water Agreement is wrapped into the Physical Solution. The Groundwater Management Agreement is wrapped into the Physical Solution. The Physical Solution affects new and existing facilities. Each agency will continue to own its existing capital facilities. Each public agency pledges to: use its facilities to implement the WMP; on terms equitable to all parties; on terms consistent with obligations to its customers. According to Phase 1 IRRP, new facilities are owned by EMWD. EMWD holds them in trust for Hemet, San Jacinto and LHMWD. All agencies have the capacity and use rights equal to their allocated share of cost, for Hemet that is 19.6%. The alternatives to all of this is to mine the basins and go it alone.

Council Member Franchville, asked if the water quality changes as you get lower in the basin.

Eric Vail, yes, there is an increased concentration of nitrates and minerals as you draw deeper in the basin. If you exceed the water recharge, you will have to shut down the well. When you engage in a plan like this you have to look 25 years out. Mr. Vail continued his presentation with a powerpoint presentation regarding the Benefits and the Costs of Participation in the GWMP. The benefits of participating are : secure access to lower cost alternative water supply; protect & preserve the Hemet Basin; address the overdraft; implement a Basin Wide BMP; collective decision making & collaboration; and resolve Soboba Water Rights issues. Mr. Vail explained the major cost components. The Phase 1 Facilities Agreement Capitals costs are \$3,842,776. The City can pay a monthly payment of \$268,600 from July 2012 to July 2035 with one catch up payment of \$940,100. The Phase 1 Facilities Water Rights for Soboba will cost \$1,372,000 to be paid in one lump sum payment. Soboba will have the right to use water until 2035. Any additional water purchases after the 1,470 acre feet that is included in Hemet's share, will cost \$502/a.f. delivered to storage. This will cost approximately \$737,940 per year beginning in 2013. There will be an additional cost of \$325 a.f. to extract the water. The Four Agency Agreement Capital cost is \$515,104.00. The subsidy for Recycled Water for 2011 will be \$26,148, Hemet's share is \$5,125. Full subsidy is not in effect yet. The Judgment and Water Management Plan will include an Administrative Assessment. The assessment will be based on \$50 a.f. of BAPR pumped annually. Based on 5420 a.f. the annual cost will be \$210,000. A Replenishment Assessment is not anticipated for Hemet in the next 5 years. These costs are based on the following assumptions: no further adjustment in Phase 1 Facilities cost; payment of back up payment through 2012; no payment for purchased water in 2012; steady water use under Four Agency Agreement; pump actual

2010 production no full BAPR; do not incur a Replenishment Assessment; and initial year and ongoing year amounts may change based on reconciliation each fiscal year. Initial year costs \$2,597,992. Ongoing costs of \$1,222,540. There will be impacts on the Water Fund. There is no current indebtedness and the Fund can pay the initial costs. However, there is a need to assess the long-term capital requirements as well as ongoing costs. The City will have the ability to sell/lease purchased water to offset costs. There is also a potential to store and retain as an asset for future use. The cost of MWD water will increase over time. Extraction of water will add another \$325 per a.f. pumped. If the City does not use their full BAPR it will lower their administrative assessment, a carry over credit will build up over time.

Rita Conrad, Finance Director, The following Water Fund projections assume that operating costs and revenues remain flat and include the Departments estimated capital needs. Without Ground Water Management Costs, the estimated Fund Balance at June 30, 2015 will be approximately \$6.4 million. With Ground Water Management costs, the estimated Fund Balance at June 30, 2015 will be approximately \$63,000. Ms. Conrad explained the benchmark used by rating agencies. AA-Rating requires 266 days of cash on hand. AAA-Rating requires 623 days of cash on hand. On June 30, 2015 the days of cash on hand without the GWM would be 359, with the GWM would be 3. Either with or without the GWM costs the Water Fund is not projected to be at AAA rating. This could impact the Water Fund's ability to issue debt. The Water Fund can bear costs for one, possibly two years barring any need to issue debt or unexpected capital costs. However, reserves will be reduced by approximately \$7 million by the end of 2014. It is recommended that the Water Fund have a professional rate study done within the next year. It is possible that rate increases and/or rate structure change will be necessary.

Mayor Pro Tem Foreman, confirmed that the City pays for the water that it pumps, pays an administrative assessment to the Watermaster for the water it pumps, and a wheeling fee. Mayor Pro Tem Foreman asked if there is any way to recharge the basin.

Mr. Vail, there is an administrative assessment of \$50.00 per a.f. that is paid to the Watermaster. The City only pays the wheeling charge if we wheel water through their system. If the City wants a direct pumping line to the extraction wells, the costs would be borne solely by the City. Currently, there is no facility to recharge water in the Hemet Basin. That will need to be built. The Watermaster would pay for the facility and the City would pay 19.6% (Hemet's share) of the cost, not 100%.

Council Member Franchville, asked if these costs are based on EMWD purchasing the water or the City extracting the water.

Mr. Vail, these costs are based on leaving the water in the ground and not pulling it out. EMWD and LHMWD have told the parties that they will buy the City's water, because they have the need. That decision can be made at a later date. We might need some of that water, we might even exchange wheeling service for water. Water appreciates in value and will eventually pay for itself.

Council Member Franchville, a couple of years ago San Jacinto said that they did not want to participate. Where do they stand now?

Mr. Vail, the reason this has taken so long is due to the Cities unwillingness to jump in.

Two years ago San Jacinto felt that they didn't want to participate, however now they are willing to participate. They don't want to pay level pay, they are going to do interest only payments and make larger payments in the future.

Council Member Franchville, obviously this is a costly decision, however water is very important to this valley. Moving forward and participating in the GWMP is necessary to secure water for the future.

Mayor Youssef, asked about the Water Rate Study.

Ms. Conrad, recommended that the bid process begin soon. The study might take as long as 6 months to complete.

Council Member Krupa, confirmed that if the City sells water to the other agencies, they can not export it. Council Member Krupa also confirmed that recycled water is still being considered.

Mr. Vail, the use of recycled water and conservation is very important, the water table can not be relied on from year to year. MWD also wants to store water in the Hemet Basin and that will give the City the opportunity to buy it in dry years. MWD is bringing recycled water to the south area of Hemet for their East Recreation Project. A member of the City Council will sit on the Watermaster Board and make decisions on the projects to be completed. We will have a weighted vote. Staff is looking for direction to bring back the agreements for City Council consideration.

Mr. Vail, the City has been reluctant to raise rates, it has been 5 years since its last increase. The aging system requires infrastructure improvements. If we do not participate, we will not have the money to pay for the improvements to save our water basin.

The City Council gave direction to staff to move forward with a Water Rate Study.

The City Council gave direction to staff to bring back agreements for City Council consideration at a future meeting.

The City Council moved to Closed Session at this time.

City Council Business Consent Calendar

2. **Recommendation by City Manager** - Amendment to Section 5.1 (Severance) of the Employment Agreement for the City Manager
 - a. Approve an amendment to Section 5.1 (Severance) of the Employee Agreement for the City Manager, extending said benefit an additional three (3) months for a total of nine (9) months.

This item was removed from the Consent Calendar.

Communications From the Public

Shellie Milne, Menifee, expressed concern with the reported \$1 million dollars to be spent on the Town & Country Mobile Home Park and requested a breakdown of the costs.

Eric Vail, City Attorney, this project is on hold due to the recent RDA decision.

The City Council returned to the Workstudy Session at this time.

Closed Session

Notice of Opportunity for Public Comment

There were no comments presented at this time.

The City Council recessed to Closed Session at 8:25 p.m.

3. Conference with Legal Counsel - Anticipated Litigation

One (1) matter of significant exposure to litigation pursuant to Government Code section 54956.9(b)

Reconvened at 8:47 p.m.

City Attorney Closed Session Report

4. Conference with Legal Counsel - Anticipated Litigation

One (1) matter of significant exposure to litigation pursuant to Government Code section 54956.9(b)

The City Council received a briefing from the City Attorney. There was no additional reportable action.

Future Agenda Items

There were no future agenda items requested at this time.

Adjournment

Adjourned at 8:48 p.m. to Tuesday, February 14, 2012 at 7:00 p.m.



#12

MINUTES

REGULAR MEETING OF THE HEMET CITY COUNCIL

February 14, 2012

6:30 p.m.

www.cityofhemet.org

City of Hemet Council Chambers
450 E. Latham Avenue

Please silence all cell phones

Call to Order

Mayor Youssef called the meeting to order at 6:30 p.m.

Roll Call

PRESENT: Council Members Franchville, Krupa and Smith, Mayor Pro Tem Foreman and Mayor Youssef

ABSENT: None

Closed Session

Notice of Opportunity for Public Comment

There were no comments presented at this time.

The City Council recessed to Closed Session at 6:30 p.m.

1. Conference with Legal Counsel - Existing Litigation
Pursuant to Government Code section 54956.9(a)
Names of case: *Heartland/MSK Realty Ventures, LLC v. City of Hemet, RIC535678*

REGULAR SESSION

7:00 p.m.

City of Hemet Council Chambers
450 E. Latham Avenue

Call to Order

Mayor Youssef called the meeting to order at 7:02 p.m.

Roll Call

PRESENT: Council Members Franchville, Krupa and Smith, Mayor Pro Tem Foreman and Mayor Youssef

ABSENT: None

OTHERS PRESENT: City Manager Nakamura, City Attorney Vail and City Clerk McComas

Invocation

Invocation was given by Marsha Walker, Hemet-San Jacinto Interfaith Council followed by a moment of silence for Mel Lowe.

Pledge of Allegiance

Pledge of Allegiance was led by Council Member Smith.

City Attorney Closed Session Report

2. Conference with Legal Counsel - Existing Litigation
Pursuant to Government Code section 54956.9(a)
Names of case: *Heartland/MSK Realty Ventures, LLC v. City of Hemet, RIC535678*
The City Council received an update and gave direction to the City Attorney. There was no additional reportable action.
-

Presentation

3. Recognize West Valley's Academic Decathlon Champions
Mayor Youssef and Mayor Pro Tem Foreman, recognized and presented Certificates of Appreciation to the members of West Valley's Academic Decathlon Champions.
-

Brian Nakamura, City Manager, requested that the City Council add as an urgency item to the Consent Calendar a resolution that needs to be adopted prior to the February 2, 2012 City Council meeting and arose subsequent to the preparation of the agenda.

Mayor Pro Tem Foreman moved and Council Member Krupa seconded a motion to add Item No. 10A to the Consent Calendar. Motion carried 5-0.

City Council Business Consent Calendar

4. **Approval of Minutes** - December 13, 2011
5. **Approval of Minutes** - December 22, 2011
6. **Recommendation by Public Works** - Notice of Completion - Project No. 5565 - Well #15 Rehabilitation
 - a. Accept this project; and
 - b. Instruct the City Clerk's Office to file a Notice of Completion with the County of Riverside Recorder's Office. The 10% retention and the Labor and Materials Bond will be released after the Notice of Completion is filed with the County Recorder's Office. The Performance Bond will be maintained for, and released after a period of one year.

7. **Recommendation by the Park Commission - Tree Removal Requests**
 - a. 548 De Soto Drive - Crape Myrtle (1)
Recommendation to deny request, approve to schedule tree for trim only
 - b. 408, 412, & 414 E. Florida Avenue - Magnolia (2) & African Sumac (1)
Recommendation to approve request and replace
 - c. 362 N. Buena Vista Street - Washington Robusta (2)
Recommendation to approve request and replace

8. **Recommendation by Engineering Director - City of Hemet Streetlight Maintenance District No. 52 (Seven Hills)**
 - a. Adopt a resolution initiating proceedings for the formation of City of Hemet Streetlight Maintenance District No. 52 (**Resolution No. 4478**); and
 - b. Adopt a resolution preliminarily approving the Engineer's Report in connection with the formation (**Resolution No. 4479**); and
 - c. Adopt a resolution declaring the City's intention to levy and collect assessments and calling for a public hearing on the formation of City of Hemet Streetlight Maintenance District No. 52.
(Resolution No. 4480)

9. **Recommendation by Engineering Director - City of Hemet Landscape Maintenance District No. 52 (Seven Hills)**
 - a. Adopt a resolution initiating proceedings for the formation of City of Hemet Landscape Maintenance District No. 52 (**Resolution No. 4481**); and
 - b. Adopt a resolution preliminarily approving the Engineer's Report in connection with the formation (**Resolution No. 4482**); and
 - c. Adopt a resolution declaring the City's intention to levy and collect assessments and calling for a public hearing on the formation of City of Hemet Landscape Maintenance District No. 52.
(Resolution No. 4483)

10. **Recommendation by Engineering - Award of Bid for South Juanita Water Line Replacement, City Project No. 5555**
 - a. Award the contract to the lowest bidder, Pro-Craft Construction, Inc. for the South Juanita Waterline Replacement Project CIP 555 in the amount of \$233,535, and reject all other bids; and
 - b. Authority the City Manager to enter into a construction contract for the improvements; and
 - c. Establish budget in the amount of \$233,535 in CDBG Fund No. 240-3975-5500 for the cost of construction and \$35,000 in CDBG Fund No. 240-3975-2710 for geotechnical testing and surveying and \$12,000 in CDBG Fund 240-3975-1100 for staff administrative time and inspection services.

- 10.A **Recommendation by City Manager** - Supporting the Transfer of Ontario International Airport (ONT) to Local Control
- a. Adopt a resolution supporting the transfer of Ontario International Airport (ONT) to local control. **(Resolution No. 4484)**

Item No. 10 was removed from the Consent Calendar. **Council Member Franchville moved and Mayor Pro Tem Foreman seconded a motion to approve this the remaining Consent Calendar items as presented. Motion carried 5-0.**

Item No. 10

Brian Nakamura, City Manager, the lowest bidder pulled out. The Item will come back at a subsequent meeting.

City Council acting as the Redevelopment Successor Agency Consent Calendar

11. **Approval of Minutes** - Hemet Redevelopment Agency December 13, 2011
12. **Recommendation by Finance Department** - Local Agency Investment Fund (LAIF) Account for Successor Agency to the Hemet Redevelopment Agency
 - a. Adopt a resolution as the Successor Agency to the Hemet Redevelopment Agency, authorizing investment monies in the Local Agency Investment Fund (LAIF). **(Resolution No. 4485)**

Council Member Smith moved and Council Member Krupa seconded a motion to approve the Consent Calendar as presented. Motion carried 5-0.

Communications From the Public

Bob Duistermars, Action Group, complimented the City Council for the Hemet ROCS program.

Public Hearings

13. **Zoning Ordinance Amendment 12-001, Sex Offender Residency Restrictions in the City of Hemet** - Community Development Director Elliano
 - a. Conduct a public hearing; and
 - b. Introduce, read by title only and waive further reading on a Ordinance establishing Article X, Division 3 of the Hemet Municipal Code regarding residency restrictions for sex offenders. **(Ordinance Bill No. 12-005)**

Deanna Elliano, Community Development Director, this is one of the components of the Hemet ROCS program. The City Council requested an ordinance imposing additional residency requirements on sex offenders. This ordinance is within the boundaries of Jessica's Law, case law and fair housing. This ordinance prohibits sex offenders from living within 2,000 feet from any public or private school, or any park where children regularly gather. In addition, it prohibits sex offenders from living within 2,000 feet of a licensed child care facility, the Hemet Public Library, James Simpson Memorial Center, Fingerprints

Museum and the Police Activities League (PAL) Club. This is the strictest provision of this ordinance within State Law. This ordinance was unanimously recommended by the City's Planning Commission.

Council Member Smith, asked if the ordinance has to be amended to remove or add specific facilities.

Ms. Elliano, confirmed that the ordinance would have to be amended if the City opened a new Library or Children's Museum. Licensed Care Facilities will just need to be tracked administratively. As the sex offenders register the map will be updated.

Council Member Franchville, expressed concern that Megan's Law website is not accurate and/or current.

Chief Brown, this law only applies to sex offenders that register after the effective date of this ordinance forward. When an offender registers, staff will look at a map to determine that their residency meets this criteria.

Mayor Youssef declared the Public Hearing opened at 7:24 p.m.

There were no public comments presented at this time.

Mayor Youssef declared the Public Hearing closed at 7:24 p.m.

Mayor Youssef, this City Council feels that adequate protection of our children is important. Mayor Youssef commended the Police Department and Planning for this ordinance.

Mayor Pro Tem Foreman, I understand that State Law prohibits us from adopting more restrictive prohibitions. Hopefully this will help clean up our city.

Mayor Pro Tem Foreman moved and Council Member Franchville seconded a motion to introduce this ordinance, read by title only and waive further reading.
The ordinance was read by title only.

Discussion/Action Items

14. **Hemet ROCS Status Report and Request to Establish Advisory Committee**
 - Community Development Director Elliano
 - a. That the Mayor establish an "Ad-Hoc Executive Advisory Committee" for the Hemet ROCS Program, and appoint a Council Member and Alternate Council Member to serve on the committee with the Mayor and City Department Heads; and
 - b. That the Mayor authorize the establishment of a "Hemet ROCS Citizen Advisory Committee" to provide input on various proposed ordinances, implementation measures, and community issues and perspective associate with the Program.

Mayor Youssef, this is a proud day, the residents of Hemet will have a chance to get involved and participate in the transformation of Hemet.

Deanna Elliano, Community Development Director, this is a mulit-department effort. 18 potential ordinances have been identified. These 5 ordinances have already been adopted: prohibition on medical marijuana dispensaries; regulation on shopping carts; moratorium on smoke shops and hookah lounges; "Florida First" program; and sex offender location restrictions. The sex offender residency restrictions ordinance was introduce this evening. These ordinances are being implemented as soon as they are effective. 4 new

ordinances have been prepared and are under review by the Technical Advisory Team, the ordinances are: group homes & boarding houses; parolee/probationer housing; drug & gang related crime on residential property; and abatement of chronic nuisance properties. Three existing ordinances are in the processes of being reviewed for amendments: administrative citations; nuisance abatement ordinance; and abandoned/foreclosure ordinance. Five additional ordinances need research and review of other agencies and case law: rental unit registration and inspection ordinance; landscape & property maintenance; motel residency; prostitution; and alcoholic beverage permit regulations. Implementation efforts are being done on medical marijuana dispensaries; smoke shops; shopping cart regulations & containment plans; Florida First Program; and sex offender restrictions. Staff is reviewing and refining the formation of the staff Technical Advisory Team which will include a representative from all City Departments; the Executive Advisory Committee; Government Agency Liaison Group; and the Citizen Advisory Committee. Staff is requesting that the City Council appoint a Council member and an alternate to the Ad-Hoc Executive Advisory Committee (EAC); authorize the establishment of a Citizen's Advisory Committee (CAC); and provide staff direction as to the organizations or entities to be represented on the Citizen's Committee.

Mayor Youssef, the CAC will advise the EAC since the residents know more what measures would be effective. The CAC will consist of a member of the Chamber of Commerce; a member of the City's Planning Commission; a member from the Hemet-San Jacinto Action Group; two members from area non-profit organizations; a member from a faith based organization; a mobile home park resident; and at-large residents. We hope to mimic the success of the GPAC.

Mark Orme, Deputy City Manager, glad to see the enthusiasm in staff as well. Hemet ROCS Web Page will include news flashes, updates and the Citizen Action Form. With the lack of resources and staffing we will have to rely on the Community Members that want to help. "Renewal of the City" is the responsible thing to do. Staff will keep this page updated with the most current information. The Citizen Action Forms are also available at City Hall.

Mayor Youssef, thanked the City Council and staff for their efforts and expressed enthusiasm for the program.

Council Member Franchville, thanked Chief Brown for the successful Florida First Program.

Mayor Pro Tem Foreman, this isn't a City issue, this really is a community issue.

Council Member Krupa, staff is doing an amazing job. Council Member Krupa asked about the form and the information that will be obtained.

Mr. Orme, gave the City Council an overview of the online Hemet ROCS Webpage and explained the Citizens Action Form.

Council Member Smith, first we adopted a General Plan that we can be proud of, now this. We need to include representatives from our State Offices and seek their assistance. Council Member Smith recommended that the City Council prioritize the proposed ordinances. Council Member Smith suggested that the CAC assist with prioritizing the ordinances.

Connie Hall, United Way, commended that City Council. The residents are very excited about this program. The CAC is a step in the right direction.

Mona Groff, Hemet, asked how the information will get to the residents.

Brian Nakamura, City Manager, there are reporters from both the Press Enterprise and the Valley Chronicle here, hopefully they will help get the word out.

Mayor Pro Tem Foreman moved and Council Member Franchville seconded a motion to approve this item as presented. Motion carried 5-0.

The City Council appointed Council Member Franchville and Mayor Pro Tem Foreman as the alternate to the Ad-Hoc Executive Advisory Committee.

15. **Fourth Amendment to Stetson Crossing Purchase and Sale Agreement** - John Jansons, Community Investment Director

a. Approve the Fourth Amendment to the Stetson Crossing Purchase and Sale Agreement; and

b. Authorize the City Manager to execute the agreement

Mayor Youssef recused himself due to the close proximity to his residence.

John Jansons, Community Development Director, the City Council approved the Third Amendment on January 24, 2012. At that time, Mr. Cooper requested that the City Council consider extending the Closing Date to September 30, 2012 and requested permission to substitute a multi-screen theater complex in place of a National Retailer as an anchor tenant. Mr. Cooper also requested that the City consider amending the Specific Plan to allow for a "premium movie theater" as the anchor tenant. It was also requested that the requirement to "provide evidence of financial capacity to perform" be extended to August 24, 2012. This request also stipulates that flood control channel work funded by City/Agency will be started by April 1, 2012 and completed by July 31, 2012 as mutually agreed upon by City and Developer. The staff reports has a completion date of June 30, 2012, the Developer has requested the extension in case weather does not permit an April 1, 2012 start date. Mr. Jansons reminded the City Council that Riverside County Flood Control will not allow any work to begin in the Channel until April 1st.

Council Member Franchville, what will happen if the Flood Control Channel is not completed by July 31, 2012, will the developer still be able to meet his September 30, 2012 deadline.

Mr. Jansons, if the Developer can not complete the work and meet their requirements by September 30, 2012, they will be back before the City Council again.

Council Member Franchville moved and Council Member Smith seconded a motion to approve this item as amended. Motion carried 4-0.

16. **Special Event Funding Policy** - John Jansons, Community Investment Director

a. Approve the proposed guidelines and policy for the funding and support of special events in Hemet.

John Jansons, Community Investment Director, staff has created guidelines and a policy for City support of special events in Hemet. The City of Hemet has a long tradition of producing and funding special events that provide community benefit to residents and businesses. In years past, the events were funded by both the City's General Fund and by the City's Redevelopment Agency(RDA). Past support of events has included cash

sponsorship and in-kind support of equipment, facilities and labor. The Event Funding package helps the City Council and staff determine the merits of the events. Helps determine the benefits of the event, such as tourism, increase the use of hotels, restaurants, fuel purchases. Encourages and awards events that are positive and healthy activities for the residents and families. These events also encourage pride of community. This will provide an organized manner in which the City accepts the requests, then ranks the events and ultimately awards funding for the various activities. It was an oversight of staff to require that the event be in the City limits. The City Council will have the freedom to support community events. The prohibition of sporting events will be worded differently, it was to discourage teams from seeking sponsorship from the City. Sporting events such as the Tinsel Tri would still be considered.

Mayor Youssef, asked how this will effect some of the large events that bring large numbers of spectators into the valley.

Brian Nakamura, City Manager, the return on investment needs to be considered. The impact to the General Fund, TOT, and the loss of RDA is imperative in this discussion. On February 28, 2012 the City Council will get an report on the mid-year budget. This will need to be a consideration when discussing this type of allotment. How the money is distributed and the amount of money that is awarded will be determined by the City Council. The City Council will have the revenue projections for the event and can require a recap to determine what the actual impact was. The Airshow and the Ramona Pageant are big revenue generators. The duration, how often and how long the event is will make an difference also. It is understood that the City Council would like to fund them all. Unfortunately, that will not be possible with the loss of the RDA funding. One idea is to assist and fund these events until they become self sustaining. The in-kind is not a cash donation, it is the use of facilities, equipment, and employees. These donations still have a cost to the City, the fuel for vehicles, the salary for the employees and the utilities for the facilities are still costs to the City.

John Jansons, another form of in-kind is the request for fee waivers. Staff is not paid for the services that are provided, such as the \$2,500 for a CUP, or the \$800 for an Event Permits.

The City Council and staff discussed the award amount.

Mayor Pro Tem Foreman, suggested that a hard and fast amount not be considered. The amount of the award should be based on the events merit and its return to the City.

Council Member Franchville, without RDA funding, some sort of cap is necessary. The City Council doesn't even know how much money is available for event funding. The merit system will be subjective based on the City Council's opinion, maybe a grade scale can be determined at one meeting by the City Council and then recommendations brought back by the staff at a subsequent meeting.

Mr. Nakamura, the funds available will fluctuate from year to year. The events listed and even those not listed are very important. In-kind services is one way the City can assist, even with limited staff we see the importance. The City Manager can make the recommendations, but staff wanted to bring this to the City Council for their recommendations.

Council Member Krupa, the events that draw the largest contingent are not in the City, but use the name Hemet when they advertise. We want to continue to have these events. There are smaller events like the Shuffleboard Tournament that get overlooked, but they bring 300 to 400 people to Hemet for a week. All we do is provide a banner welcoming the members to Hemet, Council Member Krupa asked for a report to show the influx of revenue during the weekends of the Ramona Pageant and the Tinsel Tri.

Council Member Smith, spoke in favor of a program like this, but requested a hard dollar amount to work with.

Mayor Youssef, agreed that a uniform process would be helpful. The City Council needs to determine how to award the money. Mayor Youssef recommended a Workstudy Session or an Ad-Hoc Committee to further develop the guidelines and policy.

Council Member Smith, suggested that staff incorporate the City Council comments and bring back a recommendation.

Bob Duistermars, Central County United Way, spoke in favor of the Tinsel Tri and the Pageant. The City Council needs to know the revenue generated from these events. The money earned from the Tinsel Tri goes back into the this Community. Including events funding as part of the City's budget is very important. The budget can always be amended if necessary.

Lori VanArsdale, President of the Ramona Bowl Association, the Ramona Pageant is celebrating its 89th year. When the attendance was good, the Bowl didn't ask for money. In the past the Bowl used to donate \$40,000 to each Chamber. The Bowl is coming back and working hard on marketing Hemet. Group sales are up 40% this year and overall attendance is up 41% this year. There are 618 volunteers from this Valley that make this event happen. The Bowl is used by this Community, Hemet High School graduations are held there, the Bowl did the Memorial Day Event there, the "911" Event was also held there. As the Bowl gets funds, it gives back to the Community. The Bowl's budget is \$350,000 to produce the Ramona Pageant.

Council Member Smith, requested that Ms. VanArsdale report back to the City Council on the events success.

Marty Boyajian, Hemet Shuffleboard Association, the Association has received sponsorship from the City for 25 years for our annual tournament, held in March. The tournament has 400 to 500 participants, 50 percent are from outside of the Valley. The tournament lasts 10 to 14 days. The Hemet Shuffleboard Association will be hosting the International tournament in a couple of years. That will last 10 days and most participants bring their families. The Association has not asked for financial assistance for the last couple of years, we have sought private sponsorship.

The City Council gave direction to staff to bring back this item at a Workstudy Session.

17. **Mayoral Appointment of Members to the Redevelopment Agency Dissolution Oversight Board** - John Janson, Community Investment Director
 - a. Adopt a resolution confirming the Mayor's appointment of members to the Oversight Board. **(Resolution Bill No. 12-011)**

John Jansons, Community Investment Director, AB1X26 calls for a number of wind down and dissolution activities. One of the activities is to create a seven member

Redevelopment Agency Dissolution Oversight Board. Two of the seats are locally appointed. Staff is recommending that Brian Nakamura, the RDA's Executive Director be one of the staff representatives and John Jansons the second position.

Council Member Krupa, applauded the recommendations, they understand the concerns. **Council Member Krupa moved and Council Member Franchville seconded a motion to approve this item as presented. Motion carried 5-0.**

18. **Public Safety Data Management Software System** - Dave Brown, Police Chief
- a. Approve the purchase and implementation of the SpeedTrack Data Management System.

Dave Brown, Police Chief, City Council approved an upgrade last June to the City's computer aided dispatch and records management system. That system is scheduled to go-live in March. The Police and Fire command staff have identified a deficiency in the availability of management-level data and information needed for performance monitoring and resource allocation. The relevant and timely data provided by SpeedTrack will enhance the Department's ability to more effectively deliver public safety services.

Council Member Krupa, asked when the implementation and start date would be.

Chief Brown, given the unique integration with the West Covina Services Group, the Department was hoping to implement in February, but it might be more like late March.

Council Member Krupa, will this program help with the tracking of AB109 offenders.

Chief Brown, yes, this will tell us where they are living and their concentration in the community, as well as identify their activity.

Council Member Smith, asked if existing patrol units and fire engines will be fully integrated with the new system.

Chief Brown, confirmed that the public safety units will be integrated.

Council Member Franchville moved and Mayor Pro Tem Foreman seconded a motion to approve this item as presented. Motion carried 5-0.

19. **Lease with Amerco Real Estate DBA U-Haul for Real Property** - Community Investment Director Jansons

- a. Approve a lease for real property located at 250-256 East Meier Street to Amerco Real Estate, DBA: U-Haul Center, Hemet, CA; and
- b. Authorize the City Manager to execute the lease.

John Jansons, Community Investment Director, proposed a lease agreement with Amerco Real Estate, dba as U-Haul. This lease is for a portion of the Potato Shed. The property is used to park their overflow truck storage. Since 2006, U-Haul was sub-leasing this property directly from Agri-Empire. The lease rate is their current rate and in the spirit of business retention we did not want to raise it.

Brian Nakamura, City Manager, this is a way to keep U-Haul's overflow truck storage off the City streets.

Mayor Pro Tem Foreman, asked about the liability.

Eric Vail, City Attorney, the City is in a better situation now than when the property was sub-leased by Agri-Empire.

Mr. Jansons, the intent is to continue to allow U-Haul to use the property while the City conducts site preparation for a future use.

Howard Tounget, Hemet, spoke in favor of the lease. Mr. Tounget did request that the property be maintained in accordance with City standards. The number of vehicles on a dirt parking lot would not be allowed anywhere else in the city.

Mayor Pro Tem Foreman moved and Council Member Krupa seconded a motion to approve this item as presented. Motion carried 5-0.

20. **Lease of Real Property located at 250-256 East Meier Street** - Community Investment Director

- a. Approve a short term lease for real property located at 250-256 East Meier Street to Agri-Empire of San Jacinto, CA; and
- b. Authorize the City Manager to execute the lease.

John Jansons, Community Development Director, staff is recommending approval of the proposed lease for the primary building with Agri-Empire. A revised agreement was distributed. The Conditions set forth by the City and terms are still being requested. The requested changes to the agreement are noted. Staff has negotiated a rate of \$2,500 per month.

Brian Nakamura, City Manager, staff has been working with Agri-Empire on the details of the agreement through today. Prior to this meeting Agri-Empire approved the most recent version of the agreement.

Howard Tounget, Hemet, expressed concern with the liability due to the condition of the building. The exhibits are not included with the staff report. The current lease expired in August of 2011. The City of Hemet has reports that say that this building is unsafe. This building should be red tagged. This document admits that you know this building is unsafe and not suitable for human occupancy.

Brian Nakamura, Hemet, a third party Engineer did a structural analysis. The only specific issues that were raised were earthquake and/or wind damage. In the event of an earthquake or severe winds an additional assessment might be necessary. Mr. Minor will make the recommended improvements. There is a requirement to put up signage and cordon off areas that are not inhabitable. There is a security guard onsite to secure the facility in the evening, paid for by Agri-Empire. The City has a Certificate of Liability that names the City as an additional insured.

Eric Vail, City Attorney, the City can enter with notice for certain reasons and enter at any time for emergency purposes.

Council Member Smith moved and Council Member Franchville seconded a motion to approve this item as amended. Motion carried 5-0.

City Council Reports

21. CITY COUNCIL REPORTS AND COMMENTS

A. Council Member Franchville

- 1. Riverside Transit Agency (RTA)
- 2. Airport Land Use Commission (ALUC)
- 3. League of California Cities
- 4. Autism Task Force

- B. Council Member Krupa
 - 1. Library Board
 - 2. Traffic and Parking Commission
 - 4. Riverside County Habitat Conservation Agency (RCHCA)
 - 5. Riverside Conservation Authority (RCA)
 - 6. Ramona Bowl Association
 - 7. Indian Gaming Distribution Fund

- C. Council Member Smith
 - 1. League of California Cities
 - 2. Riverside County Transportation Commission (RCTC)

Council Member Smith, explained that SCAG is suppose to remove the CTAP Corridor A from the "critical gaps in the region" list and replace it with the Highway 79 realignment. Council Member Smith recommended that a letter of appreciation be sent to RCTC for moving this project up on their list of priorities. This letter should be signed by all of the members of the City Council. Council Member Smith will continue to request that Highway 79 become a major highway project which will put it in a better position for future funding.

- 3. Planning Commission
- 4. Public Safety Update
- 5. National League of Cities

- D. Mayor Pro Tem Foreman
 - 1. Park Commission
 - 2. Indian Gaming Distribution Fund

- E. Mayor Youssef
 - 1. Western Riverside Council of Governments (WRCOG)
 - 2. Riverside County Transportation Commission (RCTC)

- F. Ad-Hoc Committee Reports

- G. Town Hall Meetings

- H. City Manager Nakamura
 - 1. Manager's Reports
 - 2. Commission Appointments

Brian Nakamura, City Manager, a formal report with options for Commission appointments will be presented at the February 28th Council meeting. Most cities use three main processes, which are: appointment by Mayor; Public interview process; and City Council Sub-Committee process. The Mobile Home Rent Review process is set by Ordinance.

Brian Nakamura, City Manager, Diamond Valley Lake (DVL) has approved a conceptual proposal. Mr. Ray Hicks will present the proposal to the City Council to review. Mr. Hicks has really gotten in front of the board, as well as Randy Record.

Brian Nakamura, City Manager, the meeting of February 28th will begin at 3:00 p.m. The Finance Director will be presenting the Mid-Year Budget update, as well as other workstudy session items that will require a 3:00 p.m. start.

Future Agenda Items

AB 109

Adjournment

Adjourned at 9:35 p.m. to Tuesday, February 28, 2012 at 7:00 p.m.



Staff Report

TO: Honorable Mayor and Members of the City Council

FROM: Rita Conrad, Director of Administrative Services;
Brian Nakamura, City Manager *BN*

DATE: March 27, 2012

RE: Warrant Register

The City of Hemet's current warrant registers dated February 23, 2012, March 6, 2012 and March 8, 2012 are attached for review and approval. Payroll for the period of February 20, 2012 to March 4, 2012 was 562,024.37.

CLAIMS VOUCHER APPROVAL

"I, Rita Conrad, Finance Director, do hereby certify that to the best of my knowledge and ability, the above and foregoing is a true and correct list of warrants for bills submitted to the City of Hemet, and the payroll register through the dates listed above, and that there will be sufficient monies in the respective funds for their payment."

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Rita Conrad", is written over the typed name.

Rita Conrad
Director of Administrative Services

RC: mh

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140859	2/23/2012	10007 A A EQUIPMENT RENTAL CO	09 7923718		EQUIPMENT RENTAL/PARTS/SU EQUIPMENT RENTAL/PARTS/SU 684-4550-2350	180.22
			09 7923741		EQUIPMENT RENTAL/PARTS/SU EQUIPMENT RENTAL/PARTS/SU 684-4550-2350	159.18
Total :						339.40
140860	2/23/2012	83711 ADAME LANDSCAPE INC	44897		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 228-8250-2450	20.40
			44899		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	39.60
			44900		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	8.40
			44908		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	67.20
			44954		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	95.00
			44955		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	95.00
			44959		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	33.45
			44960		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	14.40
			44961		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	8.40

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140860	2/23/2012	83711 ADAME LANDSCAPE INC	(Continued) 44962		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	13.20
			44986		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	95.00
			44987		LANDSCAPING AND MAINTENANCE LANDSCAPING AND MAINTENANCE 225-8250-2450	95.00
Total :						585.05
140861	2/23/2012	85283 AGUILAR, KATHLEEN	REQ 02/08		REIMBURSE EXPENSES REIMBURSE EXPENSES 100-1200-2560	40.00
					REIMBURSE EXPENSES 100-2073	214.65
Total :						254.65
140862	2/23/2012	54790 AIRGAS WEST, INC	9003923034		WELDING & OXYGEN SUPPLIES WELDING & OXYGEN SUPPLIES 684-4550-2450	281.57
			9003996448		WELDING & OXYGEN SUPPLIES WELDING & OXYGEN SUPPLIES 221-4200-2450	152.88
Total :						434.45
140863	2/23/2012	76776 ALL AMERICAN ASPHALT	761260		ASPHALT AND PAVING MATERIALS ASPHALT AND PAVING MATERIALS 221-4200-2450	539.40
Total :						539.40
140864	2/23/2012	10710 AL'S KUBOTA TRACTOR INC	303275		REPAIRS/PARTS/SHARPENING REPAIRS/PARTS/SHARPENING 110-3200-2850	152.82
			303519		REPAIRS/PARTS/SHARPENING	

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140864	2/23/2012	10710 AL'S KUBOTA TRACTOR INC	(Continued)			
			304127		REPAIRS/PARTS/SHARPENING 110-3200-2850	187.45
					REPAIRS/PARTS/SHARPENING REPAIRS/PARTS/SHARPENING 684-4550-2350	9.51
					Total :	349.78
140865	2/23/2012	90360 ALTISOURCE SOLUTIONS INC	98487		REFUND 405 S WALNUT REFUND 405 S WALNUT 571-0835	362.40
					Total :	362.40
140866	2/23/2012	79612 AMAZON.COM	0049714		LITERATURE LITERATURE 363-6100-2220	2,176.14
					Total :	2,176.14
140867	2/23/2012	90276 ANDERSON, TROY	99359		REFUND 2428 SAN PADRE REFUND 2428 SAN PADRE 571-0835	138.37
					Total :	138.37
140868	2/23/2012	69018 ANIMAL MEDICAL CENTER	15235		VETERINARIAN SERVICES VETERINARIAN SERVICES 110-3100-2701	191.00
					Total :	191.00
140869	2/23/2012	90709 ANTHONY, MELINDA/LARRY	8085		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	334.53
					Total :	334.53
140870	2/23/2012	90710 ARAMBULA, KATHRYN/MARIO	88984		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	43.30

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140870	2/23/2012	90710 90710 ARAMBULA, KATHRYN/MARIO	(Continued)			Total : 43.30
140871	2/23/2012	12112 ARRANGEMENT GALLERY FLOR, INC	981		FLORAL ARRANGEMENTS FLORAL ARRANGEMENTS 100-1100-2220	169.00 Total : 169.00
140872	2/23/2012	90711 ARREDONDO, SHANTE	96861		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	268.63 Total : 268.63
140873	2/23/2012	85561 ARROYO BACKGROUND INVESTIGATIO	821		BACKGROUND INVESTIGATIONS BACKGROUND INVESTIGATIONS 110-3100-2712	870.00 Total : 870.00
140874	2/23/2012	77997 AUTO ZONE, INC	2820779364 2820828485		AUTO PARTS AND SUPPLIES AUTO PARTS AND SUPPLIES 684-4550-2350 AUTO PARTS AND SUPPLIES AUTO PARTS AND SUPPLIES 684-4550-2350	54.94 12.93 Total : 67.87
140875	2/23/2012	13566 B & W PIPE & SUPPLY	90866 90870 90872		PIPE & LANDSCAPING SUPPLIES PIPE & LANDSCAPING SUPPLIES 254-4650-2450 PIPE & LANDSCAPING SUPPLIES PIPE & LANDSCAPING SUPPLIES 110-4250-2450 PIPE & LANDSCAPING SUPPLIES PIPE & LANDSCAPING SUPPLIES 110-4250-2450	5.80 72.10 194.34 Total : 272.24
140876	2/23/2012	89022 B N E EQUIPMENT REPAIR	4490		LANDSCAPING EQUIP REPAIR/PARTS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140876	2/23/2012	89022 B N E EQUIPMENT REPAIR	(Continued)		LANDSCAPING EQUIP REPAIR/PARTS 228-8265-2450	7.95
			4572		LANDSCAPING EQUIP REPAIR/PARTS LANDSCAPING EQUIP REPAIR/PARTS 228-8265-2450	119.77
			4578		LANDSCAPING EQUIP REPAIR/PARTS LANDSCAPING EQUIP REPAIR/PARTS 228-8265-2450	12.82
Total :						140.54
140877	2/23/2012	82263 B W I	155630d		BOOKS, CD'S, DVD'S, VHS BOOKS, CD'S, DVD'S, VHS 363-6100-2223	191.00
			241931d		BOOKS, CD'S, DVD'S, VHS BOOKS, CD'S, DVD'S, VHS 363-6100-2223	183.74
			245078d		BOOKS, CD'S, DVD'S, VHS BOOKS, CD'S, DVD'S, VHS 363-6100-2223	68.16
			248950d		BOOKS, CD'S, DVD'S, VHS BOOKS, CD'S, DVD'S, VHS 363-6100-2223	101.36
			252342d		BOOKS, CD'S, DVD'S, VHS BOOKS, CD'S, DVD'S, VHS 363-6100-2228	102.43
			252459d		BOOKS, CD'S, DVD'S, VHS BOOKS, CD'S, DVD'S, VHS 363-6100-2228	65.67
			260250d		BOOKS, CD'S, DVD'S, VHS BOOKS, CD'S, DVD'S, VHS 363-6100-2228	358.98
Total :						1,071.34
140878	2/23/2012	70164 BAKER & TAYLOR, INC	4010049696	2012-000328	FOR LIBRARY MATERIALS-LITERATUR FOR LIBRARY BOOKS FOR THE PERIO	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140878	2/23/2012	70164 BAKER & TAYLOR, INC	(Continued)			
			4010067045	2012-000328	363-6100-2220 FOR LIBRARY MATERIALS-LITERATUR FOR LIBRARY BOOKS FOR THE PERIO	468.58
			4010068917	2012-000328	363-6100-2220 FOR LIBRARY MATERIALS-LITERATUR FOR LIBRARY BOOKS FOR THE PERIO	1,131.92
			4010072523	2012-000326	363-6100-2220 FOR LIBRARY BBOKS FOR THE PERIO FOR LIBRARY BBOKS FOR THE PERIO	459.71
			4010078026	2012-000326	363-6100-2228 FOR LIBRARY BBOKS FOR THE PERIO FOR LIBRARY BBOKS FOR THE PERIO	175.87
			4010083275	2012-000326	363-6100-2228 FOR LIBRARY BBOKS FOR THE PERIO FOR LIBRARY BBOKS FOR THE PERIO	52.99
			W37746160	2012-000327	363-6100-2228 FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T	16.17
			W49432610	2012-000327	363-6100-2226 FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T	14.35
			W52662540	2012-000327	363-6100-2226 FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T	28.70
			W53000540	2012-000327	363-6100-2226 FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T	28.70
			W55685630	2012-000327	363-6100-2226 FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T	28.70
			W58863580	2012-000327	363-6100-2226 FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T	143.50
			W62697940		363-6100-2226 FOR AUDIO VISUAL MATERIALS FOR T	143.50

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140878	2/23/2012	70164 BAKER & TAYLOR, INC	(Continued)			
				2012-000327	FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	43.05
			W63300200	2012-000327	FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	14.35
			W64627640	2012-000327	FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	114.80
			W65948760	2012-000327	FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	28.70
			W66169380	2012-000327	FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	114.80
			W67583890	2012-000327	FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	143.50
			W72176840	2012-000327	FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	143.50
			W74316950	2012-000327	FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	172.20
			W75763510	2012-000327	FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	114.80
			W77254050	2012-000327	FOR AUDIO VISUAL MATERIALS FOR T FOR AUDIO VISUAL MATERIALS FOR T 363-6100-2226	621.68
					Total :	4,204.07
140879	2/23/2012	74556 BAKER, JOHN	MAR 2012		PYMT IN LIEU OF CONTR MEDICAL INS PYMT IN LIEU OF CONTR MEDICAL INS 689-2150-2400	446.87

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140879	2/23/2012	74556 74556 BAKER, JOHN			(Continued)	Total : 446.87
140880	2/23/2012	90712 BARBER, NETTIE	95335		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	72.29 Total : 72.29
140881	2/23/2012	87001 BARTEL ASSOCIATES, LLC	12-070	2012-000422	CONSULTANT TO PERFORM ACTUARIAL	32.93
				2012-000422	CONSULTANT TO PERFORM ACTUARIAL 571-9000-2710	43.90
				2012-000422	CONSULTANT TO PERFORM ACTUARIAL 553-4500-2710	373.17
					CONSULTANT TO PERFORM ACTUARIAL 100-1400-2710	Total : 450.00
140882	2/23/2012	90714 BELT, BERNARD/DELORES	6263		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	13.35 Total : 13.35
140883	2/23/2012	90713 BERG, KASHAWNA	91937		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	88.14 Total : 88.14
140884	2/23/2012	79706 BETTS SPRING COMPANY, INC	10 948857		EQUIPMENT MAINT-SPRINGS EQUIPMENT MAINT-SPRINGS 684-4550-2350	109.47 Total : 109.47
140885	2/23/2012	75427 BIO-TOX LABORATORIES, INC	24637		BLOOD ANALYSIS BLOOD ANALYSIS 110-3100-2711	1,866.70
			24638		BLOOD ANALYSIS BLOOD ANALYSIS 110-3100-2711	238.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140885	2/23/2012	75427 75427 BIO-TOX LABORATORIES, INC	(Continued)			Total : 2,104.70
140886	2/23/2012	69134 BISHOP COMPANY	344321		PARTS AND SUPPLIES	
					PARTS AND SUPPLIES	
					254-4650-2450	185.30
			344699		PARTS AND SUPPLIES	
					PARTS AND SUPPLIES	
					221-4200-2450	196.13
					Total :	381.43
140887	2/23/2012	69175 BLUE RIBBON PLUMBING	19085		CDBG REIMBURSEMENT	
					CDBG REIMBURSEMENT	
					240-3947-2400	323.70
			19788		PLUMBING SERVICES	
					PLUMBING SERVICES	
					291-1926-2400	652.75
					Total :	976.45
140888	2/23/2012	90715 BOETGER, ANTHONY	98210		REFUND CLOSED UTILITY ACCT	
					REFUND CLOSED UTILITY ACCT	
					571-0835	30.26
					Total :	30.26
140889	2/23/2012	90557 BOOKS BLOSSOMS N MORE	51337		REFUND UTILITY ACCOUNT	
					REFUND UTILITY ACCOUNT	
					571-0835	99.87
					Total :	99.87
140890	2/23/2012	87976 BOONE RECYCLED MATERIALS, INC	2956		PICK UP AND DUMP SERVICES FOR R	
				2012-000364	PICK UP AND DUMP SERVICES FOR R	
					221-4200-2450	155.00
			2985		PICK UP AND DUMP SERVICES FOR R	
				2012-000364	PICK UP AND DUMP SERVICES FOR R	
					221-4200-2450	130.00
			2990		PICK UP AND DUMP SERVICES FOR R	
				2012-000364	PICK UP AND DUMP SERVICES FOR R	
					221-4200-2450	65.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140890	2/23/2012	87976	87976 BOONE RECYCLED MATERIALS, INC	(Continued)		Total : 350.00
140891	2/23/2012	78888 BORGES, DANIEL	REQ 02/23		Franchise Tax Board garnishment Franchise Tax Board garnishment 750-2174	50.00 Total : 50.00
140892	2/23/2012	80630 BOWMAN SIGNS	12013		SIGNS, DECALS, BANNERS SIGNS, DECALS, BANNERS 110-3200-2450	700.38 Total : 700.38
140893	2/23/2012	84212 BRIDGEPORT MANUFACTURING INC	21564		VEHICLE PARTS/SUPPLIES VEHICLE PARTS/SUPPLIES 684-4550-2350	889.27 Total : 889.27
140894	2/23/2012	85566 BU, SONYA	EDUCAT 01/17*		EDUCATION PREPAYMENT EDUCATION PREPAYMENT 110-3200-1400	2,000.00
			REQ 02/13		REIMB FUEL,ARSON TRAINING,2/8 REIMB FUEL,ARSON TRAINING,2/8 110-3225-2550	40.01
			TRAVEL		ADVANCE,CFPI,SANTAYNEZ,3/12-16 ADVANCE,CFPI,SANTAYNEZ,3/12-16 110-3225-2550	250.00 Total : 2,290.01
140895	2/23/2012	90716 BURDEN, CORAL/JOSEPH	6017		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	324.58 Total : 324.58
140896	2/23/2012	16112 BURKE, WILLIAMS & SORENSEN	153742		LEGAL FEES LEGAL FEES 680-1600-2710	80,954.60

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140896	2/23/2012	16112	16112 BURKE, WILLIAMS & SORENSEN		(Continued)	Total : 80,954.60
140897	2/23/2012	76238	BUSINESS CARD		BUSINESS TRAVEL EXPENSES	
				5472063574BN	BUSINESS TRAVEL EXPENSES	
					100-1200-2560	1,033.31
				5472063574SU	BUSINESS TRAVEL EXPENSES	
					BUSINESS TRAVEL EXPENSES	
					680-1930-2450	1,685.06
				5472063576DB	BUSINESS TRAVEL EXPENSES	
					BUSINESS TRAVEL EXPENSES	
					110-3100-2563	-395.00
					BUSINESS TRAVEL EXPENSES	
					110-3100-2553	359.46
					BUSINESS TRAVEL EXPENSES	
					110-3100-2203	30.76
					BUSINESS TRAVEL EXPENSES	
					110-3100-2801	25.00
					BUSINESS TRAVEL EXPENSES	
					236-3167-5400	905.07
					BUSINESS TRAVEL EXPENSES	
					236-3163-2560	268.60
					BUSINESS TRAVEL EXPENSES	
					110-3200-2450	1,174.80
				5472063577RW	BUSINESS TRAVEL EXPENSES	
					BUSINESS TRAVEL EXPENSES	
					110-3100-2253	507.13
					BUSINESS TRAVEL EXPENSES	
					110-3100-2801	34.50
					BUSINESS TRAVEL EXPENSES	
					110-3200-2700	1,677.20
					BUSINESS TRAVEL EXPENSES	
					236-3163-2560	314.20
				5472063578DE	BUSINESS TRAVEL EXPENSES	
					BUSINESS TRAVEL EXPENSES	
					120-1700-2250	332.18
					BUSINESS TRAVEL EXPENSES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140897	2/23/2012	76238 BUSINESS CARD	(Continued)			
			5472063583LS		120-3300-2560 BUSINESS TRAVEL EXPENSES BUSINESS TRAVEL EXPENSES	396.32
			54720635LI		100-1100-2550 BUSINESS TRAVEL EXPENSES BUSINESS TRAVEL EXPENSES	625.16
			5472068150WD		100-1800-2220 BUSINESS TRAVEL EXPENSES BUSINESS TRAVEL EXPENSES	96.86
					363-6100-2220 BUSINESS TRAVEL EXPENSES	299.80
			BROWN0104		110-6100-2250 CORRECT CODING BUS CARD 010412 CORRECT CODING BUS CARD 010412	104.10
					110-3100-2563 CORRECT CODING BUS CARD 010412	-1,636.84
					110-3100-2253 CORRECT CODING BUS CARD 010412	230.84
					110-3100-2701 CORRECT CODING BUS CARD 010412	309.32
					110-3100-2801 CORRECT CODING BUS CARD 010412	646.68
			DISHER0104		236-3163-2560 CORRECT CODING BUS CARD 010412 CORRECT CODING BUS CARD 010412	450.00
					363-6100-2222 CORRECT CODING BUS CARD 010412	-513.40
			IRELAND0104		363-6100-2220 CORRECT CODING BUS CARD 010412 CORRECT CODING BUS CARD 010412	513.40
					100-1800-2560 CORRECT CODING BUS CARD 010412	-571.93
			NAKAMURA0104		100-1800-2550 CORRECT CODING BUS CARD 010412	571.93

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140897	2/23/2012	76238 BUSINESS CARD	(Continued)			
					CORRECT CODING BUS CARD 010412 100-1200-2560	-1,275.55
					CORRECT CODING BUS CARD 010412 391-8905-2560	149.00
					CORRECT CODING BUS CARD 010412 391-8905-2550	1,045.00
					CORRECT CODING BUS CARD 010412 100-1100-2250	81.55
		NAKAMURA0811			CORRECT CODING BUS CARD 08/04/11 CORRECT CODING BUS CARD 08/04/11 100-1200-2560	-141.53
					CORRECT CODING BUS CARD 08/04/11 100-1200-2550	141.53
		NAKAMURA1104			CORRECT CODING BUS CARD 110411 CORRECT CODING BUS CARD 110411 100-1200-2560	-1,471.65
					CORRECT CODING BUS CARD 110411 291-1925-2550	485.00
					CORRECT CODING BUS CARD 110411 100-1200-2220	30.00
					CORRECT CODING BUS CARD 110411 100-1100-2560	48.40
					CORRECT CODING BUS CARD 110411 120-1700-2560	908.25
		NAKAMURA1204			CORRECT CODING BUS CARD 120411 CORRECT CODING BUS CARD 120411 100-1200-2560	-426.33
					CORRECT CODING BUS CARD 120411 110-3200-2560	-300.00
					CORRECT CODING BUS CARD 120411 100-1100-2560	30.00
					CORRECT CODING BUS CARD 120411 100-2073	246.33
					CORRECT CODING BUS CARD 120411	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140897	2/23/2012	76238 BUSINESS CARD	(Continued)		391-8905-2550	150.00
					CORRECT CODING BUS CARD 120411	
					110-3225-2550	300.00
			UNDERWOOD0104		CORRECT CODING BUS CARD 010412	
					CORRECT CODING BUS CARD 010412	
					680-1930-2450	-197.52
					CORRECT CODING BUS CARD 010412	
					680-1930-2200	32.34
					CORRECT CODING BUS CARD 010412	
					680-1930-2800	165.18
			WEBB0104		CORRECT CODING BUS CARD 010412	
					CORRECT CODING BUS CARD 010412	
					110-3100-2563	-1,073.39
					CORRECT CODING BUS CARD 010412	
					110-3100-2253	655.99
					CORRECT CODING BUS CARD 010412	
					236-3163-2560	417.40
					Total :	9,474.51
140898	2/23/2012	83610 CALIFORNIA LICENSED PHLEBOTOMI	HPD01-12		LICENSED PHLEBOTOMIST	
					LICENSED PHLEBOTOMIST	
					110-3100-2711	1,125.00
					Total :	1,125.00
140899	2/23/2012	72383 CALIFORNIA WEST PATROL	301599		VENDOR TO PROVIDE VEHICLE PATR(
				2012-000385	VENDOR TO PROVIDE VEHICLE PATR(
					110-4250-2400	900.00
					Total :	900.00
140900	2/23/2012	60100 CALIFORNIA, STATE OF (DOJ)	891515		FINGERPRINTS/BLOOD ALCOHOL	
					FINGERPRINTS/BLOOD ALCOHOL	
					110-3100-2713	1,779.00
					Total :	1,779.00
140901	2/23/2012	83249 CAL-MESA STEEL SUPPLY, INC	330254		HOT ROLLED SHEET	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140901	2/23/2012	83249 CAL-MESA STEEL SUPPLY, INC	(Continued)		HOT ROLLED SHEET 684-4550-2350	32.33
					Total :	32.33
140902	2/23/2012	74377 CARE-A-VAN TRANSIT SYSTEM INC	DEC 2011		CDBG REIMBURSEMENT CDBG REIMBURSEMENT 240-3968-2400	696.09
					Total :	696.09
140904	2/23/2012	66525 CARL WARREN & CO.	1350839		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	168.96
			1358023		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	183.04
			1358024		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	204.16
			1358025		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	140.80
			1358026		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	344.96
			1358027		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	274.56
			1358028		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	140.80
			1358029		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	586.28
			1358030		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140904	2/23/2012	66525 CARL WARREN & CO.	(Continued)			
			1358031		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	309.76
			1358032		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	267.52
			1358033		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	173.48
			1358034		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	281.60
			1358035		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	105.60
			1358036		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	63.36
			1358037		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	295.68
			1358038		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	267.52
			1358040		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	84.48
			1358041		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	168.96
			1358042		683-2200-2400 CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS	168.96
			1358043		683-2200-2400 CLAIMS INVESTIGATIONS	239.36

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140904	2/23/2012	66525 CARL WARREN & CO.	(Continued)		CLAIMS INVESTIGATIONS 683-2200-2400	97.54
			1358044		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	63.36
			1358045		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	77.44
			1358046		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	337.92
			1358047		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	345.48
			1358048		CLAIMS INVESTIGATIONS CLAIMS INVESTIGATIONS 683-2200-2400	338.44
					Total :	5,730.02
140905	2/23/2012	78706 CASCADE FIRE EQUIPMENT CO	36348		SUPPLIES SUPPLIES 110-3200-2450	59.67
					Total :	59.67
140906	2/23/2012	76331 CHIEF SUPPLY CORPORATION	458576		SUPPLIES SUPPLIES 110-3100-2701	139.83
					Total :	139.83
140907	2/23/2012	75249 CINTAS CORPORATION	055-02063		UNIFORM RENTAL UNIFORM RENTAL 110-4250-2700	185.16
					UNIFORM RENTAL 221-4200-2700	1,135.55
					UNIFORM RENTAL	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140907	2/23/2012	75249 CINTAS CORPORATION	(Continued)			
					225-8250-2700 UNIFORM RENTAL	147.80
					228-8250-2700 UNIFORM RENTAL	170.30
					228-8265-2700 UNIFORM RENTAL	265.54
					254-4600-2700 UNIFORM RENTAL	507.82
					254-4650-2700 UNIFORM RENTAL	226.05
					553-4500-2700 UNIFORM RENTAL	723.61
					571-9000-2700 UNIFORM RENTAL	1,336.41
					684-4550-2450 UNIFORM RENTAL	473.29
					684-4550-2700 UNIFORM RENTAL	1,015.65
					685-4560-2400 UNIFORM RENTAL	1,538.26
					685-4560-2700	533.37
			055-03896		WOOL BLANKETS/MATS WOOL BLANKETS/MATS	
					110-3100-2801 WOOL BLANKETS/MATS	444.00
					685-4560-2400	159.48
			055-03898		MATS MATS	
					685-4560-2400	69.79
					Total :	8,932.08
140908	2/23/2012	88076 CIVIC STONE, INC	201211		CONSULTING SERVICES CONSULTING SERVICES	
					247-1902-2710	3,387.50
			201212		CONSULTANT TO PROVIDE SERVICES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140908	2/23/2012	88076 CIVIC STONE, INC	(Continued)	2012-000432	CONSULTANT TO PROVIDE SERVICES 247-1912-2710	1,105.00
					Total :	4,492.50
140909	2/23/2012	90033 CIVICPLUS	95891	2012-000057	CONSULTANT SERVICES FOR WEBSITE CONSULTANT SERVICES FOR WEBSITE 680-1930-2400	18,819.00
			96353	2012-000057	CONSULTANT SERVICES FOR WEBSITE CONSULTANT SERVICES FOR WEBSITE 680-1930-2400	18,819.00
			96377	2012-000057	CONSULTANT SERVICES FOR WEBSITE CONSULTANT SERVICES FOR WEBSITE 680-1930-2400	18,819.00
					Total :	56,457.00
140910	2/23/2012	87829 COBRA 28 #2 LP	98813		REFUND 305 W PAISLEY REFUND 305 W PAISLEY 571-0835	238.94
					Total :	238.94
140911	2/23/2012	89708 COLONIAL LIFE	Ben307039		COLONIAL ACCIDENT: Payment COLONIAL ACCIDENT: Payment 750-2188	186.78
					COLONIAL CRITICAL ILLNESS: Payment 750-2188	183.84
					COLONIAL DISABILITY: Payment 750-2188	508.36
					COLONIAL TERM LIFE: Payment 750-2188	516.50
					Total :	1,395.48
140912	2/23/2012	74606 COMMUNICATION WORKERS OF AMER	Ben307051		CWA UNION DUES: Payment CWA UNION DUES: Payment 750-2168	669.54
					Total :	669.54

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140913	2/23/2012	73994 COMMUNITY PANTRY	10967		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	310.33 Total : 310.33
140914	2/23/2012	18860 COMTRONIX COMMUNICATIONS	44906		RADIO REPAIR RADIO REPAIR 685-4560-2460	553.88 Total : 553.88
140915	2/23/2012	19025 CONSOLIDATED ELECTRICAL DI INC	481549		ELECTRICAL PARTS ELECTRICAL PARTS 685-4560-2450	60.34
			481568		ELECTRICAL PARTS ELECTRICAL PARTS 685-4560-2450	39.32
			481689		ELECTRICAL PARTS ELECTRICAL PARTS 685-4560-2450	18.32 Total : 117.98
140916	2/23/2012	90717 COOK, PAMELA	95295		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	40.03 Total : 40.03
140917	2/23/2012	88979 COST CONTROL ASSOCIATES INC	006406		UTILITY COST SAVINGS ADVISOR UTILITY COST SAVINGS ADVISOR 571-9000-2100	329.19 Total : 329.19
140918	2/23/2012	61765 COUNSELING TEAM INTERNATIONAL, THE	18438	2012-000317	~ ~ 681-2350-2710	900.00 Total : 900.00
140919	2/23/2012	19092 CURRY COPY CENTER	8926		PRINTING SERVICES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140919	2/23/2012	19092 CURRY COPY CENTER	(Continued)		PRINTING SERVICES 120-4100-2250	386.61
					Total :	386.61
140920	2/23/2012	82747 D & B INDUSTRIAL SAFETY SP LLC	18545		SAFETY SUPPLIES SAFETY SUPPLIES 110-3200-2450	51.72
			18546		SAFETY SUPPLIES SAFETY SUPPLIES 110-3200-2450	16.62
			18547		SAFETY SUPPLIES SAFETY SUPPLIES 110-3200-2450	295.60
					Total :	363.94
140921	2/23/2012	73109 DAVIS, JEFF	TRAVEL		ADVANCE,ASSET,SANTABARB,3/20-22 ADVANCE,ASSET,SANTABARB,3/20-22 231-3150-2560	150.00
					Total :	150.00
140922	2/23/2012	69332 DESERT SAFE	532716		KEYS/REPAIR KEYS/REPAIR 553-4500-2450	5.82
					Total :	5.82
140923	2/23/2012	19810 DEWEY PEST CONTROL	649096		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	32.00
			649097		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	28.00
			649099		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	68.00
			649101		PEST & TERMITE CONTROL	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140923	2/23/2012	19810 DEWEY PEST CONTROL	(Continued)		PEST & TERMITE CONTROL 685-4560-2400	32.00
			649106		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	107.00
			649107		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2100	32.00
			797934		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	336.00
			798384		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	75.00
			798389		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	75.00
			826727		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	75.00
			856183		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	75.00
			856743		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	75.00
			902538		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	50.00
			904192		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	36.00
			904194		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	36.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140923	2/23/2012	19810 DEWEY PEST CONTROL	(Continued) 969483		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	34.00
Total :						1,166.00
140924	2/23/2012	86252 DGVM V34 INC	99223		REFUND 651 WHITNEY REFUND 651 WHITNEY 571-0835	275.88
Total :						275.88
140925	2/23/2012	71087 DOUBLETREE HOTEL	REQ 02/13		LODGING, DAVIS,ASSET,3/20-22 LODGING, DAVIS,ASSET,3/20-22 231-3150-2560	429.93
Total :						429.93
140926	2/23/2012	71087 DOUBLETREE HOTEL	REQ 0213		LODGING,QUINN,SLI,3/15-17 LODGING,QUINN,SLI,3/15-17 236-3163-2560	286.24
Total :						286.24
140927	2/23/2012	85610 DYNOTEK	120127-1		CABLE/TRANSMITTER CABLE/TRANSMITTER 571-9000-2450	129.84
Total :						129.84
140928	2/23/2012	85275 E B S GENERAL ENGINEERING INC	98542		REFUND FLOW METER DEV/INEZ REFUND FLOW METER DEV/INEZ 571-0835	566.49
			RELEASE STOP		RELEASE PARTIAL FUNDS RELEASE PARTIAL FUNDS 329-5521-5500	127,965.94
Total :						128,532.43
140929	2/23/2012	90321 E E DESIGN SERVICES	1119-3	2012-000373	CONSULTANT TO PROVIDE ENGINEER CONSULTANT TO PROVIDE ENGINEER 571-9000-5400	1,400.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140929	2/23/2012	90321 90321 E E DESIGN SERVICES	(Continued)			Total : 1,400.00
140930	2/23/2012	13570 E S BABCOCK & SONS, INC	BB20013-0142		WATER TESTING WATER TESTING 571-9000-2720	270.00
			BB20040-0142		WATER TESTING WATER TESTING 571-9000-2450	385.00
			BB20540-0142		WATER TESTING WATER TESTING 571-9000-2720	405.00
			BB20545-0142		WATER TESTING WATER TESTING 571-9000-2720	15.00
			BB20975-0142		WATER TESTING WATER TESTING 571-9000-2720	15.00
					Total :	1,090.00
140932	2/23/2012	23010 EASTERN MUNICIPAL WATER DIST, CITY WAT	100118-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	109.19
			104740-01		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 110-4250-2100	396.57
			10783-01		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 685-4560-2100	57.50
			147104-04		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	518.13
			15535-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	669.40
			174259-01		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140932	2/23/2012	23010 EASTERN MUNICIPAL WATER DIST, CITY WAT	(Continued)			
			18985-23		225-8250-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	64.34
			190886-01		685-4560-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	34.80
			196114-01		685-4560-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	34.80
			19953-23		225-8250-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	344.42
			204014-02		685-4560-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	150.42
			208622-02		228-8279-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	273.41
			24239-02		228-8272-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	10.03
			24241-02		225-8250-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	156.62
			24402-01		225-8250-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	230.28
			24592-01		225-8250-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	10.03
			54339-02		225-8250-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	10.03
			73396-01		225-8250-2100 CITY OF HEMET WATER ACCOUNTS	15.70

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140932	2/23/2012	23010 EASTERN MUNICIPAL WATER DIST, CITY WAT	(Continued)		CITY OF HEMET WATER ACCOUNTS 225-8250-2100	58.68
			85218-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	41.19
			89861-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	116.27
			91094-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	48.97
			91612-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	158.04
			92777-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	6.57
					Total :	3,515.39
140933	2/23/2012	74015 EASTERN MUNICIPAL WATER DISTR	12691		LEGAL FEES TOUNGET LEGAL FEES TOUNGET 683-2200-2722	4,607.50
					Total :	4,607.50
140934	2/23/2012	75913 ELITE FIRE PROTECTION INC	34665		EXTINGUISHER SERVICE EXTINGUISHER SERVICE 110-3200-2450	60.00
					Total :	60.00
140935	2/23/2012	69095 EMERGENCY MEDICAL PRODUCTS,INC	1437484		FIRST AID SUPPLIES FIRST AID SUPPLIES 110-3200-2452	184.14
			1438010		FIRST AID SUPPLIES FIRST AID SUPPLIES 110-3200-2452	160.49

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140935	2/23/2012	69095	69095 EMERGENCY MEDICAL PRODUCTS,INC	(Continued)		Total : 344.63
140936	2/23/2012	86511	ESQUIVEL, JOSE/MACRINA	49016	REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT 571-0835	44.39 Total : 44.39
140937	2/23/2012	71274	EVANSON, LEE	MAR 2012	PYMT IN LIEU OF CONTR MEDICAL INS PYMT IN LIEU OF CONTR MEDICAL INS 689-2150-2400	261.67 Total : 261.67
140938	2/23/2012	65259	EXCEED, BULK MAILING	15003	BULK MAILING/WATER BILLS BULK MAILING/WATER BILLS 254-4600-2255	41.72 41.72
				15004	BULK MAILING/WATER BILLS BULK MAILING/WATER BILLS 254-4600-2255	106.59 8.74
				15005	BULK MAILING/WATER BILLS BULK MAILING/WATER BILLS 254-4600-2255	22.37 51.84
				15055	BULK MAILING/WATER BILLS BULK MAILING/WATER BILLS 254-4600-2255	132.52 47.51

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140938	2/23/2012	65259 EXCEED, BULK MAILING	(Continued)		BULK MAILING/WATER BILLS 254-4650-2255	47.51
			15056		BULK MAILING/WATER BILLS 571-9000-2255	121.44
					BULK MAILING/WATER BILLS 254-4600-2255	46.02
					BULK MAILING/WATER BILLS 254-4650-2255	46.02
					BULK MAILING/WATER BILLS 571-9000-2255	117.64
					Total :	892.22
140939	2/23/2012	82121 F M LOCK & KEY INC	70057		LOCK AND KEYS LOCK AND KEYS	
			70159		685-4560-2450 LOCK AND KEYS	14.31
					LOCK AND KEYS 685-4560-2400	109.91
					Total :	124.22
140940	2/23/2012	73590 FAIR HOUSING COUNCIL OF RIV CO	JAN 2012	2012-000264	2011/2012 FAIR HOUSING SERVICES~ 2011/2012 FAIR HOUSING SERVICES~ 291-1925-2710	1,594.11
					Total :	1,594.11
140941	2/23/2012	78950 FECHNER, PAMELA	MAR 2012		PYMT IN LIEU OF MEDICAL INS PYMT IN LIEU OF MEDICAL INS 689-2150-2400	953.81
					Total :	953.81
140942	2/23/2012	72447 FEDEX	777157629		EXPRESS MAIL SERVICE EXPRESS MAIL SERVICE 247-1901-2250	6.13
			778686738		EXPRESS MAIL SERVICE	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140942	2/23/2012	72447 FEDEX	(Continued)		EXPRESS MAIL SERVICE 254-4650-2250	7.02
					EXPRESS MAIL SERVICE 571-9000-2250	7.01
					EXPRESS MAIL SERVICE 254-4600-2250	7.02
					Total :	27.18
140943	2/23/2012	74893 FERNANDEZ - STAPLES, IDA	MAR 2012		PYMT IN LIEU OF CONTR MEDICAL INS PYMT IN LIEU OF CONTR MEDICAL INS 689-2150-2400	161.82
					Total :	161.82
140944	2/23/2012	69102 FIRE CONDIMENT FUND	Ben307045		FIRE CONDIMENT FUND: Payment FIRE CONDIMENT FUND: Payment 750-2173	1,125.00
					Total :	1,125.00
140945	2/23/2012	77156 FISHER SCIENTIFIC	6840497		SAFETY SUPPLIES SAFETY SUPPLIES 571-9000-2450	120.02
			7297711		SAFETY SUPPLIES SAFETY SUPPLIES 254-4600-2450	433.19
			7372597		SAFETY SUPPLIES SAFETY SUPPLIES 254-4600-2450	196.11
			7837226		SAFETY SUPPLIES SAFETY SUPPLIES 254-4650-2450	225.22
					Total :	974.54
140946	2/23/2012	89779 FITNESS TRAINING CENTER INC	JAN 2012	2012-000318	~ ~ 681-2350-2710	54.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140946	2/23/2012	89779 89779 FITNESS TRAINING CENTER INC	(Continued)			Total : 54.00
140947	2/23/2012	77149 FRANCHISE TAX BOARD	Ben307079		WAGE ASSIGNMENT: Payment WAGE ASSIGNMENT: Payment 750-2174	354.00 Total : 354.00
140948	2/23/2012	24570 FRAZEE PAINT & WALLCOVERINGS	0260531540		PAINT SUPPLIES PAINT SUPPLIES 571-9000-2450	215.02
			0260554720		PAINT SUPPLIES PAINT SUPPLIES 571-9000-2450	105.42 Total : 320.44
140949	2/23/2012	70822 GALL'S INC	215686		PUBLIC SAFETY EQUIPMENT PUBLIC SAFETY EQUIPMENT 110-3100-2701	51.70 Total : 51.70
140950	2/23/2012	80767 GARDA CL WEST, INC	177-808612		ARMORED TRANSPORT ARMORED TRANSPORT 140-0410	351.05 Total : 351.05
140951	2/23/2012	90720 GAULDEN, VANESSA/PAUL	89931		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	72.74 Total : 72.74
140952	2/23/2012	77842 GIGANDET, VINCENT	MAR 2012		PAYMENT IN LIEU OF MEDICAL INS PAYMENT IN LIEU OF MEDICAL INS 689-2150-2400	649.03 Total : 649.03
140953	2/23/2012	69442 GILLESPIE REPORTING & DOC, INC	21140	2012-000008	COURT REPORTING (MINUTES) SERVI COURT REPORTING (MINUTES) SERVI	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140953	2/23/2012	69442 GILLESPIE REPORTING & DOC, INC	(Continued)		120-1700-2710	500.00
					Total :	500.00
140954	2/23/2012	74479 GLENN, JOE	MAR 2012		PYMT IN LIEU OF CONTR MEDICAL INS PYMT IN LIEU OF CONTR MEDICAL INS 689-2150-2400	555.04
					Total :	555.04
140955	2/23/2012	69236 GOAR, M H	618		BACKFLOW TESTING AND REPAIR BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			619		BACKFLOW TESTING AND REPAIR BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			620		BACKFLOW TESTING AND REPAIR BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			621		BACKFLOW TESTING AND REPAIR BACKFLOW TESTING AND REPAIR 225-8250-2710	145.00
			622		BACKFLOW TESTING AND REPAIR BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			623		BACKFLOW TESTING AND REPAIR BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
					Total :	295.00
140956	2/23/2012	81489 GOMEZ, GABRIEL	REQ 0208		REIMB MEALS,ARIDE,RIV,1/19-20 REIMB MEALS,ARIDE,RIV,1/19-20 130-3100-2560	33.02
					Total :	33.02
140957	2/23/2012	90718 GONZALEZ, NEHEMIAS/RUTH	99219		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140957	2/23/2012	90718 GONZALEZ, NEHEMIAS/RUTH	(Continued)		571-0835	149.33
					Total :	149.33
140958	2/23/2012	74737 GOSCH FORD	112544		PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			113122CM		684-4550-2350	593.03
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			113882		684-4550-2350	-135.36
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			113983		684-4550-2350	131.86
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			114049		684-4550-2350	164.62
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			114055		684-4550-2350	65.61
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			114164		684-4550-2350	29.29
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			114181		684-4550-2350	60.29
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			114186		684-4550-2350	110.57
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			114204		684-4550-2350	452.89
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	
			114207		684-4550-2350	199.27
					PARTS/SUPPLIES	
					PARTS/SUPPLIES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140958	2/23/2012	74737 GOSCH FORD	(Continued)			
			114208		684-4550-2350 PARTS/SUPPLIES	147.92
			114281		684-4550-2350 PARTS/SUPPLIES	402.06
			114288		684-4550-2350 PARTS/SUPPLIES	107.68
			F12260		684-4550-2350 ~	394.87
				2012-000265	~	
					380-4200-5400	26,042.68
				2012-000265	~	
					221-4200-2400 Riverside County Sales Tax 02	-500.00
					380-4200-5400	2,018.31
				2012-000265	TIRE TAX	
					380-4200-5400	8.75
					Total :	30,294.34
140959	2/23/2012	90721 GOSNELL, MICHAEL/LISA	95710		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT	
					571-0835	212.13
					Total :	212.13
140960	2/23/2012	90726 GRANITE VILLAGE WEST	B1112-033		CASH BOND RELEASE CASH BOND RELEASE	
					110-2060	2,000.00
					Total :	2,000.00
140961	2/23/2012	90719 GUTIERREZ, MARIA E	97881		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT	
					571-0835	221.03

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140961	2/23/2012	90719 90719 GUTIERREZ, MARIA E			(Continued)	Total : 221.03
140962	2/23/2012	77258 H D SUPPLY WATERWORKS LTD	4021220		UNDERGROUND WATER WORKS	
			4302471		UNDERGROUND WATER WORKS	
				2012-000305	221-4200-2450	785.94
					FOR UNDERGROUND WATER SYSTEM	
					FOR UNDERGROUND WATER SYSTEM	
					571-9000-2450	580.01
					Total :	1,365.95
140963	2/23/2012	28091 HACH COMPANY	7593774		WASTE WATER ANALYSIS EQUI	
					WASTE WATER ANALYSIS EQUI	
					571-9000-2720	121.74
					Total :	121.74
140964	2/23/2012	28097 HAINES & COMPANY INC	323167		DIRECTORIES	
					DIRECTORIES	
					110-3100-2222	300.00
					DIRECTORIES	
					110-3100-2223	32.21
					Total :	332.21
140965	2/23/2012	89842 HALL, CHRISTINE	Ben307073		wage assignment: Payment	
					wage assignment: Payment	
					750-2174	540.50
					Total :	540.50
140966	2/23/2012	75359 HALTOM, LYNETTE	MAR 2012		PYMT IN LIEU OF CONTR MEDICAL INS	
					PYMT IN LIEU OF CONTR MEDICAL INS	
					689-2150-2400	740.00
					Total :	740.00
140967	2/23/2012	88517 HAMILTON AUTO REPAIR, INC	34730		EMISSION TESTING	
					EMISSION TESTING	
					684-4550-2350	39.75
			34737		EMISSION TESTING	
					EMISSION TESTING	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140967	2/23/2012	88517 HAMILTON AUTO REPAIR, INC	(Continued)			
			34759		684-4550-2350 EMISSION TESTING	39.75
			34774		684-4550-2350 EMISSION TESTING	39.75
			34791		684-4550-2350 EMISSION TESTING	39.75
			34793		684-4550-2350 EMISSION TESTING	39.75
					684-4550-2350	39.75
					Total :	238.50
140968	2/23/2012	90708 HAMILTON, ANDREW	EDUCAT 0117		EDUCATIONAL REIMBURSEMENT	
					EDUCATIONAL REIMBURSEMENT	
					110-3200-2560	166.00
					Total :	166.00
140969	2/23/2012	79661 HAMPTON, MARILYN	MAR 2012		PYMT IN LIEU OF CONTR MEDICAL INS	
					PYMT IN LIEU OF CONTR MEDICAL INS	
					689-2150-2400	664.00
					Total :	664.00
140970	2/23/2012	71034 HARBOR FREIGHT TOOLS	0200548906		TOOLS	
					TOOLS	
					221-4200-2850	131.38
					Total :	131.38
140971	2/23/2012	81246 HART'S AUTO SUPPLY	32357		AUTO PARTS	
					AUTO PARTS	
					684-4550-2350	1,377.80
					Total :	1,377.80
140972	2/23/2012	69103 HEMET FIREFIGHTER ASSOC	Ben307047		HEMET FIRE FIGHTER ASSOC: Paymer	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140972	2/23/2012	69103 HEMET FIREFIGHTER ASSOC	(Continued)		HEMET FIRE FIGHTER ASSOC: Paymer 750-2160	7,558.54
					Total :	7,558.54
140973	2/23/2012	29915 HEMET INDUSTRIAL SUPPLY	37863		MISCELLANEOUS HARDWARE MISCELLANEOUS HARDWARE 684-4550-2350	21.80
					Total :	21.80
140974	2/23/2012	70906 HEMET PUBLIC SAFETY MGMT ASSOC	Ben307035		POLICE MANAGEMENT UNION: Paymer POLICE MANAGEMENT UNION: Paymer 750-2167	622.00
					Total :	622.00
140975	2/23/2012	30358 HEMET RUBBER STAMP	102220		RUBBER STAMPS/LETTERINGS/ RUBBER STAMPS/LETTERINGS/ 686-4150-2250	83.88
					Total :	83.88
140976	2/23/2012	30390 HEMET TRAILER SUPPLY	830495		SUPPLIES SUPPLIES 684-4550-2350	16.11
			830713		SUPPLIES SUPPLIES 684-4550-2350	39.33
					Total :	55.44
140977	2/23/2012	69934 HEMET TRUE VALUE HARDWARE	69305		PARTS & SUPPLIES PARTS & SUPPLIES 221-4200-2450	80.81
					Total :	80.81
140978	2/23/2012	30608 HEMET VALLEY TOOL	66710		SMALL TOOL SERVICE SMALL TOOL SERVICE 221-4200-2400	95.90
			68666		SMALL TOOL SERVICE	

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140978	2/23/2012	30608 HEMET VALLEY TOOL	(Continued)		SMALL TOOL SERVICE 571-9000-2450	51.56
					Total :	147.46
140979	2/23/2012	69107 HEMET, CITY OF	Ben307065		COMPUTER DEDUCTION: Payment COMPUTER DEDUCTION: Payment 750-2171	1,702.36
					Total :	1,702.36
140980	2/23/2012	69345 HEMET, CITY OF (MEDICAL INS)	Ben307033		OGDEN- VISION: Payment OGDEN- VISION: Payment 750-2150 OGDEN-DENTAL: Payment 750-2150	6,968.00 20,636.00
					Total :	27,604.00
140981	2/23/2012	69110 HEMET, CITY OF POLICE ASSOC	Ben307037		POLICE CANCER INSURANCE: Paymen POLICE CANCER INSURANCE: Paymen 750-2165 POLICE LIFE INSURANCE: Payment 750-2165 HEMET POLICE ASSOCIATION: Paymer 750-2165	941.78 125.00 3,237.00
					Total :	4,303.78
140982	2/23/2012	18626 HEMET, CITY OF WATER	10303		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	34.37
			10304		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	34.65
			10305		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	64.64
					Total :	133.66

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140983	2/23/2012	80436 HESS, MATTHEW	TRAVEL		ADVANCE,SLI,LA,3/5-7 ADVANCE,SLI,LA,3/5-7 236-3163-2560	150.00
Total :						150.00
140984	2/23/2012	90461 HINDERLITER DELLAMAS & ASSOCS	0018946		SALES TAX AUDIT SALES TAX AUDIT 100-1400-2710	1,627.63
Total :						1,627.63
140985	2/23/2012	75142 HI-WAY SAFETY INC	123377		TRAFFIC SAFETY EQUIPMENT TRAFFIC SAFETY EQUIPMENT 221-4200-2450	144.12
Total :						144.12
140986	2/23/2012	74732 HOME DEPOT CREDIT SERVICES	03959540		BUILDING MATERIAL BUILDING MATERIAL 221-4200-2450 BUILDING MATERIAL 110-4250-2450 BUILDING MATERIAL 225-8250-2700 BUILDING MATERIAL 225-8250-2450 BUILDING MATERIAL 228-8265-2450 BUILDING MATERIAL 228-8265-2850	77.59 49.37 19.36 187.84 28.13 252.20
Total :						614.49
140987	2/23/2012	71205 ICE RADIATOR & MUFFLER	1041		REPAIRS REPAIRS 684-4550-2350	49.99
			1045		REPAIRS REPAIRS 684-4550-2350	251.06

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140987	2/23/2012	71205	71205 ICE RADIATOR & MUFFLER		(Continued)	Total : 301.05
140988	2/23/2012	32981	ICMA RETIREMENT TRUST M & T BK	Ben307063	DEFERRED COMP MGMT: Payment DEFERRED COMP MGMT: Payment 750-2135 DEFERRED COMP: Payment 750-2135 DEFERRED COMP PART TIME: Paymen 750-2135 DEFERRED COMP RETIREE MED: Payr 750-2135	2,667.99 7,829.07 503.77 5,737.50 Total : 16,738.33
140989	2/23/2012	33600	INLAND WATERWORKS SUPPLY	239254	2012-000012 AS NEEDED FOR WATER SYSTEMS PF AS NEEDED FOR WATER SYSTEMS PF 571-9000-2450	1,415.35 Total : 1,415.35
140990	2/23/2012	33881	INTERSTATE BATTERY SYSTEM, INC	33122179	VEHICLE BATTERIES VEHICLE BATTERIES 684-4550-2350	660.68 Total : 660.68
140991	2/23/2012	78652	IRELAND, LAURA E	EDUCAT 02/22 REQ 02/13	EDUCATIONAL REIMBURSEMENT EDUCATIONAL REIMBURSEMENT 100-1800-1400 REIMB MILEAGE,CSAC-EIA,IRVINE,2/9 REIMB MILEAGE,CSAC-EIA,IRVINE,2/9 100-1800-2550	540.00 90.91 Total : 630.91
140992	2/23/2012	90727	J T H REAL ESTATE	HC9129	REFUND CODE CITATION REFUND CODE CITATION 120-0335	125.00 Total : 125.00
140993	2/23/2012	90722	JACOBS, ROBERT	98217	REFUND CLOSED UTILITY ACCT	

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140993	2/23/2012	90722 JACOBS, ROBERT	(Continued)		REFUND CLOSED UTILITY ACCT 571-0835	142.90
Total :						142.90
140994	2/23/2012	35500 JOHNSON MACHINERY CO	PC001151800		PARTS AND SUPPLIES PARTS AND SUPPLIES 684-4550-2350	115.45
			PC001152193		PARTS AND SUPPLIES PARTS AND SUPPLIES 684-4550-2350	147.57
			PC001152824		PARTS AND SUPPLIES PARTS AND SUPPLIES 684-4550-2350	111.76
			PC030274823		PARTS AND SUPPLIES PARTS AND SUPPLIES 684-4550-2350	7.01
Total :						381.79
140995	2/23/2012	89990 JOSEPH BRANN & ASSOCIATES	NOV-DEC 2011	2012-000437	CONSULTANT TO PROVIDE SERVICES CONSULTANT TO PROVIDE SERVICES 110-3100-2710	22,372.89
			SEP-OCT 2011	2012-000437	CONSULTANT TO PROVIDE SERVICES CONSULTANT TO PROVIDE SERVICES 110-3100-2710	19,120.87
Total :						41,493.76
140996	2/23/2012	37290 K M E FIRE APPARATUS	515885		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	452.82
			515897		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	63.31
			515911		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	78.73

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
140996	2/23/2012	37290 K M E FIRE APPARATUS	(Continued) 515957		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	214.98
Total :						809.84
140997	2/23/2012	36951 KAISER FOUNDATION HEALTH PLAN	Ben307041		KAISER PERMANENTE 2292-00: Payme KAISER PERMANENTE 2292-00: Payme 750-2156 MCNEAL,JENNIFER 750-2156 OAKLEAF,KEVIN 254-4600-1400	94,298.48 -236.60 -950.12
Total :						93,111.76
140998	2/23/2012	84865 KAISER FOUNDATION HEALTH PLAN	0006005753		INSURANCE PREM-LUNA FEB&MAR INSURANCE PREM-LUNA FEB&MAR 689-2150-2400	1,020.64
Total :						1,020.64
140999	2/23/2012	30215 KENNY STRICKLAND INC	1049799		VEHICLE OIL VEHICLE OIL 684-4550-2350	600.12
Total :						600.12
141000	2/23/2012	37140 KING SIGN CO.	4601		SIGNS SIGNS 225-8250-2450	705.00
Total :						705.00
141001	2/23/2012	89839 KLEINFELDER	746630		PROFESSIONAL SERVICES PROFESSIONAL SERVICES 683-2200-2722	236.25
Total :						236.25
141002	2/23/2012	89879 L P S FIELD SERVICES	97152		REFUND 1620 W WESTMONT REFUND 1620 W WESTMONT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141002	2/23/2012	89879 L P S FIELD SERVICES	(Continued)		571-0835	104.97
					Total :	104.97
141003	2/23/2012	71855 LAB SAFETY SUPPLY, INC	1018471379		SAFETY SUPPLIES	
					SAFETY SUPPLIES	
					110-3200-2850	46.12
			1018473654		SAFETY SUPPLIES	
					SAFETY SUPPLIES	
					110-3200-2850	53.66
					Total :	99.78
141004	2/23/2012	38761 LAKE HEMET MUNICIPAL WATER DIS, CITY W/	010100840		WATER CONSUMPTION	
					WATER CONSUMPTION	
					685-4560-2100	198.74
			010100850		WATER CONSUMPTION	
					WATER CONSUMPTION	
					685-4560-2100	43.70
			010502401		WATER CONSUMPTION	
					WATER CONSUMPTION	
					228-8273-2100	95.38
			010503441		WATER CONSUMPTION	
					WATER CONSUMPTION	
					228-8273-2100	31.53
			010702502		WATER CONSUMPTION	
					WATER CONSUMPTION	
					225-8250-2100	70.66
			020100908		WATER CONSUMPTION	
					WATER CONSUMPTION	
					291-1925-2400	207.92
			05020102T1		WATER CONSUMPTION	
					WATER CONSUMPTION	
					225-8250-2100	23.24
			050600410		WATER CONSUMPTION	
					WATER CONSUMPTION	
					110-4250-2100	214.57

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141004	2/23/2012	38761	38761 LAKE HEMET MUNICIPAL WATER DIS, CIT (Continued)			Total : 885.74
141005	2/23/2012	75665	LEHIGH SAFETY SHOES	541889	SAFETY SHOES SAFETY SHOES 228-8265-2700	128.21
				645411	SAFETY SHOES SAFETY SHOES 228-8265-2700	170.23
						Total : 298.44
141006	2/23/2012	88943	LONG, GLORIA	Ben307077	WAGE ASSIGNMENT: Payment WAGE ASSIGNMENT: Payment 750-2174	507.69
						Total : 507.69
141007	2/23/2012	82468	LOWE'S OF HEMET STORE #1556	98006134229	BUILDING SUPPLIES BUILDING SUPPLIES 221-4200-2450	34.26
					BUILDING SUPPLIES 684-4550-2350	6.04
					BUILDING SUPPLIES 685-4560-2450	314.99
					BUILDING SUPPLIES 680-1930-2850	260.49
					BUILDING SUPPLIES 225-8250-2450	80.54
					BUILDING SUPPLIES 254-4600-2450	28.08
					BUILDING SUPPLIES 571-9000-2450	271.80
					BUILDING SUPPLIES 110-3200-2450	342.82
				98006176451	BUILDING SUPPLIES BUILDING SUPPLIES 683-2200-2725	4,609.55

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141007	2/23/2012	82468 82468 LOWE'S OF HEMET STORE #1556	(Continued)			Total : 5,948.57
141008	2/23/2012	90248 M P S N PROPERTIES	99415		REFUND 1220 E WHITTIER REFUND 1220 E WHITTIER 571-0835	216.53 Total : 216.53
141009	2/23/2012	90723 MARABELLA, DONALD	83724		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	177.48 Total : 177.48
141010	2/23/2012	79674 MATHESON TRI-GAS, INC	04026089	2011-000552	INDUSTRIAL GAS AS NEEDED THROU INDUSTRIAL GAS AS NEEDED THROU 110-3200-2452	62.50
			04026090	2011-000552	INDUSTRIAL GAS AS NEEDED THROU INDUSTRIAL GAS AS NEEDED THROU 110-3200-2452	51.70
			04026091	2011-000552	INDUSTRIAL GAS AS NEEDED THROU INDUSTRIAL GAS AS NEEDED THROU 110-3200-2452	40.90
			04026092	2011-000552	INDUSTRIAL GAS AS NEEDED THROU INDUSTRIAL GAS AS NEEDED THROU 110-3200-2452	46.30 Total : 201.40
141011	2/23/2012	81760 MATTHEW BENDER & CO, INC	26822504		PUBLICATIONS PUBLICATIONS 120-3300-2220	385.15 Total : 385.15
141012	2/23/2012	69415 MCCOMAS, SARAH	REQ 02/07		REIMB NOTARY EXPENSES,MILEAGE REIMB NOTARY EXPENSES,MILEAGE 100-1300-2250	101.23 Total : 101.23
141013	2/23/2012	87958 MCEVERS, BRIAN/KELLY	99431		REFUND CLOSED UTILITY ACCT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141013	2/23/2012	87958 MCEVERS, BRIAN/KELLY	(Continued)		REFUND CLOSED UTILITY ACCT 571-0835	159.25
					Total :	159.25
141014	2/23/2012	89157 MODULAR SPACE CORP	106054822		SISK BLDG/DELIVERY/BLOCK/LEVEL SISK BLDG/DELIVERY/BLOCK/LEVEL 683-2200-2725	533.36
			106054823		SISK BLDG/DELIVERY/BLOCK/LEVEL SISK BLDG/DELIVERY/BLOCK/LEVEL 683-2200-2725	150.00
					Total :	683.36
141015	2/23/2012	89750 MONTES, YADIRA	Ben307075		WAGE ASSIGNMENT: Payment WAGE ASSIGNMENT: Payment 750-2174	222.46
					Total :	222.46
141016	2/23/2012	83281 MOUAT, MICHAEL	TRAVEL		ADVANCE,REMINGTON,CORONA,3/5-8 ADVANCE,REMINGTON,CORONA,3/5-8 231-3150-2560	30.00
					Total :	30.00
141017	2/23/2012	86643 MURRAY, CHRIS	98907		REFUND 760 ALPINE REFUND 760 ALPINE 571-0835	240.71
					Total :	240.71
141018	2/23/2012	44575 MUZAK LLC	241750		MUSIC SYSTEM CITY HALL/YARD MUSIC SYSTEM CITY HALL/YARD 685-4560-2400	77.94
			242056		MUSIC SYSTEM CITY HALL/YARD MUSIC SYSTEM CITY HALL/YARD 685-4560-2400	53.45
					Total :	131.39
141019	2/23/2012	82101 NACUA, EDWARD	TRAVEL		ADVANCE,TACTICAL,RIV,3/8-9	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141019	2/23/2012	82101 NACUA, EDWARD	(Continued)		ADVANCE,TACTICAL,RIV,3/8-9 110-3100-2563	30.00
					Total :	30.00
141021	2/23/2012	60450 NAPA AUTO PARTS	256689		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	84.00
			257316		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	94.25
			273098		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	52.58
			273504		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	6.48
			294583		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	19.69
			295523		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	8.49
			295608		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	232.98
			295699		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	18.90
			295762		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	-20.90
			295807		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	17.86
			295837		AUTO PARTS & SUPPLIES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141021	2/23/2012	60450 NAPA AUTO PARTS	(Continued)		AUTO PARTS & SUPPLIES	
			295845		684-4550-2350 AUTO PARTS & SUPPLIES	21.03
			295849		684-4550-2350 AUTO PARTS & SUPPLIES	16.13
			295851		684-4550-2350 AUTO PARTS & SUPPLIES	7.52
			296345		684-4550-2350 AUTO PARTS & SUPPLIES	96.57
			297164		684-4550-2350 AUTO PARTS & SUPPLIES	33.93
			297244		221-4200-2450 AUTO PARTS & SUPPLIES	34.01
			297635		684-4550-2350 AUTO PARTS & SUPPLIES	-7.00
			297684		684-4550-2350 AUTO PARTS & SUPPLIES	298.61
			297687		684-4550-2350 AUTO PARTS & SUPPLIES	7.41
			297710		684-4550-2350 AUTO PARTS & SUPPLIES	49.31
			297715		684-4550-2350 AUTO PARTS & SUPPLIES	11.84
					684-4550-2350 AUTO PARTS & SUPPLIES	21.29

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141021	2/23/2012	60450 NAPA AUTO PARTS	(Continued) 297746		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	-11.84
			297757		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	23.69
			297819		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	23.69
			297822		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	7.41
			297849		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	6.67
			297910		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	15.28
			298007		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 221-4200-2450	2.07
			298214		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	2.31
			298230		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	18.60
			595906		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	44.37
Total :						1,237.23
141022	2/23/2012	69340 NATIONAL LAW ENFORCEMENT SUPPL	75015		CRIME TECH SUPPLIES CRIME TECH SUPPLIES 110-3100-2802	255.78

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141022	2/23/2012	69340	69340 NATIONAL LAW ENFORCEMENT SUPPL	(Continued)		Total : 255.78
141023	2/23/2012	71641	NATIONWIDE RETIREMENT SOLUTION	Ben307059	DEFERRED COMPENSATION: Payment DEFERRED COMPENSATION: Payment 750-2130	5,345.52 Total : 5,345.52
141024	2/23/2012	74077	NOLO PRESS-OCCIDENTAL	34037	BOOKS BOOKS 363-6100-2220	107.06 Total : 107.06
141025	2/23/2012	81491	NORTON IRON INC	95460	REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	126.89 Total : 126.89
141026	2/23/2012	72291	OFFICE DEPOT	597092234001	OFFICE SUPPLIES OFFICE SUPPLIES 110-3100-2253	194.84 Total : 194.84
141027	2/23/2012	69187	OGDEN BENEFITS ADMINISTRATION	MAR 2012	ADMIN FEES ADMIN FEES 689-2150-2710 ADMIN FEES 682-2150-2710	850.50 1,206.00 Total : 2,056.50
141028	2/23/2012	70148	P A P A	REQ 0207	PESTICIDE TRAINING,RC,3/6/12 PESTICIDE TRAINING,RC,3/6/12 254-4650-2560	320.00 Total : 320.00
141029	2/23/2012	82115	PACKHAM & TOOMEY INC	020612	UST INSPECTION/REPAIRS UST INSPECTION/REPAIRS 685-4560-2400	1,150.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141029	2/23/2012	82115 82115 PACKHAM & TOOMEY INC	(Continued)			Total : 1,150.00
141030	2/23/2012	76419 PETTY CASH-DETECTIVES	REQ 0208		PETTY CASH REIMBURSEMENT PETTY CASH REIMBURSEMENT 110-3100-2802	87.00 Total : 87.00
141031	2/23/2012	51796 PIP PRINTING #875	121141		COPYING & PRINTING SERVICE COPYING & PRINTING SERVICE 686-4100-2250	171.59
			121192		COPYING & PRINTING SERVICE COPYING & PRINTING SERVICE 120-3300-2714	60.20
			121287		COPYING & PRINTING SERVICE COPYING & PRINTING SERVICE 110-3100-2717	7.59
			121325		COPYING & PRINTING SERVICE COPYING & PRINTING SERVICE 110-3100-2717	18.10 Total : 257.48
141032	2/23/2012	74951 PITNEY BOWES PURCHASE POWER	8-9-10777393		POSTAGE BY PHONE RESET POSTAGE BY PHONE RESET 110-6100-2250	639.15 Total : 639.15
141033	2/23/2012	84339 PLUMBERS DEPOT INC	PD-17639		PARTS/SUPPLIES PARTS/SUPPLIES 254-4600-2450	661.59
			PD-17722		PARTS/SUPPLIES PARTS/SUPPLIES 254-4600-2450	314.63 Total : 976.22
141034	2/23/2012	70826 POST AND PARCEL PLUS	586557		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3100-2253	46.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141034	2/23/2012	70826 POST AND PARCEL PLUS	(Continued) 75882		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3100-2253	13.40
			79369		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3200-2250	20.08
			79370		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3225-2250	10.95
			79717		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3225-2250	25.55
			80970		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 571-9000-2255	27.61
			81640		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 571-9000-2255	37.94
			81673		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3225-2250	12.60
			81758		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3100-2253	19.36
Total :						213.49
141035	2/23/2012	67650 POWER PLAN OIB	P57956		PARTS & SUPPLIES PARTS & SUPPLIES 684-4550-2350	78.86
Total :						78.86
141036	2/23/2012	89375 PREFERRED REALTY ADVISORS	98774		REFUND 150 N ALESSANDRO REFUND 150 N ALESSANDRO 571-0835	1,244.22

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141036	2/23/2012	89375	89375 PREFERRED REALTY ADVISORS		(Continued)	Total : 1,244.22
141037	2/23/2012	53359	PUBLIC EMPLOYEES RETIREMENT SY	Ben307057	PERS SERV CRDT-TAX DEF: Payment PERS SERV CRDT-TAX DEF: Payment 750-2120 EPMC: Payment 750-2120 PENSION: Payment 750-2120 SURVIVOR BENEFITS-PERS MISC: Pay 750-2120 SURVIVOR BENEFITS-PERS SAFETY: F 750-2120 P.E.R.S. PENSION 110-3100-1400 P.E.R.S. PENSION 100-1400-1400	7,612.45 755.77 238,783.36 153.45 96.72 121.98 -3.03 Total : 247,520.70
141038	2/23/2012	73521	PULLTARPS MFG	144561-1	TARP SYSTEMS TARP SYSTEMS 684-4550-2350	126.68 Total : 126.68
141039	2/23/2012	53916	QUINN, DAVID	TRAVEL	ADVANCE,SLI,SACRAMENTO,3/15-17 ADVANCE,SLI,SACRAMENTO,3/15-17 236-3163-2560	150.00 Total : 150.00
141040	2/23/2012	90724	R J F FINANCIAL	95880	REFUND 1230 VALENCIA REFUND 1230 VALENCIA 571-0835	261.89 Total : 261.89
141041	2/23/2012	89191	R3 CONSULTING GROUP	6860	2012-000384 CONSULTANT TO PROVIDE TRANSITIC CONSULTANT TO PROVIDE TRANSITIC	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141041	2/23/2012	89191 R3 CONSULTING GROUP	(Continued)		553-4500-2710	3,142.56
					Total :	3,142.56
141042	2/23/2012	54290 RAMONA HUMANE SOCIETY	COH13112	2012-000358	PROVIDE ANIMAL CONTROL SERVICE; PROVIDE ANIMAL CONTROL SERVICE; 110-3400-2400	16,559.68
					Total :	16,559.68
141043	2/23/2012	76779 RANDOM HOUSE, INC	1083383636		AUDIO BOOKS AUDIO BOOKS 363-6100-2226	34.48
					Total :	34.48
141044	2/23/2012	86589 REDMOND, BEVERLY	94411		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	79.10
					Total :	79.10
141045	2/23/2012	87048 RELIANCE STANDARD	Ben307043		VOLUNTARY LIFE INSURANCE: Paymer VOLUNTARY LIFE INSURANCE: Paymer 750-2187	803.40
					Total :	803.40
141046	2/23/2012	75335 RIVERSIDE COUNTY SHERIFF	REQ 02/14		TUITION,VAEOSO,BASIC,RIV,3/19-21 TUITION,VAEOSO,BASIC,RIV,3/19-21 110-3100-2563	197.00
					Total :	197.00
141047	2/23/2012	75335 RIVERSIDE COUNTY SHERIFF	REQ 02/13		TUITION,NACUA,TACTICAL,3/8-9 TUITION,NACUA,TACTICAL,3/8-9 110-3100-2563	57.00
					Total :	57.00
141048	2/23/2012	69456 RIVERSIDE, COUNTY OF (C&R)	CEQA		NOTICE OF DETERMINATION, CIP 5552 NOTICE OF DETERMINATION, CIP 5552 686-4100-2710	64.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141048	2/23/2012	69456 69456 RIVERSIDE, COUNTY OF (C&R)	(Continued)			Total : 64.00
141049	2/23/2012	75964 RIVERSIDE, COUNTY OF (EDA)	2012-09		TEAM RIVERSIDE CO 528140,2/15/12 TEAM RIVERSIDE CO 528140,2/15/12 391-8905-2220	100.00 Total : 100.00
141050	2/23/2012	86127 ROCHA, LORENA	REQ 02/15		REIMB A/F, TYLER CONF, TX, 4/10-13 REIMB A/F, TYLER CONF, TX, 4/10-13 100-1400-2560 REIMB A/F, TYLER CONF, TX, 4/10-13 571-9000-2560	195.10 195.10 Total : 390.20
141051	2/23/2012	90725 ROSAS, ANTONIO/MARIA	99051		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	256.83 Total : 256.83
141052	2/23/2012	57184 SAFEWAY SIGN CO	88142		TRAFFIC SIGNS TRAFFIC SIGNS 221-4200-2450	1,427.15 Total : 1,427.15
141053	2/23/2012	89059 SAUM, PHILIP	96470		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	239.63 Total : 239.63
141054	2/23/2012	86867 SEALS, ARLYCE	94587		REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT 571-0835	120.34 Total : 120.34
141055	2/23/2012	70507 SERNA, FRANK	MAR 2012		PYMT IN LIEU OF MEDICAL INSURANC PYMT IN LIEU OF MEDICAL INSURANC 689-2150-2400	282.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141055	2/23/2012	70507 70507 SERNA, FRANK	(Continued)			Total : 282.00
141056	2/23/2012	87878 SERRANO, JAIME/AMANDA	99377		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	187.85 Total : 187.85
141057	2/23/2012	90728 SHERATON GATEWAY	REQ 02/13		LODGING,HESS.SLI,3/5-7 LODGING,HESS.SLI,3/5-7 236-3163-2560	317.46 Total : 317.46
141058	2/23/2012	90703 SIMS WELDING SUPPLY	503891		REPAIRS REPAIRS 684-4550-2350	459.57 Total : 459.57
141059	2/23/2012	85416 SLADDEN ENGINEERING	29457	2012-000428	GEOTECHNICAL TESTING FOR COMP/ GEOTECHNICAL TESTING FOR COMP/ 329-5562-2710	5,270.55 Total : 5,270.55
141060	2/23/2012	58450 SMART & FINAL	165087 165800		FOOD & JANITORIAL SUPPLIES FOOD & JANITORIAL SUPPLIES 100-1800-2250 FOOD & JANITORIAL SUPPLIES FOOD & JANITORIAL SUPPLIES 110-3200-2450	218.39 575.00 Total : 793.39
141061	2/23/2012	88855 SNAP-ON-TOOLS	25571		SMALL TOOLS SMALL TOOLS 684-4550-2850	45.20 Total : 45.20
141062	2/23/2012	71475 SOUTH COAST AQMD	FEES		NOTICE TO COMPLY GENERATORS NOTICE TO COMPLY GENERATORS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141062	2/23/2012	71475 SOUTH COAST AQMD	(Continued)		571-9000-2450	7,964.70
Total :						7,964.70
141066	2/23/2012	59145 SOUTHERN CALIFORNIA EDISON	2004613295		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	20.09
			2004613352		ELECTRIC BILLS ELECTRIC BILLS 571-9000-2100	404.98
			2012028205		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	9,404.54
			2012028759		ELECTRIC BILLS ELECTRIC BILLS 227-8260-2100	173.90
			2012028767		ELECTRIC BILLS ELECTRIC BILLS 227-8261-2100	129.99
			2012029070		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	578.74
			2199065228		ELECTRIC BILLS ELECTRIC BILLS 254-4650-2100	13.17
			2231716911		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	134.72
			2232323212		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	102.66
			2232323303		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	6,162.09
					225-8250-2100	23,630.92

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141066	2/23/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued) 2235084910		ELECTRIC BILLS ELECTRIC BILLS 221-4200-2100	182.95
			2235086006		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	26.22
			2240096164		ELECTRIC BILLS ELECTRIC BILLS 571-9000-2100	3,609.86
			2242079879		ELECTRIC BILLS ELECTRIC BILLS 221-4200-2100	45.92
			2243303104		ELECTRIC BILLS ELECTRIC BILLS 680-3500-2450	1.28
			2244518882		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	12.07
			2245459771		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	19.73
			2247597602		ELECTRIC BILLS ELECTRIC BILLS 391-8900-2400	21.26
			2248156309		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	48.87
			2248596652		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	96.07
			2252086566		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	67.88
			2253747133		ELECTRIC BILLS ELECTRIC BILLS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141066	2/23/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued)		110-4250-2100	304.46
			2253913719		ELECTRIC BILLS	
					ELECTRIC BILLS	
			2257276675		225-8250-2100	37.63
					ELECTRIC BILLS	
					ELECTRIC BILLS	
			2257302521		227-8264-2100	138.51
					ELECTRIC BILLS	
					ELECTRIC BILLS	
			2257685602		225-8250-2100	21.65
					ELECTRIC BILLS	
					ELECTRIC BILLS	
			2257685701		225-8250-2100	38.63
					ELECTRIC BILLS	
					ELECTRIC BILLS	
			2259119022		225-8250-2100	23.30
					ELECTRIC BILLS	
					ELECTRIC BILLS	
			2260026125		685-4560-2100	135.61
					ELECTRIC BILLS	
					ELECTRIC BILLS	
			2263349581		685-4560-2100	894.61
					ELECTRIC BILLS	
					ELECTRIC BILLS	
			2265812206		685-4560-2100	128.75
					ELECTRIC BILLS	
					ELECTRIC BILLS	
					221-4200-2100	61.79
					ELECTRIC BILLS	
			2266176320		225-8250-2100	90.48
					ELECTRIC BILLS	
					ELECTRIC BILLS	
			2270491533		225-8250-2100	16.11
					ELECTRIC BILLS	
					ELECTRIC BILLS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141066	2/23/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued)		685-4560-2100 ELECTRIC BILLS	50.93
			2275372696		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	69.02
			2275726461		228-8265-2100 ELECTRIC BILLS ELECTRIC BILLS	297.31
			2277162525		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	93.79
			2277863965		221-4200-2100 ELECTRIC BILLS 225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	35.33 38.63
			2278300660		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	18.55
			2278300777		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	25.98
			2278648761		221-4200-2100 ELECTRIC BILLS ELECTRIC BILLS	76.79
			2278648845		221-4200-2100 ELECTRIC BILLS ELECTRIC BILLS	35.66
			2278648936		227-8265-2100 ELECTRIC BILLS ELECTRIC BILLS	167.82
			2279079552		228-8265-2100 ELECTRIC BILLS ELECTRIC BILLS	21.26
					221-4200-2100	42.38

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141066	2/23/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued)		ELECTRIC BILLS	
					225-8250-2100	54.46
			2279880348		ELECTRIC BILLS	
					ELECTRIC BILLS	
					225-8250-2100	21.26
			2280588955		ELECTRIC BILLS	
					ELECTRIC BILLS	
					221-4200-2100	29.60
					ELECTRIC BILLS	
					225-8250-2100	34.00
			2281016899		ELECTRIC BILLS	
					ELECTRIC BILLS	
					571-9000-2100	5,628.17
			2286669254		ELECTRIC BILLS	
					ELECTRIC BILLS	
					225-8250-2100	17.90
			2287778179		ELECTRIC BILLS	
					ELECTRIC BILLS	
					227-8268-2100	64.37
					ELECTRIC BILLS	
					228-8268-2100	43.30
			2288075039		ELECTRIC BILLS	
					ELECTRIC BILLS	
					685-4560-2100	515.58
			2290036771		ELECTRIC BILLS	
					ELECTRIC BILLS	
					225-8250-2100	16.34
			2290834654		ELECTRIC BILLS	
					ELECTRIC BILLS	
					225-8250-2100	242.99
			2290866136		ELECTRIC BILLS	
					ELECTRIC BILLS	
					228-8273-2100	65.62
					ELECTRIC BILLS	
					227-8273-2100	47.55

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141066	2/23/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued) 2291251585		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	37.09
			2291251817		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	21.99
			2292708153		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	36.27
			2293452942		ELECTRIC BILLS ELECTRIC BILLS 228-8266-2100	282.66
			2299137406		227-8266-2100 ELECTRIC BILLS ELECTRIC BILLS 227-8270-2100	437.22
					ELECTRIC BILLS 228-8270-2100	372.14
					ELECTRIC BILLS 228-8276-2100	23.62
					ELECTRIC BILLS 221-4200-2100	119.39
					ELECTRIC BILLS 227-8276-2100	35.11
			2301449542		ELECTRIC BILLS ELECTRIC BILLS 228-8267-2100	41.86
					ELECTRIC BILLS 227-8267-2100	118.12
			2302592803		ELECTRIC BILLS ELECTRIC BILLS 221-4200-2100	68.42
					ELECTRIC BILLS	54.32

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141066	2/23/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued)			
			2304560741		225-8250-2100 ELECTRIC BILLS	30.85
					227-8277-2100 ELECTRIC BILLS	47.39
					228-8278-2100 ELECTRIC BILLS	65.10
			2304888399		228-8277-2100 ELECTRIC BILLS	64.56
					225-8250-2100 ELECTRIC BILLS	18.12
			2304888894		ELECTRIC BILLS	
					225-8250-2100 ELECTRIC BILLS	35.92
			2304889058		ELECTRIC BILLS	
					225-8250-2100 ELECTRIC BILLS	26.75
			2304889140		ELECTRIC BILLS	
					221-4200-2100 ELECTRIC BILLS	41.26
			2305076069		ELECTRIC BILLS	
					225-8250-2100 ELECTRIC BILLS	215.57
			2306028077		ELECTRIC BILLS	
					225-8250-2100 ELECTRIC BILLS	101.16
			2308761147		ELECTRIC BILLS	
					228-8285-2100 ELECTRIC BILLS	23.37
					227-8285-2100 ELECTRIC BILLS	16.53
			2312418106		ELECTRIC BILLS	
					227-8280-2100 ELECTRIC BILLS	34.35
			2315913368		ELECTRIC BILLS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141066	2/23/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued)		ELECTRIC BILLS	
			2316667070		228-8270-2100 ELECTRIC BILLS	98.62
			2318815362		ELECTRIC BILLS 225-8250-2100	38.46
			2321393449		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	346.00
			2326413903		ELECTRIC BILLS 225-8250-2100	116.78
			2330239757		ELECTRIC BILLS ELECTRIC BILLS 227-8284-2100	24.61
			2332838028		ELECTRIC BILLS ELECTRIC BILLS 227-8280-2100	262.32
			2333326700		ELECTRIC BILLS ELECTRIC BILLS 221-4200-2100	59.45
					ELECTRIC BILLS 227-8292-2100	55.99
					ELECTRIC BILLS 228-8292-2100	85.82
					ELECTRIC BILLS ELECTRIC BILLS 228-8283-2100	23.11
					ELECTRIC BILLS 227-8283-2100	56.69
					ELECTRIC BILLS 221-4200-2100	46.32
					ELECTRIC BILLS 225-8250-2100	247.78
			2333964872		ELECTRIC BILLS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141066	2/23/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued)		ELECTRIC BILLS	
					221-4200-2100	38.37
					ELECTRIC BILLS	
					227-8276-2100	37.99
			2334519717		ELECTRIC BILLS	
					ELECTRIC BILLS	
					228-8271-2100	69.89
					ELECTRIC BILLS	
					227-8271-2100	141.90
			2336168786		ELECTRIC BILLS	
					ELECTRIC BILLS	
					228-8265-2100	25.19
			2337297485		ELECTRIC BILLS	
					ELECTRIC BILLS	
					221-4200-2100	41.57
					ELECTRIC BILLS	
					225-8250-2100	74.08
			2340622703		ELECTRIC BILLS	
					ELECTRIC BILLS	
					227-8282-2100	16.04
			2341527042		ELECTRIC BILLS	
					ELECTRIC BILLS	
					227-8289-2100	21.65
			2343135992		ELECTRIC BILLS	
					ELECTRIC BILLS	
					228-8272-2100	35.78
					Total :	58,867.58
141067	2/23/2012	59150 SOUTHERN CALIFORNIA GAS CO	01588594562		MONTHLY GAS BILLS	
					MONTHLY GAS BILLS	
					685-4560-2100	407.02
			03682435007		MONTHLY GAS BILLS	
					MONTHLY GAS BILLS	
					685-4560-2100	79.10
			05552545005		MONTHLY GAS BILLS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141067	2/23/2012	59150 SOUTHERN CALIFORNIA GAS CO	(Continued)		MONTHLY GAS BILLS 685-4560-2100	43.23
			06202437544		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	22.15
			08722433003		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	239.37
			11642551425		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	95.10
			12272552006		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	45.54
			12308894166		MONTHLY GAS BILLS MONTHLY GAS BILLS 110-3100-2805	104.50
			13552433008		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	1,141.90
			14602433568		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	64.53
			16265395737		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	43.11
			16839831845		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	137.10
			16915239764		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	40.93
			17332433840		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	63.66

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141067	2/23/2012	59150 SOUTHERN CALIFORNIA GAS CO	(Continued) 17542433523		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	76.40
			17752433346		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	102.76
			17962433391		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	45.40
			19222435406		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	131.93
			19422505008		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	1,009.11
			19432435725		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	262.16
			20052532007		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	98.60
					Total :	4,253.60
141068	2/23/2012	70870 STANDARD INSURANCE CO (LTD)	Ben307029		LONG TERM DISABILITY: Payment LONG TERM DISABILITY: Payment 750-2141	8,665.30
					Total :	8,665.30
141069	2/23/2012	76654 STAPLES ADVANTAGE	3166898891		OFFICE SUPPLIES OFFICE SUPPLIES 120-3350-2250	72.15
			3168635376		OFFICE SUPPLIES 291-1926-2250 OFFICE SUPPLIES	17.86

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141069	2/23/2012	76654 STAPLES ADVANTAGE	(Continued)			
			3168635377		110-3200-2250 OFFICE SUPPLIES	150.76
			3168635378		110-3200-2250 OFFICE SUPPLIES	120.68
					110-3200-2250 OFFICE SUPPLIES	9.07
					Total :	370.52
141070	2/23/2012	89141 STARLIGHT MGMT III LP	99127		REFUND 679 S JUANITA	
			99663		REFUND 679 S JUANITA 571-0835	241.98
					REFUND 720 E CENTRAL AVE REFUND 720 E CENTRAL AVE 571-0835	164.09
					Total :	406.07
141071	2/23/2012	60258 STATE WATER RESOURCES (SWRCB)	WD-0069548		ANNUAL PERMIT FEES	
					ANNUAL PERMIT FEES 254-4650-2400	18,196.00
					Total :	18,196.00
141072	2/23/2012	89709 STELSE, DEANNA	Ben307049		HEMET MID-MANAGERS ASSOC: Paym	
					HEMET MID-MANAGERS ASSOC: Paym 750-2169	705.00
					Total :	705.00
141073	2/23/2012	90019 STELSE, DEANNA	EDUCAT 02/09		EDUCATIONAL REIMBURSEMENT	
			EDUCAT 0209		EDUCATIONAL REIMBURSEMENT 100-1800-1400	540.00
					EDUCATIONAL REIMBURSEMENT EDUCATIONAL REIMBURSEMENT 100-1800-1400	540.00
					Total :	1,080.00
141074	2/23/2012	30355 SUPERIOR REDI MIX	484450		CONCRETE,ROCK,SAND	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141074	2/23/2012	30355 SUPERIOR REDI MIX	(Continued)		CONCRETE,ROCK,SAND 221-4200-2450	636.26
			485162		CONCRETE,ROCK,SAND CONCRETE,ROCK,SAND 221-4200-2450	1,085.04
			485833		CONCRETE,ROCK,SAND CONCRETE,ROCK,SAND 221-4200-2450	1,256.36
Total :						2,977.66
141075	2/23/2012	84743 SUROWSKI, PETER/GENA	99097		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	170.78
Total :						170.78
141076	2/23/2012	88878 SWEET BABY JANE'S	90181		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	1,252.19
Total :						1,252.19
141077	2/23/2012	82114 THOMSEN COMPANY INC, THE	2012-002		~	
				2012-000416	~	
					329-5562-2710	15,000.00
				2012-000416	~	
					686-4100-2710	1,427.36
			2012-6		~	
				2012-000416	~	
					686-4100-2710	2,812.00
Total :						19,239.36
141078	2/23/2012	88724 THOMSON WEST	824459740		BOOKS BOOKS 363-6100-2221	126.07
Total :						126.07
141079	2/23/2012	69590 TIRES WAREHOUSE OF HEMET	10827		~	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141079	2/23/2012	69590 TIRES WAREHOUSE OF HEMET	(Continued)			
				2012-000464	~ 684-4550-2350	650.22
			10838		~	
				2012-000464	~ 684-4550-2350	3,181.27
Total :						3,831.49
141080	2/23/2012	69589 TOP-LINE INDUSTRIAL PRODUCTS	320518		AUTOMOTIVE PARTS & SUPPLIES AUTOMOTIVE PARTS & SUPPLIES 684-4550-2450	65.33
			320896		AUTOMOTIVE PARTS & SUPPLIES AUTOMOTIVE PARTS & SUPPLIES 571-9000-2850	136.10
Total :						201.43
141081	2/23/2012	89557 TRAINING AND CONSULTING TEAM	CL360-HEMETPD2		CANINE LIABILITY,CORONA,5/21/12 CANINE LIABILITY,CORONA,5/21/12 231-3150-2560	475.00
Total :						475.00
141082	2/23/2012	85284 TRANSUNION	01252443		CREDIT REPORT CREDIT REPORT 291-1926-2800	55.00
Total :						55.00
141083	2/23/2012	73428 TRANS-WEST TRUCK CENTER	TP70603		PARTS & SUPPLIES PARTS & SUPPLIES 684-4550-2350	307.87
Total :						307.87
141084	2/23/2012	89714 TURTLE ISLAND CONST SERVICES	227*		OWNER OCCUPIED REHABILITATION F OWNER OCCUPIED REHABILITATION F 246-8829-2400	1,325.00
			228*		OWNER OCCUPIED REHABILITATION F OWNER OCCUPIED REHABILITATION F 246-8829-2400	1,325.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141084	2/23/2012	89714 TURTLE ISLAND CONST SERVICES	(Continued) 229*	2011-000581	OWNER OCCUPIED REHABILITATION F OWNER OCCUPIED REHABILITATION F 246-8829-2400	1,325.00
			230*	2011-000581	OWNER OCCUPIED REHABILITATION F OWNER OCCUPIED REHABILITATION F 246-8829-2400	500.00
			231*	2011-000581	OWNER OCCUPIED REHABILITATION F OWNER OCCUPIED REHABILITATION F 246-8829-2400	1,325.00
Total :						5,800.00
141085	2/23/2012	88518 TYLER TECHNOLOGIES INC	045-192503	2012-000457	REGISTRATION FEE FOR "CONNECT 2 REGISTRATION FEE FOR "CONNECT 2 100-1400-2560	337.50
				2012-000457	REGISTRATION FEE FOR "CONNECT 2 571-9000-2560	337.50
Total :						675.00
141086	2/23/2012	76386 U S A BLUE BOOK	578937		PARTS & SUPPLIES PARTS & SUPPLIES 571-9000-2450	923.48
			580465		PARTS & SUPPLIES PARTS & SUPPLIES 571-9000-2450	216.83
Total :						1,140.31
141087	2/23/2012	63783 UNDERGROUND SERVICE ALERT	120120305		NOTIFICATION SERVICES NOTIFICATION SERVICES 571-9000-2710	727.50
Total :						727.50
141088	2/23/2012	85686 UNIQUE MANAGEMENT SERVICES INC	218227		LIBRARY COLLECTIONS LIBRARY COLLECTIONS 110-2080	510.15
Total :						510.15

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141089	2/23/2012	90729 UNITED STATES MEDIA TELEVISION	7397		TODAY IN AMERICA TODAY IN AMERICA 391-8900-2710	9,900.00 Total : 9,900.00
141090	2/23/2012	83824 VAEOSO, SILAFAGA	TRAVEL		ADVANCE,BASIC,RIV,3/19-21 ADVANCE,BASIC,RIV,3/19-21 110-3100-2563	45.00 Total : 45.00
141091	2/23/2012	69777 VALLEY RESTART SHELTER	3		CDBG REIMBURSEMENT CDBG REIMBURSEMENT 240-3971-2400	1,727.36 Total : 1,727.36
141092	2/23/2012	69426 VALLEY STEAM	01/17/12		CARPET CLEANING CARPET CLEANING 685-4560-2460	280.00 Total : 280.00
141093	2/23/2012	26850 VERIZON CALIFORNIA	1974872		PHONE BILLS PHONE BILLS 680-1930-2200	1,923.59
			7651564		PHONE BILLS PHONE BILLS 680-1930-2200	38.94
			9270573		PHONE BILLS PHONE BILLS 680-1930-2200	97.55
			9291671		PHONE BILLS PHONE BILLS 680-1930-2200	83.21
			9295692		PHONE BILLS PHONE BILLS 680-1930-2200	215.57
			DW00093		PHONE BILLS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141093	2/23/2012	26850 VERIZON CALIFORNIA	(Continued)		PHONE BILLS 680-1930-2200	219.13
			RT01594		PHONE BILLS PHONE BILLS 680-1930-2200	39.69
Total :						2,617.68
141094	2/23/2012	80404 VERIZON WIRELESS	371888385		CELL PHONES/AIR CARDS CELL PHONES/AIR CARDS 110-3200-2200	39.62
Total :						39.62
141095	2/23/2012	89416 VILLA, JOSE	98301		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	277.63
Total :						277.63
141096	2/23/2012	32992 VULCAN MATERIALS CO	652592		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 221-4200-2450	411.20
			655173		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 221-4200-2450	275.44
			657739		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 221-4200-2450	2,032.17
			657740		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 221-4200-2450	817.83
Total :						3,536.64
141097	2/23/2012	89778 WATERLINE TECHNOLOGIES INC	5194481		PARTS/SUPPLIES PARTS/SUPPLIES 571-9000-2450	455.14
			5195227		PARTS/SUPPLIES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141097	2/23/2012	89778 WATERLINE TECHNOLOGIES INC	(Continued)		PARTS/SUPPLIES	
					571-9000-2450	344.80
			5196382		PARTS/SUPPLIES	
					PARTS/SUPPLIES	
					571-9000-2450	911.57
					Total :	1,711.51
141098	2/23/2012	79158 WEST PAYMENT CENTER	824392977		PUBLICATIONS	
					PUBLICATIONS	
					110-3100-2402	606.38
					Total :	606.38
141099	2/23/2012	82343 WESTERN RIVERSIDE CO REGIONAL	REQ 02/22		MSHCP FEES COLLECTION JAN 2012	
					MSHCP FEES COLLECTION JAN 2012	
					741-2053	31,944.00
					Total :	31,944.00
141100	2/23/2012	72569 WESTERN RIVERSIDE COUNCIL	REQ 02/22		TUMF FEES COLLECTED JAN 2012	
					TUMF FEES COLLECTED JAN 2012	
					741-2056	205,623.00
					Total :	205,623.00
141101	2/23/2012	78103 WHITE HOUSE SANITATION	130082		PORTABLE SANITATION SERVICE	
					PORTABLE SANITATION SERVICE	
					110-4250-2700	225.00
			144158		PORTABLE SANITATION SERVICE	
					PORTABLE SANITATION SERVICE	
					228-8265-2700	61.16
					Total :	286.16
141102	2/23/2012	75597 WILLDAN FINANCIAL SERVICES	010-16519		CFD 2005-1 2011/12	
					CFD 2005-1 2011/12	
					234-3100-2710	251.82
					CFD 2005-1 2011/12	
					234-3200-2710	251.81

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141102	2/23/2012	75597 75597 WILLDAN FINANCIAL SERVICES	(Continued)			Total : 503.63
141103	2/23/2012	75826 WISEHART, DEBORAH L	Ben307061		WAGE ASSIGNMENT: Payment WAGE ASSIGNMENT: Payment 750-2174	125.00 Total : 125.00
141104	2/23/2012	88122 WURTH USA INC	94138122		CHEMICAL SUPPLIES CHEMICAL SUPPLIES 684-4550-2350	176.66 Total : 176.66
141105	2/23/2012	89777 Y M C A OF RIVERSIDE CITY	MAR 2012	2012-000019	FACILITY OPERATION MANAGEMENT (S) FACILITY OPERATION MANAGEMENT (S) 110-7400-2710	20,833.00 Total : 20,833.00
141106	2/23/2012	69591 ZUMAR INDUSTRIES, INC	0136106		STREET SIGNS & POSTS STREET SIGNS & POSTS 221-4200-2450	145.24 Total : 145.24
242 Vouchers for bank code : 001						Bank total : 1,313,412.82
242 Vouchers in this report						Total vouchers : 1,313,412.82

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
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I, Rita Conrad, do hereby certify under penalty of perjury, that the materials have been furnished, the services rendered, or the labor performed as described herein, and that the claim is a just, due and unpaid obligation against the City of Hemet, and that I am authorized to authenticate and certify to said claim.

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
2855	2/9/2012	85801 SUNTRUST LEASING CORP	2855		WATER METER ACCT #7921060 WATER METER ACCT #7921060 571-9000-4100 WATER METER ACCT #7921060 INT 571-9000-4200	35,688.02 3,490.49 Total : 39,178.51
2856	2/9/2012	23010 EASTERN MUNICIPAL WATER DIST, CITY WAT	2856		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 254-2022 CITY OF HEMET WATER ACCOUNTS 254-0658 CITY OF HEMET WATER ACCOUNTS 553-2045 CITY OF HEMET WATER ACCOUNTS 254-0657 CITY OF HEMET WATER ACCOUNTS 254-0658	343,578.46 -53,981.57 -165,484.24 -30,980.40 -348.00 Total : 92,784.25
2857	2/8/2012	18623 HEMET, CITY OF EMPLOYEE	2857		EMPLOYEE BENEFIT PLAN EMPLOYEE BENEFIT PLAN 682-2150-2500 EMPLOYEE BENEFIT PLAN 689-2150-2500 EMPLOYEE BENEFIT PLAN 689-2150-2400	41,336.01 14,938.18 1,610.61 Total : 57,884.80
2858	2/8/2012	79372 PAYROLL WIRE TRANSFER	WE 2/5/12		ELECTRONIC FUNDS TRANSFER ELECTRONIC FUNDS TRANSFER 750-1100	606,771.64 Total : 606,771.64
2859	2/8/2012	24274 ELECTRONIC FDRL TAX PYMNT SYS	WE 2/5/12		FEDERAL TAX DEDUCTIONS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
2859	2/8/2012	24274 ELECTRONIC FDRL TAX PYMNT SYS	(Continued)		FEDERAL TAX DEDUCTIONS 750-2110	108,131.51
					Total :	108,131.51
2860	2/8/2012	69112 EMPLOYMENT DEVELOPMENT DEPT	WE 2/5/12		STATE TAXES STATE TAXES 750-2115	26,881.54
					Total :	26,881.54
2861	2/8/2012	84857 CA STATE DISBURSEMENT UNIT, ELECTRONIC	WE 2/5/12		CHILD SUPPORT GARNISHMENTS CHILD SUPPORT GARNISHMENTS 750-2174	2,925.07
					Total :	2,925.07
2862	2/9/2012	87047 TOTAL ADMINISTRATIVE SERV CORP	WE 2/5/12		FLEX SPENDING ACCOUNTS-CONTRIE FLEX SPENDING ACCOUNTS-CONTRIE 750-2185	2,270.74
					Total :	2,270.74
2863	2/22/2012	79372 PAYROLL WIRE TRANSFER	WE 2/19/12		ELECTRONIC FUNDS TRANSFER ELECTRONIC FUNDS TRANSFER 750-1100	607,066.44
					Total :	607,066.44
2864	2/22/2012	24274 ELECTRONIC FDRL TAX PYMNT SYS	WE 2/19/12		FEDERAL TAX DEDUCTIONS FEDERAL TAX DEDUCTIONS 750-2110	114,786.75
					Total :	114,786.75
2865	2/22/2012	69112 EMPLOYMENT DEVELOPMENT DEPT	WE 2/19/12		STATE TAXES STATE TAXES 750-2115	28,734.94
					Total :	28,734.94
2866	2/22/2012	84857 CA STATE DISBURSEMENT UNIT, ELECTRONIC	WE 2/19/12		CHILD SUPPORT GARNISHMENTS CHILD SUPPORT GARNISHMENTS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
2866	2/22/2012	84857 CA STATE DISBURSEMENT UNIT, ELECTRONIC (Continued)			750-2174	2,925.07
					Total :	2,925.07
2867	2/22/2012	87047 TOTAL ADMINISTRATIVE SERV CORP	WE 2/19/12		FLEX SPENDING ACCOUNTS-CONTRIE FLEX SPENDING ACCOUNTS-CONTRIE 750-2185	2,270.74
					Total :	2,270.74
2868	2/23/2012	88557 FIRST AMERICAN TITLE COMPANY	2868		NSP-3 550 FERN PL NSP-3 550 FERN PL 247-1914-5100	57,700.00
					Total :	57,700.00
57468	2/2/2012	74099 U S POSTMASTER (PERMIT)	REQ 020212		POSTAL PERMIT #253 POSTAL PERMIT #253 553-4500-2255 POSTAL PERMIT #253 571-9000-2255 POSTAL PERMIT #253 254-4600-2255 POSTAL PERMIT #253 254-4650-2255	1,756.00 1,756.00 1,756.00 1,756.00 2,732.00
					Total :	8,000.00
57469	2/29/2012	69456 RIVERSIDE, COUNTY OF (C&R)	REQ 022912		ENVIROMENTAL & RECORDING ENVIROMENTAL & RECORDING 571-9000-2410	64.00
					Total :	64.00
57470	2/29/2012	82343 WESTERN RIVERSIDE CO REGIONAL	REQ 022912		MSHCP FEES COLLECTION MSHCP FEES COLLECTION 120-1700-2250	1,500.00
					Total :	1,500.00
17 Vouchers for bank code : 001						Bank total : 1,759,876.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount	
17	Vouchers in this report					Total vouchers :	1,759,876.00

I, Rita Conrad, do hereby certify under penalty of perjury, that the materials have been furnished, the services rendered, or the labor performed as described herein, and that the claim is a just, due and unpaid obligation against the City of Hemet, and that I am authorized to authenticate and certify to said claim.

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141107	3/8/2012	90761 76 JUST 4 FUN	52258		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	507.24 Total : 507.24
141108	3/8/2012	90770 7-ELEVEN INC # 33571	79167		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	13.24 Total : 13.24
141109	3/8/2012	90026 A C E C CA	REQ 02/28		PUBLICATIONS PUBLICATIONS 120-1700-2220	406.11 Total : 406.11
141110	3/8/2012	71916 A D T SECURITY SYSTEMS, INC	65322965 65322988		SECURITY SYSTEM SECURITY SYSTEM 685-4560-2400 SECURITY SYSTEM SECURITY SYSTEM 685-4560-2400	37.49 64.60 Total : 102.09
141111	3/8/2012	90045 A T & T	80008961254		INTRASTATE PRIVATE LINE SVC INTRASTATE PRIVATE LINE SVC 110-3100-2202	357.18 Total : 357.18
141112	3/8/2012	85722 A T & T MOBILITY	287231369663 870024283 993933341		WIRELESS SERVICE WIRELESS SERVICE 100-1100-2200 WIRELESS SERVICE WIRELESS SERVICE 110-3100-2202 WIRELESS SERVICE	152.30 199.46

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141112	3/8/2012	85722 A T & T MOBILITY	(Continued)		WIRELESS SERVICE 110-3200-2200	618.38
			999159630		WIRELESS SERVICE WIRELESS SERVICE 110-3100-2202	3,416.77
					Total :	4,386.91
141113	3/8/2012	87160 AAMCO TRANSMISSION	84099		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	91.60
					Total :	91.60
141114	3/8/2012	90759 ABILITY FIRST APARTMENTS	51888		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	298.01
					Total :	298.01
141115	3/8/2012	10345 ADAMSON POLICE PRODUCTS	64275		POLICE SUPPLIES POLICE SUPPLIES 110-3100-2802	87.42
					Total :	87.42
141116	3/8/2012	84989 ADVANCED INC	14007	2012-000282	PERFORM JANITORIAL SERVICE AT V/ PERFORM JANITORIAL SERVICE AT V/ 685-4560-2400	5,104.58
					Total :	5,104.58
141117	3/8/2012	85950 AETNA	MAR 2012		MEDICARE RETIRED EMPLOYEES MEDICARE RETIRED EMPLOYEES 689-2150-2400	14,769.95
					MEDICARE RETIRED EMPLOYEES 750-2152	263.50
					Total :	15,033.45
141118	3/8/2012	87633 AETNA	MAR 2012		RETIRED EMPLOYEES-NON MEDICARE RETIRED EMPLOYEES-NON MEDICARE	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141118	3/8/2012	87633 AETNA	(Continued)		689-2150-2400	148,275.13
					Total :	148,275.13
141119	3/8/2012	87914 AETNA	MAR 2012		MEDICARE HMO-RETIRED EMPLOYEE:	
					MEDICARE HMO-RETIRED EMPLOYEE:	
					689-2150-2400	5,688.90
					MEDICARE HMO-RETIRED EMPLOYEE:	
					750-2152	-596.13
					Total :	5,092.77
141120	3/8/2012	75041 AETNA HEALTH PLAN	Ben307031		AETNA PATRIOT V: Payment	
					AETNA PATRIOT V: Payment	
					750-2153	152,480.64
					MEDICAL INSURANCE HMO	
					750-2153	1,834.75
					MEDICAL INSURANCE HMO	
					110-3100-1400	929.76
					MEDICAL INSURANCE HMO	
					689-2150-2400	24,198.53
					Total :	179,443.68
141121	3/8/2012	70354 AIR CLEANING SYSTEMS	28351		DIESEL EXHAUST EXTRACTION	
					DIESEL EXHAUST EXTRACTION	
					685-4560-2460	399.73
					Total :	399.73
141122	3/8/2012	54790 AIRGAS WEST, INC	9004124700		WELDING & OXYGEN SUPPLIES	
					WELDING & OXYGEN SUPPLIES	
					684-4550-2700	118.42
			9004211512		WELDING & OXYGEN SUPPLIES	
					WELDING & OXYGEN SUPPLIES	
					684-4550-2700	106.35
			9901288575		WELDING & OXYGEN SUPPLIES	
					WELDING & OXYGEN SUPPLIES	
					254-4600-2450	118.54

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141122	3/8/2012	54790 AIRGAS WEST, INC	(Continued) 9901288576		WELDING & OXYGEN SUPPLIES WELDING & OXYGEN SUPPLIES 684-4550-2450	232.12
			9901288577		WELDING & OXYGEN SUPPLIES WELDING & OXYGEN SUPPLIES 221-4200-2850	184.15
Total :						759.58
141123	3/8/2012	90737 ALDERMAN, BILL/MAUREEN	106012		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	95.54
			52439		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	156.50
Total :						252.04
141124	3/8/2012	90630 ALL ABOUT CLEANING	1558	2012-000455	~ ~ 685-4560-2460	2,780.00
Total :						2,780.00
141125	3/8/2012	90741 ALL DISCOUNT INSURANCE	10778		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	126.44
Total :						126.44
141126	3/8/2012	90751 ALOHA AUTO OUTLET	49248		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	59.79
Total :						59.79
141127	3/8/2012	10710 AL'S KUBOTA TRACTOR INC	304546		REPAIRS/PARTS/SHARPENING REPAIRS/PARTS/SHARPENING 221-4200-2850	71.76
			304630		REPAIRS/PARTS/SHARPENING REPAIRS/PARTS/SHARPENING	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141127	3/8/2012	10710 AL'S KUBOTA TRACTOR INC	(Continued)			
			304691		254-4650-2850 REPAIRS/PARTS/SHARPENING REPAIRS/PARTS/SHARPENING 110-3200-2450	323.20 113.05
					Total :	508.01
141128	3/8/2012	11285 AMREP INC	219276		TRUCK PARTS TRUCK PARTS 684-4550-2350	 349.88
					Total :	349.88
141129	3/8/2012	11526 ANADY'S TROPHIES & ENGR INC	83031		NAME PLATES/TAGS - PLAQUE NAME PLATES/TAGS - PLAQUE 110-3200-2250	 66.81
			83064		NAME PLATES/TAGS - PLAQUE NAME PLATES/TAGS - PLAQUE 110-3100-2801	 16.16
			83118		NAME PLATES/TAGS - PLAQUE NAME PLATES/TAGS - PLAQUE 110-3100-2801	 16.16
					Total :	99.13
141130	3/8/2012	11850 ANCHOR RESTAURANT	52255		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	 267.80
					Total :	267.80
141131	3/8/2012	79820 ANGELA'S GLASS AND MIRROR	47932		EMERGENCY BOARD UP EMERGENCY BOARD UP 110-3100-2801	 217.70
					Total :	217.70
141132	3/8/2012	11873 APPLE ONE	01-2191053		LUTON WE 01/28/12 LUTON WE 01/28/12 120-3350-1250	 450.00
			01-2202461		LUTON WE 02/04/12	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141132	3/8/2012	11873 APPLE ONE	(Continued)		LUTON WE 02/04/12	
					120-3350-1250	720.00
			01-2214639		LUTON WE 02/11/12	
					LUTON WE 02/11/12	
					120-3350-1250	540.00
					Total :	1,710.00
141133	3/8/2012	81199 APPLE STORE, THE	REINBOLT/D		EMPLOYEE COMPUTER PURCHASE	
					EMPLOYEE COMPUTER PURCHASE	
					110-1246	3,440.92
					Total :	3,440.92
141134	3/8/2012	81199 APPLE STORE, THE	CHESVICK/C		EMPLOYEE COMPUTER PURCHASE	
					EMPLOYEE COMPUTER PURCHASE	
					110-1246	2,574.78
					Total :	2,574.78
141135	3/8/2012	85932 ARRID CLUB INC	55867		REFUND CLOSED UTILITY ACCT	
					REFUND CLOSED UTILITY ACCT	
					571-0835	226.42
					Total :	226.42
141136	3/8/2012	12114 ARROWHEAD DRINKING WATER	HEMET011204		DRINKING WATER	
					DRINKING WATER	
					110-3100-2805	16.16
					DRINKING WATER	
					110-3100-2801	147.98
					DRINKING WATER	
					110-3100-2803	16.28
					DRINKING WATER	
					110-3200-2450	24.33
					Total :	204.75
141137	3/8/2012	85561 ARROYO BACKGROUND INVESTIGATIO	833		BACKGROUND INVESTIGATIONS	
					BACKGROUND INVESTIGATIONS	

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141137	3/8/2012	85561 ARROYO BACKGROUND INVESTIGATIO	(Continued)		110-3100-2712	800.00
					Total :	800.00
141138	3/8/2012	90807 ASH PROPERTIES, INC	10528		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	1,147.83
					Total :	1,147.83
141139	3/8/2012	77997 AUTO ZONE, INC	10839		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	50.18
					Total :	50.18
141140	3/8/2012	83692 AVRITT, ALLEN/JACQUELINE	98574		REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT 571-0835	120.76
					Total :	120.76
141141	3/8/2012	13566 B & W PIPE & SUPPLY	90908		PIPE & LANDSCAPING SUPPLIES PIPE & LANDSCAPING SUPPLIES 571-9000-2450	4.51
			90915		PIPE & LANDSCAPING SUPPLIES PIPE & LANDSCAPING SUPPLIES 571-9000-2450	12.64
			90953		PIPE & LANDSCAPING SUPPLIES PIPE & LANDSCAPING SUPPLIES 221-4200-2450	7.57
			90969		PIPE & LANDSCAPING SUPPLIES PIPE & LANDSCAPING SUPPLIES 571-9000-2450	128.20
					Total :	152.92
141142	3/8/2012	89022 B N E EQUIPMENT REPAIR	4655		LANDSCAPING EQUIP REPAIR/PARTS LANDSCAPING EQUIP REPAIR/PARTS 228-8265-2450	68.42
			4657		LANDSCAPING EQUIP REPAIR/PARTS	

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141142	3/8/2012	89022 B N E EQUIPMENT REPAIR	(Continued)		LANDSCAPING EQUIP REPAIR/PARTS 225-8250-2450	17.50
					Total :	85.92
141143	3/8/2012	82263 B W I	260293D		BOOKS, CD'S, DVD'S, VHS BOOKS, CD'S, DVD'S, VHS 363-6100-2223	14.02
			260494D		BOOKS, CD'S, DVD'S, VHS BOOKS, CD'S, DVD'S, VHS 363-6100-2228	139.45
					Total :	153.47
141144	3/8/2012	70164 BAKER & TAYLOR, INC	4010086762	2012-000326	FOR LIBRARY BBOOKS FOR THE PERIO FOR LIBRARY BBOOKS FOR THE PERIO 363-6100-2228	133.30
			4010090887	2012-000326	FOR LIBRARY BBOOKS FOR THE PERIO FOR LIBRARY BBOOKS FOR THE PERIO 363-6100-2228	85.26
			4010095784	2012-000326	FOR LIBRARY BBOOKS FOR THE PERIO FOR LIBRARY BBOOKS FOR THE PERIO 363-6100-2228	50.40
			4010097756	2012-000326	FOR LIBRARY BBOOKS FOR THE PERIO FOR LIBRARY BBOOKS FOR THE PERIO 363-6100-2228	15.52
					Total :	284.48
141145	3/8/2012	90858 BAKER, CHRISTOPHER	EDUCAT 02/13		EDUCATION PREPAYMENT EDUCATION PREPAYMENT 110-3200-1400	495.00
					Total :	495.00
141146	3/8/2012	90277 BALDWIN, MARIA	98940		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	161.98
					Total :	161.98

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141147	3/8/2012	90808 BARRAGAN, ALFONSO	10454		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	79.46 Total : 79.46
141148	3/8/2012	90785 BEILKE, COLEEN	96462		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	51.83 Total : 51.83
141149	3/8/2012	77793 BELL, W D	10506		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	506.11 Total : 506.11
141150	3/8/2012	84365 BELTRAN, NANCY	BELTRAN/N		EMPLOYEE COMPUTER PURCHASE EMPLOYEE COMPUTER PURCHASE 110-1246	851.43 Total : 851.43
141151	3/8/2012	88129 BEREAN FELLOWSHIP BAPTIST CHUR	90561		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	136.89 Total : 136.89
141152	3/8/2012	90803 BIG LOTS/ PIC N SAVE #035	10364		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	573.75 Total : 573.75
141153	3/8/2012	87976 BOONE RECYCLED MATERIALS, INC	3008		RECYCLING RECYCLING 571-9000-2450	45.00
			3016	2012-000364	PICK UP AND DUMP SERVICES FOR R PICK UP AND DUMP SERVICES FOR R 221-4200-2450	65.00

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141153	3/8/2012	87976	87976 BOONE RECYCLED MATERIALS, INC	(Continued)		Total : 110.00
141154	3/8/2012	90777 BREWER, TERRY	88356		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	102.72 Total : 102.72
141155	3/8/2012	85486 BROCK, GLEN	EDUCAT 02/15		EDUCATIONAL REIMBURSEMENT EDUCATIONAL REIMBURSEMENT 110-3100-1400	540.00
			EDUCAT02/15		EDUCATIONAL REIMBURSEMENT EDUCATIONAL REIMBURSEMENT 110-3100-1400	540.00 Total : 1,080.00
141156	3/8/2012	90809 BROWN, HAROLD	10439		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	459.69 Total : 459.69
141157	3/8/2012	85987 BRUHN, MIKE	REQ 02/29		REIMBURSE SAFETY BOOTS REIMBURSE SAFETY BOOTS 684-4550-2700	37.57 Total : 37.57
141158	3/8/2012	85566 BU, SONYA	REQ 02/27		EXPENSE REIMBURSEMENT EXPENSE REIMBURSEMENT 110-3225-2700	36.89 Total : 36.89
141159	3/8/2012	16079 BUREAU VERITAS NORTH AMER, INC	1141703		PLANS EXAMINER PLANS EXAMINER 110-3225-2400	437.50 Total : 437.50
141160	3/8/2012	90776 BURROWS FAMILY TRUST	87850		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141160	3/8/2012	90776 BURROWS FAMILY TRUST	(Continued)		571-0835	45.37
					Total :	45.37
141161	3/8/2012	90784 BUSH, DEREK/EMERY	95040		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	45.79
					Total :	45.79
141162	3/8/2012	76238 BUSINESS CARD	5472063574BN		BUSINESS CARD EXPENSES BUSINESS CARD EXPENSES 100-1200-2550	1,005.76
					BUSINESS CARD EXPENSES 100-1100	-10.33
					BUSINESS CARD EXPENSES 100-1200-2565	21.31
			5472063577RW		BUSINESS CARD EXPENSES BUSINESS CARD EXPENSES 110-3100-2563	1,443.59
					BUSINESS CARD EXPENSES 110-1100	-25.33
					BUSINESS CARD EXPENSES 110-3100-2565	35.09
			5472063583LS		BUSINESS CARD EXPENSES BUSINESS CARD EXPENSES 100-1100-2550	810.28
					BUSINESS CARD EXPENSES 100-1100	-10.00
					BUSINESS CARD EXPENSES 100-1100-2565	12.47
			NAKAMURA10/04		CORRECT BUS CARD CODING 10/4/11 CORRECT BUS CARD CODING 10/4/11 100-1200-2550	-3,232.69
					CORRECT BUS CARD CODING 10/4/11 100-1100-2560	70.00
					CORRECT BUS CARD CODING 10/4/11	

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141162	3/8/2012	76238 BUSINESS CARD	(Continued)		100-1200-2560 CORRECT BUS CARD CODING 10/4/11	1,314.94
					680-3500-2560 CORRECT BUS CARD CODING 10/4/11	578.41
					110-3200-2550 CORRECT BUS CARD CODING 10/4/11	1,062.90
					291-1925-2550 CORRECT BUS CARD CODING 10/4/11	122.44
					391-8905-2560 CORRECT BUS CARD CODING 10/4/11	85.00
					100-1200-2565	-1.00
					Total :	3,282.84
141163	3/8/2012	71674 C A L B O	REG FEE		HERNANDEZ,ELECTRIC,LAGBCH,3/13 HERNANDEZ,ELECTRIC,LAGBCH,3/13	
					120-3300-2560	150.00
					Total :	150.00
141164	3/8/2012	80106 C D W GOVERNMENT INC	F337493		COMPUTER EQUIPMENT COMPUTER EQUIPMENT	
			G012215		120-4100-2850 APC SMART UPS 3000 LCD~	162.21
				2012-000469	APC NETWORK MANAGEMENT CARD 2 110-3100-2801	261.69
					Riverside County Sales Tax 02	
			G037089		110-3100-2801 APC SMART UPS 3000 LCD~	20.29
				2012-000469	APC SMART UPS 3000 LCD~ 110-3100-2801	1,203.78
					Riverside County Sales Tax 02	
					110-3100-2801	93.30
			G037138		APC SMART UPS 3000 LCD~ APC SMART UPS 2200 LCD~	
				2012-000469	110-3100-2801	833.46
				2012-000469	APC NETWORK MANAGEMENT CARD 2	

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141164	3/8/2012	80106 C D W GOVERNMENT INC	(Continued)		110-3100-2801 Riverside County Sales Tax 02 110-3100-2801	424.63 97.50
					Total :	3,096.86
141165	3/8/2012	88455 CALI STYLE AUTO BODY & PNT INC	4384		AUTO BODY REPAIR AUTO BODY REPAIR 684-4550-2350	 224.00
			52356		RFUND CLOSED UTILITY ACCT RFUND CLOSED UTILITY ACCT 571-0835	 139.53
					Total :	363.53
141166	3/8/2012	72417 CALIFORNIA ASSOCIATION OF	REQ 03/06		MEMBERSHIP, GRACE MEMBERSHIP, GRACE 100-1400-2560	 130.00
					Total :	130.00
141167	3/8/2012	72417 CALIFORNIA ASSOCIATION OF	REQ 02/27		CIP SEMINAR,GRACE,RIV,3/12 CIP SEMINAR,GRACE,RIV,3/12 100-1400-2560	 99.00
					Total :	99.00
141168	3/8/2012	83610 CALIFORNIA LICENSED PHLEBOTOMI	HPD02-12		LICENSED PHLEBOTOMIST LICENSED PHLEBOTOMIST 110-3100-2711	 1,360.00
					Total :	1,360.00
141169	3/8/2012	79959 CALIFORNIA TECHNICAL IMAGE, C T I / VALUE 438632			SUPPLIES SUPPLIES 120-4100-2250 SUPPLIES 686-4100-2250 SUPPLIES 686-4150-2250	 65.61 65.61 65.61

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141169	3/8/2012	79959	79959 CALIFORNIA TECHNICAL IMAGE, C T I / V/ (Continued)			Total : 196.83
141170	3/8/2012	78011	CALIFORNIA, STATE OF (DOHCD)	RIVERSIDE33	MOBILEHOME PARK STATE FEE MOBILEHOME PARK STATE FEE 120-2021	17,350.00 Total : 17,350.00
141171	3/8/2012	60100	CALIFORNIA, STATE OF (DOJ)	895354	FINGERPRINTS/BLOOD ALCOHOL FINGERPRINTS/BLOOD ALCOHOL 110-3100-2711	210.00 Total : 210.00
141172	3/8/2012	78470	CALPERS	7650881726	1959 SURVIVOR BENEFIT 1959 SURVIVOR BENEFIT 100-1100-1400 1959 SURVIVOR BENEFIT 100-1400-1400 1959 SURVIVOR BENEFIT 100-1800-1400 1959 SURVIVOR BENEFIT 110-3100-1400 1959 SURVIVOR BENEFIT 110-3200-1400 1959 SURVIVOR BENEFIT 110-6100-1400 1959 SURVIVOR BENEFIT 120-1700-1400 1959 SURVIVOR BENEFIT 120-3300-1400 1959 SURVIVOR BENEFIT 120-4100-1400 1959 SURVIVOR BENEFIT 221-4200-1400 1959 SURVIVOR BENEFIT 240-1925-1400 1959 SURVIVOR BENEFIT	162.80 813.98 162.80 1,410.89 54.27 325.59 596.92 271.33 651.18 1,844.96 54.27

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141172	3/8/2012	78470 CALPERS	(Continued)		291-1925-1400 1959 SURVIVOR BENEFIT	108.53
					553-4500-1400 1959 SURVIVOR BENEFIT	108.53
					571-9000-1400 1959 SURVIVOR BENEFIT	1,139.57
					684-4550-1400 1959 SURVIVOR BENEFIT	379.86
					685-4560-1400 1959 SURVIVOR BENEFIT	271.33
					686-4150-1400 1959 SURVIVOR BENEFIT	162.80
					100-1200-1400	325.59
					Total :	8,845.20
141173	3/8/2012	85388 CAM SUPPLY INC	10897		REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT	
					571-0835	88.30
					Total :	88.30
141174	3/8/2012	90810 CAMELOT, THE	10505		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT	
					571-0835	765.60
					Total :	765.60
141175	3/8/2012	90811 CARL'S JR	10434		#014 REFUND CLOSED REFUSE ACCT #014 REFUND CLOSED REFUSE ACCT	
					571-0835	2,738.36
			10672		#358 REFUND CLOSED REFUSE ACCT #358 REFUND CLOSED REFUSE ACCT	
					571-0835	881.23
					Total :	3,619.59
141176	3/8/2012	15275 CARQUEST AUTO PARTS-DISTR CTR	7342-201005		PARTS & SUPPLIES PARTS & SUPPLIES	

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141176	3/8/2012	15275 CARQUEST AUTO PARTS-DISTR CTR	(Continued)		684-4550-2350	3.75
					Total :	3.75
141177	3/8/2012	90774 CARR, AUDIE	83531		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	2.95
					Total :	2.95
141178	3/8/2012	90812 CARSON STREET PROPERTIES	10700		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	257.38
					Total :	257.38
141179	3/8/2012	78706 CASCADE FIRE EQUIPMENT CO	34738		SAFETY GEAR SAFETY GEAR 110-3200-2700	91.55
					Total :	91.55
141180	3/8/2012	90786 CASTALDO, VANDELINA/DAVID	97319		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	191.56
					Total :	191.56
141181	3/8/2012	17920 CASTELLANO'S TOWING	55758		TOWING SERVICES TOWING SERVICES 130-3100-2350	40.00
			55805		TOWING SERVICES TOWING SERVICES 684-4550-2400	40.00
			55873		TOWING SERVICES TOWING SERVICES 684-4550-2400	40.00
			56301		TOWING SERVICES TOWING SERVICES 130-3100-2350	40.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141181	3/8/2012	17920 17920 CASTELLANO'S TOWING			(Continued)	Total : 160.00
141182	3/8/2012	75624 CENTER AGAINST SEXUAL ASSAULT	JAN 2012		CDBG REIMBURSEMENT CDBG REIMBURSEMENT 240-3969-2400	Total : 833.33
141183	3/8/2012	88986 CHARLOTTE PAGE SALON & DAY SPA	92361		REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT 571-0835	Total : 152.80
141184	3/8/2012	90738 CHAVEZ, JERONIMO	10727		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	Total : 29.92
141185	3/8/2012	82210 CHEM PRO LABORATORY, INC	543976		WATER TREATMENT SERVICE WATER TREATMENT SERVICE 685-4560-2400	Total : 290.00
141186	3/8/2012	89479 CHEMICAL SAFETY TRAINING	12-026		HAZMAT FIELD TRAINING HAZMAT FIELD TRAINING 232-3211-2560	Total : 4,000.00
141187	3/8/2012	18050 CHEVRON AND TEXACO CARD SERVIC	7898192047		GASOLINE & OIL GASOLINE & OIL 110-3100-2623	Total : 120.79
141188	3/8/2012	90752 CHO, ANGELO	49566		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	Total : 120.08

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141189	3/8/2012	90747 CHRISTMAS COTTAGES	15870		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	199.20 Total : 199.20
141190	3/8/2012	74790 CITY TRAFFIC ENGINEERS ASSOC	REQ 02/29		Fowler/Funkhouser, Workshop,3/17 Fowler/Funkhouser, Workshop,3/17 120-4100-2560	160.00 Total : 160.00
141191	3/8/2012	90731 COATES, BETTY	583		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	173.56 Total : 173.56
141192	3/8/2012	87829 COBRA 28 #2 LP	99599		REFUND 961 E CENTRAL REFUND 961 E CENTRAL 571-0835	155.40 Total : 155.40
141193	3/8/2012	89774 COMMUNICATION INNOVATIONS	2094G 2265G		RADIO INSTALLATION/REPAIRS RADIO INSTALLATION/REPAIRS 110-3200-2450 RADIO INSTALLATION/REPAIRS RADIO INSTALLATION/REPAIRS 110-3200-2400	141.42 754.04 Total : 895.46
141194	3/8/2012	73994 COMMUNITY PANTRY	10967		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	205.47 Total : 205.47
141195	3/8/2012	71881 COMPUTER SERVICE COMPANY	1575-1603 3842-91	2012-000404	FOR TRAFFIC SIGNAL MAINTENANCE- FOR TRAFFIC SIGNAL MAINTENANCE- 221-4200-2400 FOR TRAFFIC SIGNAL MAINTENANCE-	6,281.77

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141195	3/8/2012	71881 COMPUTER SERVICE COMPANY	(Continued)	2012-000404	FOR TRAFFIC SIGNAL MAINTENANCE- 221-4200-2400	2,299.52
					Total :	8,581.29
141196	3/8/2012	90813 CONOVER, JOHN M	10562		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	300.00
					Total :	300.00
141197	3/8/2012	90780 COOL CAT ICE CREAM & CANDY	91202		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	200.01
					Total :	200.01
141198	3/8/2012	78596 CORONA, CITY OF	LEAGUEOF		CA CITIES,KRUPA/SMITH, 3/19 CA CITIES,KRUPA/SMITH, 3/19 100-1100-2550	80.00
					Total :	80.00
141199	3/8/2012	90814 COUNTRY HILLS AUTO WASH	10411		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	153.93
					Total :	153.93
141200	3/8/2012	90791 COUNTRY VIEW RESIDENTS LLC	98379		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	327.49
					Total :	327.49
141201	3/8/2012	90733 CRADDOCK, JESSE/BEATRICE	8978		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	22.97
					Total :	22.97
141202	3/8/2012	19062 CRAFCO INC	419793		BULK ASPHALT BULK ASPHALT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141202	3/8/2012	19062 CRAFCO INC	(Continued)		571-9000-2450	4,797.31
					Total :	4,797.31
141203	3/8/2012	77879 CROP PRODUCTION SERVICES INC	240353		LANDSCAPE MATERIALS LANDSCAPE MATERIALS 228-8265-2450	171.22
					LANDSCAPE MATERIALS 110-4250-2450	171.21
					Total :	342.43
141204	3/8/2012	76608 CUSTOM SERVICE SYSTEMS	40671		JANITORIAL SERVICE JANITORIAL SERVICE 685-4560-2400	250.00
					Total :	250.00
141205	3/8/2012	82747 D & B INDUSTRIAL SAFETY SP LLC	18577		SAFETY SUPPLIES SAFETY SUPPLIES 110-3200-2450	89.00
			18598		SAFETY SUPPLIES SAFETY SUPPLIES 110-3200-2450	187.86
					Total :	276.86
141206	3/8/2012	73470 DAPEER, ROSENBLIT & LITVAK, LL	5374		PROFESSIONAL SERVICES PROFESSIONAL SERVICES 120-3350-2710	1,390.32
					Total :	1,390.32
141207	3/8/2012	90815 DARTMOUTH LTD PARTNERSHIP	10604		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	121.70
					Total :	121.70
141208	3/8/2012	90753 DAVIS, GREG/CAREY	49730		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	326.12

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141208	3/8/2012	90753 90753 DAVIS, GREG/CAREY			(Continued)	Total : 326.12
141209	3/8/2012	90749 DAWN TO DUSK R V STORAGE	48235		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	36.32 Total : 36.32
141210	3/8/2012	73642 DAY-TIMERS, INC	61394186		OFFICE SUPPLIES OFFICE SUPPLIES 120-1700-2250	56.00 Total : 56.00
141211	3/8/2012	82925 DEPARTMENT OF MOTOR VEHICLES	V8007292		DMV RENEWAL, ART ROSE,V8007292 DMV RENEWAL, ART ROSE,V8007292 571-9000-2560	39.00 Total : 39.00
141212	3/8/2012	90816 DEVONSHIRE CARE CENTER	10662		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	610.99 Total : 610.99
141214	3/8/2012	19810 DEWEY PEST CONTROL	1035222		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	50.00
			1063906		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	75.00
			143175		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	58.00
			172790		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	36.00
			172791		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	58.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141214	3/8/2012	19810 DEWEY PEST CONTROL	(Continued) 172793		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	68.00
			608140		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	55.00
			649096		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	32.00
			649097		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	28.00
			649099		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	68.00
			649101		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	32.00
			649106		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	107.00
			649107		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	32.00
			729644		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	120.00
			797934		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	336.00
			798384		PEST & TERMITE CONTROL PEST & TERMITE CONTROL 685-4560-2400	75.00
			798389		PEST & TERMITE CONTROL PEST & TERMITE CONTROL	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141214	3/8/2012	19810 DEWEY PEST CONTROL	(Continued)			
			826727		685-4560-2400 PEST & TERMITE CONTROL	75.00
					PEST & TERMITE CONTROL	
			856183		685-4560-2400 PEST & TERMITE CONTROL	75.00
					PEST & TERMITE CONTROL	
			856743		685-4560-2400 PEST & TERMITE CONTROL	75.00
					PEST & TERMITE CONTROL	
			902538		685-4560-2400 PEST & TERMITE CONTROL	75.00
					PEST & TERMITE CONTROL	
			904192		685-4560-2400 PEST & TERMITE CONTROL	50.00
					PEST & TERMITE CONTROL	
			904194		685-4560-2400 PEST & TERMITE CONTROL	36.00
					PEST & TERMITE CONTROL	
					685-4560-2400	36.00
					Total :	1,652.00
141215	3/8/2012	89423 DIAMOND VALLEY AUTOMOTIVE	50438		REFUND CLOSED UTILITY ACCT	
					REFUND CLOSED UTILITY ACCT	
					571-0835	576.54
					Total :	576.54
141216	3/8/2012	79790 DIAMOND VALLEY HONDA	50437		REFUND CLOSED UTILITY ACCT	
					REFUND CLOSED UTILITY ACCT	
					571-0835	735.92
					Total :	735.92
141217	3/8/2012	84956 DIAMOND VALLEY SHOPPING CTR	54069		REFUND CLOSED UTILITY ACCOUNT	
					REFUND CLOSED UTILITY ACCOUNT	
					571-0835	107.82
					Total :	107.82

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141218	3/8/2012	88077 DIAMOND VALLEY UNION 76	01/31/12		CITY VEHICLES CAR WASHING CITY VEHICLES CAR WASHING 684-4550-2350	324.00
					Total :	324.00
141219	3/8/2012	77516 DIRECTV	076091856		DISPATCH & COMM TRAILER DISPATCH & COMM TRAILER 110-3100-2402	53.99
					Total :	53.99
141220	3/8/2012	80735 DISH NETWORK	HEMETPOLICE		DISPATCH CTR/COMMAND TRAILER DISPATCH CTR/COMMAND TRAILER 110-3100-2402	57.44
					Total :	57.44
141221	3/8/2012	73523 DR DETAIL	02/15/12		CAR DETAILING CAR DETAILING 684-4550-2350	180.00
					Total :	180.00
141222	3/8/2012	83285 DUKE'S STEAKHOUSE	81220		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	169.58
					Total :	169.58
141223	3/8/2012	90817 DURGASAI, INC.	10523		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	571.72
					Total :	571.72
141224	3/8/2012	13570 E S BABCOCK & SONS, INC	BB21413-0142		WATER TESTING WATER TESTING 571-9000-2720	415.00
			BB21414-0142		WATER TESTING WATER TESTING 571-9000-2720	70.00
			BB21452-0142		WATER TESTING	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141224	3/8/2012	13570 E S BABCOCK & SONS, INC	(Continued)		WATER TESTING 571-9000-2720	15.00
			BB22189-0142		WATER TESTING WATER TESTING 571-9000-2720	50.00
Total :						550.00
141225	3/8/2012	90818 EAST MENLO APARTMENTS	10596		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	113.49
Total :						113.49
141227	3/8/2012	23010 EASTERN MUNICIPAL WATER DIST, CITY WAT	147113-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	46.07
			148000-03		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	35.48
			151164-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 228-8264-2100	826.85
			174259-01		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	39.56
			17889-04		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 685-4560-2100	51.35
			17890-06		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 685-4560-2100	27.46
			187217-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 228-8270-2100	82.53
			190884-01		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141227	3/8/2012	23010 EASTERN MUNICIPAL WATER DIST, CITY WAT	(Continued)			
			190885-01		685-4560-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	93.76
			199093-02		225-8250-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	46.86
			203427-01		228-8277-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	103.51
			203619-02		225-8250-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	105.11
			203620-02		228-8276-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	95.36
			203621-02		228-8276-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	141.88
			203623-02		228-8276-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	47.24
			205124-02		228-8276-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	58.15
			206413-02		228-8272-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	199.20
			209636-02		225-8250-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	26.07
			215755-02		228-8270-2100 CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS	34.09
			215967-04		228-8280-2100 CITY OF HEMET WATER ACCOUNTS	137.52

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141227	3/8/2012	23010 EASTERN MUNICIPAL WATER DIST, CITY WAT	(Continued)		CITY OF HEMET WATER ACCOUNTS 228-8271-2100	72.59
			221813-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 228-8272-2100	10.03
			224626-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 228-8292-2100	299.70
			225320-03		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 228-8288-2100	36.53
			227918-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 228-8292-2100	34.89
			233064-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 228-8265-2100	572.28
			27195-03		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	11.98
			33481-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	10.38
			42104-01		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	26.20
			54339-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	6.57
			80938-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	45.38
			88207-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 228-8269-2100	45.67

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141227	3/8/2012	23010 EASTERN MUNICIPAL WATER DIST, CITY WAT	(Continued) 88363-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	208.27
			89959-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	135.92
			90802-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	317.17
			91089-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	29.06
			91094-02		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	32.08
			95038-01		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	53.86
			96631-01		CITY OF HEMET WATER ACCOUNTS CITY OF HEMET WATER ACCOUNTS 225-8250-2100	10.38
					Total :	4,156.99
141228	3/8/2012	90819 ECHO RIDGE APARTMENTS	10471		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	1,491.69
					Total :	1,491.69
141229	3/8/2012	90764 ELENA'Z CAFE	53683		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	390.12
					Total :	390.12
141230	3/8/2012	69095 EMERGENCY MEDICAL PRODUCTS,INC	1441134		FIRST AID SUPPLIES FIRST AID SUPPLIES	

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141230	3/8/2012	69095 EMERGENCY MEDICAL PRODUCTS,INC	(Continued)		110-3200-2452	306.28
					Total :	306.28
141231	3/8/2012	90782 EMERITUS AT HEMET # 678	94426		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	767.51
					Total :	767.51
141232	3/8/2012	90732 EMMERICH, JEANETTE	6985		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	1.24
					Total :	1.24
141233	3/8/2012	86125 EMPIRE WELDING SUPPLY	7707		WELDING SUPPLIES WELDING SUPPLIES 684-4550-2350	231.45
					Total :	231.45
141234	3/8/2012	52875 ENTERPRISE MEDIA	100149204		LEGAL ADS LEGAL ADS 571-9000-2220 LEGAL ADS 241-1750-2710 LEGAL ADS 100-1300-2220	1,171.80
						808.50
						126.60
					Total :	2,106.90
141235	3/8/2012	81230 ENTERPRISE RENT-A-CAR	66493088		RENTAL CAR RENTAL CAR 236-3163-2560	221.78
					Total :	221.78
141236	3/8/2012	90765 ESPINOZA, NINOSKA	53737		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	183.93

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141236	3/8/2012	90765 90765 ESPINOZA, NINOSKA			(Continued)	Total : 183.93
141237	3/8/2012	83817 EVENSON, GRANT	10578		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	159.51 Total : 159.51
141238	3/8/2012	65259 EXCEED, BULK MAILING	10493		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	263.31 Total : 263.31
141239	3/8/2012	86322 EXPRESS ZONE HEMET, INC	JAN 2012		VEHICLE CAR WASHES VEHICLE CAR WASHES 684-4550-2350	355.00 Total : 355.00
141240	3/8/2012	90105 F D C COMMERCIAL CONSTRUCTION	REQ 07/19		replace ck# 136986, low tonage refund replace ck# 136986, low tonage refund 553-0679	610.75 Total : 610.75
141241	3/8/2012	90863 FAKHIMI & ASSOCIATES	153949RW		FULL & FINAL SETTLEMENT,DOL 8/8/10 FULL & FINAL SETTLEMENT,DOL 8/8/10 683-2200-2722	19,500.00 Total : 19,500.00
141242	3/8/2012	72447 FEDEX	7-786-22744		EXPRESS MAIL SERVICE EXPRESS MAIL SERVICE 120-3350-2250	6.13
			7-794-46684		EXPRESS MAIL SERVICE EXPRESS MAIL SERVICE 683-2200-2722	12.26
			7-801-57520		EXPRESS MAIL SERVICE EXPRESS MAIL SERVICE 120-3350-2250	6.20
			7-810-30760		EXPRESS MAIL SERVICE	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141242	3/8/2012	72447 FEDEX	(Continued)		EXPRESS MAIL SERVICE 686-4100-2250	32.67
					Total :	57.26
141243	3/8/2012	90734 FISHER IRREVOCABLE TRUST	9277		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	607.79
					Total :	607.79
141244	3/8/2012	77156 FISHER SCIENTIFIC	5031437		SAFETY SUPPLIES SAFETY SUPPLIES 254-4600-2450	111.47
			5275869		SAFETY SUPPLIES SAFETY SUPPLIES 254-4600-2450	41.49
					Total :	152.96
141245	3/8/2012	90771 FLORIDA CAR WASH	82234		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	250.22
					Total :	250.22
141246	3/8/2012	88442 FORKNER, JUDY	97598		REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT 571-0835	231.74
					Total :	231.74
141247	3/8/2012	90767 FOWLER, BETTY/JAMES	53967		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	115.64
					Total :	115.64
141248	3/8/2012	24570 FRAZEE PAINT & WALLCOVERINGS	0260558890		PAINT SUPPLIES PAINT SUPPLIES 571-9000-2450	50.07

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141248	3/8/2012	24570 24570 FRAZEE PAINT & WALLCOVERINGS	(Continued)			Total : 50.07
141249	3/8/2012	90766 GALLANT MEDICAL SUPPLY(HEMET)	53780		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	Total : 55.39
141250	3/8/2012	70822 GALL'S INC	223498		PUBLIC SAFETY EQUIPMENT PUBLIC SAFETY EQUIPMENT 110-3100-2701	Total : 145.43
141251	3/8/2012	90742 GARCIA, ALICIA	10796		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	Total : 255.14
141252	3/8/2012	86415 GAS PLUS HEMET	90560		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	Total : 279.40
141253	3/8/2012	90822 GIRARD MARKET	10490		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	Total : 60.83
141254	3/8/2012	69236 GOAR, M H	624		BACKFLOW TESTING AND REPAIR BACKFLOW TESTING AND REPAIR 228-8271-2400	30.00
			625		BACKFLOW TESTING AND REPAIR BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			626		BACKFLOW TESTING AND REPAIR BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			627		BACKFLOW TESTING AND REPAIR	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141254	3/8/2012	69236 GOAR, M H	(Continued)			
			628		BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			629		BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			630		BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			631		BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			632		BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
			633		BACKFLOW TESTING AND REPAIR 225-8250-2710	30.00
					Total :	300.00
141255	3/8/2012	71224 GOLDEN BELL PRODUCTS CORP	13929	2012-000009	SPRAY SEWER MAN HOLES FOR RODI SPRAY SEWER MAN HOLES FOR RODI 254-4600-2450	567.84
					Total :	567.84
141256	3/8/2012	90763 GOMEZ, GRISELEA	53547		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	101.08
					Total :	101.08
141257	3/8/2012	74737 GOSCH FORD	114137		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	16.77

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141257	3/8/2012	74737 GOSCH FORD	(Continued) 114437		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	227.93
			114561		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	61.69
			114611		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	95.98
			114615		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	57.85
			114640		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	35.44
			114666		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	88.14
			114784		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	31.60
			114847		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	40.91
			115021		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	76.24
			115117		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	81.05
			115134		PARTS/SUPPLIES PARTS/SUPPLIES 684-4550-2350	256.08
			115136		PARTS/SUPPLIES PARTS/SUPPLIES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141257	3/8/2012	74737 GOSCH FORD	(Continued)			
			115151		684-4550-2350 PARTS/SUPPLIES	167.65
			115155		684-4550-2350 PARTS/SUPPLIES	117.52
			115173		684-4550-2350 PARTS/SUPPLIES	107.41
			115176		684-4550-2350 PARTS/SUPPLIES	70.98
			115180		684-4550-2350 PARTS/SUPPLIES	282.28
					684-4550-2350	30.95
					Total :	1,846.47
141258	3/8/2012	90787 GRANILLO DDS, NATHAN	97763		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT	
					571-0835	43.50
					Total :	43.50
141259	3/8/2012	90797 GRAVES, NICOLE	99831		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT	
					571-0835	159.00
					Total :	159.00
141260	3/8/2012	85768 GROCERY OUTLET HEMET #100 INC	55428		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT	
					571-0835	404.35
					Total :	404.35
141261	3/8/2012	90823 GUARANTY BANK #11827	10600		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141261	3/8/2012	90823 GUARANTY BANK #11827	(Continued)		571-0835	156.64
					Total :	156.64
141262	3/8/2012	85879 GUS JR RESTAURANTS	55731		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	375.95
					Total :	375.95
141263	3/8/2012	90798 GUTIERREZ, CARLOS	99929		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	89.00
					Total :	89.00
141264	3/8/2012	77258 H D SUPPLY WATERWORKS LTD	4154601		UNDERGROUND WATER WORKS UNDERGROUND WATER WORKS	
			4299812	2012-000305	254-4650-2450 FOR UNDERGROUND WATER SYSTEM	785.94
			4361515	2012-000305	571-9000-2450 FOR UNDERGROUND WATER SYSTEM	1,664.17
			4383536	2012-000305	571-9000-2450 FOR UNDERGROUND WATER SYSTEM	317.75
			4383594	2012-000305	571-9000-2450 FOR UNDERGROUND WATER SYSTEM	1,600.09
			4383640	2012-000305	571-9000-2450 FOR UNDERGROUND WATER SYSTEM	1,066.73
			4383778	2012-000305	571-9000-2450 FOR UNDERGROUND WATER SYSTEM	2,030.22
			4384229		571-9000-2450 FOR UNDERGROUND WATER SYSTEM	809.31

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141264	3/8/2012	77258 H D SUPPLY WATERWORKS LTD	(Continued)			
				2012-000305	FOR UNDERGROUND WATER SYSTEM 571-9000-2450	901.17
			4394252			
				2012-000305	FOR UNDERGROUND WATER SYSTEM FOR UNDERGROUND WATER SYSTEM 571-9000-2450	141.46
					Total :	9,316.84
141265	3/8/2012	90775 H R M P CORP	85331		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	327.62
					Total :	327.62
141266	3/8/2012	28091 HACH COMPANY	7622003		CHEMICALS CHEMICALS 571-9000-2450	3,545.97
					Total :	3,545.97
141267	3/8/2012	90768 HAEBE, KEITH/CYNTHIA	54366		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	435.17
					Total :	435.17
141268	3/8/2012	89842 HALL, CHRISTINE	Ben308049		wage assignment: Payment wage assignment: Payment 750-2174	540.50
					Total :	540.50
141269	3/8/2012	88517 HAMILTON AUTO REPAIR, INC	34821		EMISSION TESTING EMISSION TESTING 684-4550-2350	39.75
			34858		EMISSION TESTING EMISSION TESTING 684-4550-2350	39.75
			34868		EMISSION TESTING EMISSION TESTING 684-4550-2350	39.75

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141269	3/8/2012	88517 HAMILTON AUTO REPAIR, INC	(Continued) 34869		EMISSION TESTING EMISSION TESTING 684-4550-2350	39.75
			34992		EMISSION TESTING EMISSION TESTING 684-4550-2350	39.75
					Total :	198.75
141270	3/8/2012	74038 HDL COREN & CONE	17851		PROPERTY TAX SERVICES PROPERTY TAX SERVICES 100-1400-2710	1,800.00
					PROPERTY TAX SERVICES 391-8900-2710	1,800.00
					Total :	3,600.00
141271	3/8/2012	90824 HEMACINTO EAGLES AERIE #4055	10541		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	183.20
					Total :	183.20
141272	3/8/2012	90825 HEMET ASSISTED LIVING	10634		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	540.64
					Total :	540.64
141273	3/8/2012	86530 HEMET FAMILY AUTO SALES SERVIC	10740		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	150.42
					Total :	150.42
141274	3/8/2012	90826 HEMET FAMILY CHIROPRACTIC	10448		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	6.62
					Total :	6.62
141275	3/8/2012	76286 HEMET FIREPLACE SHOP	52006		REFUND CLOSED UTILITY ACCT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141275	3/8/2012	76286 HEMET FIREPLACE SHOP	(Continued)		REFUND CLOSED UTILITY ACCT 571-0835	93.78
					Total :	93.78
141276	3/8/2012	90756 HEMET GOLF CLUB	50695		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	101.44
					Total :	101.44
141277	3/8/2012	29915 HEMET INDUSTRIAL SUPPLY	37889		MISCELLANEOUS HARDWARE MISCELLANEOUS HARDWARE 684-4550-2350	61.29
					Total :	61.29
141278	3/8/2012	90740 HEMET MEADOWS	10767		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	503.27
					Total :	503.27
141279	3/8/2012	30390 HEMET TRAILER SUPPLY	831232		SUPPLIES SUPPLIES 684-4550-2350	75.32
			831236		SUPPLIES SUPPLIES 684-4550-2350	3.18
			831274		SUPPLIES SUPPLIES 221-4200-2450	220.18
					Total :	298.68
141280	3/8/2012	69934 HEMET TRUE VALUE HARDWARE	69072		PARTS & SUPPLIES PARTS & SUPPLIES 685-4560-2450	22.37
			69278		PARTS & SUPPLIES PARTS & SUPPLIES 110-3200-2450	11.83

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141280	3/8/2012	69934 HEMET TRUE VALUE HARDWARE	(Continued) 70004		PARTS & SUPPLIES PARTS & SUPPLIES 685-4560-2450	7.76
			70090		PARTS & SUPPLIES PARTS & SUPPLIES 685-4560-2450	1.62
			70103		PARTS & SUPPLIES PARTS & SUPPLIES 685-4560-2450	17.22
			70271		PARTS & SUPPLIES PARTS & SUPPLIES 110-3200-2450	10.75
Total :						71.55
141281	3/8/2012	90509 HEMET VALLEY CENTER LLC	10354		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	587.77
			10380		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	1,498.76
Total :						2,086.53
141282	3/8/2012	30607 HEMET VALLEY PIPE & SUPPLY	142094		IRRIGATION SUPPLIES IRRIGATION SUPPLIES 685-4560-2450	44.44
			142424		IRRIGATION SUPPLIES IRRIGATION SUPPLIES 685-4560-2450	127.81
			142521		IRRIGATION SUPPLIES IRRIGATION SUPPLIES 685-4560-2450	13.12
			142792		IRRIGATION SUPPLIES IRRIGATION SUPPLIES 254-4600-2450	16.81

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141282	3/8/2012	30607 HEMET VALLEY PIPE & SUPPLY	30607		(Continued)	Total : 202.18
141283	3/8/2012	90806 HEMET VISTAS II APARTMENTS	10376		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	476.73
			10398		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	623.78
					Total :	1,100.51
141284	3/8/2012	69107 HEMET, CITY OF	Ben308041		COMPUTER DEDUCTION: Payment COMPUTER DEDUCTION: Payment 750-2171	1,702.36
					Total :	1,702.36
141288	3/8/2012	18626 HEMET, CITY OF WATER	1101		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	57.87
			1102		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	73.52
			1103		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	81.84
			1309		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	58.30
			1310		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	57.94
			1311		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	239.58
			1312		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	143.06

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141288	3/8/2012	18626 HEMET, CITY OF WATER	(Continued) 1394		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	291.02
			1523		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	175.46
			1524		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	192.81
			2158		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	179.46
			2159		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	126.11
			2160		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	169.71
			2161		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	95.72
			2162		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	205.77
			2163		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	217.58
			2494		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	298.34
			2710		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	219.02
			2711		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141288	3/8/2012	18626 HEMET, CITY OF WATER	(Continued)			
			2748		571-0820 DEPARTMENT WATER BILLS	209.52
			2749		571-0820 DEPARTMENT WATER BILLS	1,552.17
			2750		571-0820 DEPARTMENT WATER BILLS	42.28
			2751		571-0820 DEPARTMENT WATER BILLS	5,915.08
			2752		571-0820 DEPARTMENT WATER BILLS	1,101.74
			2769		571-0820 DEPARTMENT WATER BILLS	358.77
			2784		571-0820 DEPARTMENT WATER BILLS	1,171.68
			2893		571-0820 DEPARTMENT WATER BILLS	292.26
			2894		571-0820 DEPARTMENT WATER BILLS	173.46
			296		571-0820 DEPARTMENT WATER BILLS	943.58
			297		571-0820 DEPARTMENT WATER BILLS	239.65
			298		571-0820 DEPARTMENT WATER BILLS	1,660.46

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141288	3/8/2012	18626 HEMET, CITY OF WATER	(Continued)			
					DEPARTMENT WATER BILLS 254-0720	55.24
					DEPARTMENT WATER BILLS 571-0820	86.59
			3044		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	76.01
			3045		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	81.37
			3091		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	134.75
			357		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 685-4560-2100	116.28
			359		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	278.59
			398		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 685-4560-2100	97.52
			401		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 685-4560-2100	360.27
			402		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 685-4560-2100	1,015.77
			403		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	42.28
			404		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	42.28
			405		DEPARTMENT WATER BILLS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141288	3/8/2012	18626 HEMET, CITY OF WATER	(Continued)			
					DEPARTMENT WATER BILLS 685-4560-2100	767.27
			406		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 685-4560-2100	568.36
			407		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 685-4560-2100	387.39
			414		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	75.03
			416		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	60.79
			419		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 685-4560-2100	116.83
			427		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	210.09
			443		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	287.28
			448		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	42.28
			464		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	42.28
			47952		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 685-4560-2100	114.14
			48106		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 228-8274-2100	56.44

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141288	3/8/2012	18626 HEMET, CITY OF WATER	(Continued) 48107		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 228-8274-2100	67.32
			48109		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 228-8274-2100	56.65
			48112		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 228-8274-2100	68.74
			48355		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	2,006.49
			48605		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	59.94
			50656		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	135.08
			51090		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	42.28
			51495		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	70.51
			51496		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	56.00
			52033		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	148.27
			52222		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	75.50
			527		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141288	3/8/2012	18626 HEMET, CITY OF WATER	(Continued)			
			54115		571-0820 DEPARTMENT WATER BILLS	164.05
			54119		571-0820 DEPARTMENT WATER BILLS	54.58
			54123		571-0820 DEPARTMENT WATER BILLS	42.28
			54124		571-0820 DEPARTMENT WATER BILLS	82.74
			54125		571-0820 DEPARTMENT WATER BILLS	56.44
			54348		571-0820 DEPARTMENT WATER BILLS	44.28
			54804		685-4560-2100 DEPARTMENT WATER BILLS	446.26
			55894		571-0820 DEPARTMENT WATER BILLS	56.44
			789		225-8250-2100 DEPARTMENT WATER BILLS	43.20
			81275		571-0820 DEPARTMENT WATER BILLS	178.46
			93144		685-4560-2100 DEPARTMENT WATER BILLS	144.46
			963		571-0820 DEPARTMENT WATER BILLS	285.41

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141288	3/8/2012	18626 HEMET, CITY OF WATER	(Continued)		DEPARTMENT WATER BILLS 571-0820	155.66
			998		DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 571-0820	75.47
Total :						26,275.40
141289	3/8/2012	81981 HERNANDEZ, ROBERT	REQ 02/22		REIMB MILEAGE,ABM, 3/13-17 REIMB MILEAGE,ABM, 3/13-17 120-3300-2560	59.94
Total :						59.94
141290	3/8/2012	69999 HERRON & RUMANSOFF ARCH, INC	13975	2011-000622	ARCHITECTURAL SERVICES FOR THE ARCHITECTURAL SERVICES FOR THE 683-2200-2725	33.99
Total :						33.99
141291	3/8/2012	90827 HEYMING, FRANK	10716		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	250.68
Total :						250.68
141292	3/8/2012	90794 HIDALGO, YOLANDA	98957		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	177.44
Total :						177.44
141293	3/8/2012	75142 HI-WAY SAFETY INC	124291		TRAFFIC SAFETY EQUIPMENT TRAFFIC SAFETY EQUIPMENT 221-4200-2450	293.62
			124292		TRAFFIC SAFETY EQUIPMENT TRAFFIC SAFETY EQUIPMENT 254-4600-2700	51.40
Total :						345.02
141294	3/8/2012	77910 HOLIDAY INN	REQ 02/22		LODGING,ULTSCH,DISPATCH,3/14-15	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141294	3/8/2012	77910 HOLIDAY INN	(Continued)		LODGING,ULTSCH,DISPATCH,3/14-15 110-3100-2563	218.80
					Total :	218.80
141295	3/8/2012	74732 HOME DEPOT CREDIT SERVICES	322503959441		BUILDING MATERIAL BUILDING MATERIAL 221-4200-2450	177.09
			322503959458		BUILDING MATERIAL BUILDING MATERIAL 685-4560-2450	33.84
			322503959557		BUILDING MATERIAL BUILDING MATERIAL 685-4560-2450	99.40
					Total :	310.33
141296	3/8/2012	80902 HUB ENTERPRISES	10770		REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT 571-0835	85.67
					Total :	85.67
141297	3/8/2012	82802 HUTCHISON, TY	EDUCAT 02/14		EDUCATION PREPAYMENT EDUCATION PREPAYMENT 110-3200-1400	495.00
					Total :	495.00
141298	3/8/2012	82802 HUTCHISON, TY	EDUCAT 02/13		EDUCATIONAL REIMBURSEMENT EDUCATIONAL REIMBURSEMENT 110-3200-1400	224.13
					Total :	224.13
141299	3/8/2012	71205 ICE RADIATOR & MUFFLER	1135		REPAIRS REPAIRS 684-4550-2350	21.55
					Total :	21.55
141300	3/8/2012	32981 ICMA RETIREMENT TRUST M & T BK	Ben308039		DEFERRED COMP MGMT: Payment	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141300	3/8/2012	32981 ICMA RETIREMENT TRUST M & T BK	(Continued)		DEFERRED COMP MGMT: Payment 750-2135	2,563.25
					DEFERRED COMP: Payment 750-2135	8,932.84
					DEFERRED COMP PART TIME: Paymen 750-2135	687.45
					DEFERRED COMP RETIREE MED: Payr 750-2135	5,625.00
					Plantenga 750-2135	-12.50
					Total :	17,796.04
141301	3/8/2012	69877 INLAND CHEVROLET INC	10755		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT	
					571-0835	2,178.55
			507986		VEHICLE PARTS AND SERVICE VEHICLE PARTS AND SERVICE	
					684-4550-2350	15.94
					Total :	2,194.49
141302	3/8/2012	78718 INLAND COUNTIES WATER ASSOCIAT	02/29/12		ANNUAL MEMBERSHIP, PROZE ANNUAL MEMBERSHIP, PROZE	
					571-9000-2710	25.00
					Total :	25.00
141303	3/8/2012	89812 INLAND LIGHTING SUPPLIES INC	111759		SUPPLIES SUPPLIES	
					685-4560-2450	215.50
			111760		SUPPLIES SUPPLIES	
					225-8250-2450	623.63
			111871		SUPPLIES SUPPLIES	
					685-4560-2450	107.75
			112078		SUPPLIES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141303	3/8/2012	89812 INLAND LIGHTING SUPPLIES INC	(Continued)		SUPPLIES	
					685-4560-2450	163.16
					SUPPLIES	
					225-8250-2450	657.90
			112869		SUPPLIES	
					SUPPLIES	
					685-4560-2450	665.90
					SUPPLIES	
					225-8250-2450	675.59
					SUPPLIES	
					227-8250-2450	320.02
					Total :	3,429.45
141304	3/8/2012	33600 INLAND WATERWORKS SUPPLY	239664		PIPELINE MATERIALS	
					PIPELINE MATERIALS	
					571-9000-2450	2,397.44
			239665		PIPELINE MATERIALS	
					PIPELINE MATERIALS	
					571-9000-2450	2,397.44
					Total :	4,794.88
141305	3/8/2012	33860 INTERNATIONAL CODE COUNCIL	97053		PUBLICATIONS	
					PUBLICATIONS	
					120-3300-2220	150.93
					Total :	150.93
141306	3/8/2012	33881 INTERSTATE BATTERY SYSTEM, INC	33122437		VEHICLE BATTERIES	
					VEHICLE BATTERIES	
					684-4550-2350	174.22
					Total :	174.22
141307	3/8/2012	90746 J & M FAMILY RESTAURANT	10913		REFUND CLOSED UTILITY ACCT	
					REFUND CLOSED UTILITY ACCT	
					571-0835	224.90
					Total :	224.90

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141308	3/8/2012	90795 J J C CONSULTING	99236		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	590.06 Total : 590.06
141309	3/8/2012	72276 J J KELLER & ASSOCIATES INC	9113314		MANUAL UPDATE SERVICE MANUAL UPDATE SERVICE 221-4200-2450	159.45 Total : 159.45
141310	3/8/2012	80718 JACKSON, MIKE R	10456		REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT 571-0835	276.20
			10890		REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT 571-0835	78.38 Total : 354.58
141311	3/8/2012	84096 JIMENEZ, RUBEN	REQ 02/28		REIMB CWEA CERT #8623 REIMB CWEA CERT #8623 254-4600-2560	165.00 Total : 165.00
141312	3/8/2012	90828 JO ANN STORES, INC	10465		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	6.60 Total : 6.60
141313	3/8/2012	90802 JOE'S SHOPPING CTR	10363		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	132.43 Total : 132.43
141314	3/8/2012	35500 JOHNSON MACHINERY CO	PC001153240		PARTS AND SUPPLIES PARTS AND SUPPLIES 684-4550-2350	50.64
			PC001153417		PARTS AND SUPPLIES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141314	3/8/2012	35500 JOHNSON MACHINERY CO	(Continued)		PARTS AND SUPPLIES 684-4550-2350	373.11
					Total :	423.75
141315	3/8/2012	90789 JUAREZ, MARY ISABEL	98208		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	86.88
					Total :	86.88
141316	3/8/2012	37290 K M E FIRE APPARATUS	515716		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	102.10
			515989		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	523.47
			516062		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	569.07
			516070		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	240.50
			516071		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	1,114.52
			516141		FIRE TRUCK PARTS FIRE TRUCK PARTS 684-4550-2350	173.39
					Total :	2,723.05
141317	3/8/2012	85881 KAISER FOUNDATION HEALTH PLAN	MAR 2012		MEDICAL INS/RETIREEES MEDICAL INS/RETIREEES 750-2156 MEDICAL INS/RETIREEES 689-2150-2400	1,811.90 20,280.38

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141317	3/8/2012	85881 85881 KAISER FOUNDATION HEALTH PLAN	(Continued)			Total : 22,092.28
141318	3/8/2012	86694 KALOS PROPERTY MGMT	10721		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	193.88 Total : 193.88
141319	3/8/2012	86201 KIRBY GARDEN APTS	10390		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	513.89 Total : 513.89
141320	3/8/2012	90830 KIRBY TERRACE SENIOR APTS	10681		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	357.54 Total : 357.54
141321	3/8/2012	84075 KORALEEN ENTERPRISES	5765		WATER QUALITY SAMPLING STATION WATER QUALITY SAMPLING STATION 571-9000-2720	1,197.87 Total : 1,197.87
141322	3/8/2012	90831 L & L MARKET	10545		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	301.02 Total : 301.02
141323	3/8/2012	70448 L & M FERTILIZER, INC	356542		FERTILIZER FOR LANDSCAPING FERTILIZER FOR LANDSCAPING 110-4250-2450	1,124.91 Total : 1,124.91
141324	3/8/2012	19095 L N CURTIS & SONS	6031640		SAFETY EQUIPMENT SAFETY EQUIPMENT 110-3200-2700	4,158.86 Total : 4,158.86

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141325	3/8/2012	76516 L O LYNCH QUALITY WELLS &	8272	2012-000456	~ ~ 571-9000-2450 RETENTION 571-2015	14,560.00 -1,456.00 Total : 13,104.00
141326	3/8/2012	90801 LA CABAN TACO SHOP #2	10361		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	214.11 Total : 214.11
141327	3/8/2012	71855 LAB SAFETY SUPPLY, INC	1018548172		SAFETY SUPPLIES SAFETY SUPPLIES 110-3200-2850	222.83 Total : 222.83
141328	3/8/2012	82426 LABOR READY SOUTHWEST, INC	92809		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	18.58 Total : 18.58
141329	3/8/2012	38761 LAKE HEMET MUNICIPAL WATER DIS, CITY W/ 010100860			DEPARTMENT WATER BILLS DEPARTMENT WATER BILLS 228-8274-2100	29.98 Total : 29.98
141330	3/8/2012	90829 LAVICKA, JOHN	10539		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	6.62 Total : 6.62
141331	3/8/2012	90832 LAZY DAISY	10503		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	59.85 Total : 59.85

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141332	3/8/2012	39275 LEAGUE OF CALIFORNIA CITIES	1311		MEMBERSHIP DUES MEMBERSHIP DUES 100-1200-2710	100.00
Total :						100.00
141333	3/8/2012	90833 LIEBERMAN, HOWARD	10453		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	890.41
Total :						890.41
141334	3/8/2012	71394 LIFELOC TECHNOLOGIES	0143877		(CASES) MOUTH PIECES FOR PAS MA (CASES) MOUTH PIECES FOR PAS MA 110-3100-2801	219.00
				2012-000183	Freight	14.26
				2012-000183	110-3100-2801 Riverside County Sales Tax 02 110-3100-2801	16.97
Total :						250.23
141335	3/8/2012	90834 LITTLE CAESAR ENTERPRISES	10418		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	95.44
Total :						95.44
141336	3/8/2012	88943 LONG, GLORIA	Ben308053		WAGE ASSIGNMENT: Payment WAGE ASSIGNMENT: Payment 750-2174	1,015.38
Total :						1,015.38
141337	3/8/2012	90800 LOS VAQUEROS MEXICAN GRILL	10353		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	39.73
Total :						39.73
141338	3/8/2012	90783 LOVENDAHL, JANICE	94807		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	64.67

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141338	3/8/2012	90783 90783 LOVENDAHL, JANICE	(Continued)			Total : 64.67
141339	3/8/2012	71705 LOWE, ROBIN	REFUND		EXCESS PAID MEDICAL PREMIUM EXCESS PAID MEDICAL PREMIUM 750-2152	208.95 Total : 208.95
141340	3/8/2012	82468 LOWE'S OF HEMET STORE #1556	98006176469		BUILDING SUPPLIES BUILDING SUPPLIES 221-4200-2850 BUILDING SUPPLIES 221-4200-2450 BUILDING SUPPLIES 254-4600-2450 BUILDING SUPPLIES 553-4500-2450	14.30 383.82 745.79 16.64 Total : 1,160.55
141341	3/8/2012	90835 LUDWIG, DAVID	10489		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	1,146.02 Total : 1,146.02
141342	3/8/2012	82467 M & R INVESTMENT	10728		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	172.15 Total : 172.15
141343	3/8/2012	90788 M S C I 206-HQ9 PAGE PLAZA LLC	97822		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	2,956.44 Total : 2,956.44
141344	3/8/2012	83221 M W BEST CONSTRUCTION	10805		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	178.73

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141344	3/8/2012	83221 83221 M W BEST CONSTRUCTION			(Continued)	Total : 178.73
141345	3/8/2012	42332 MARIE CALLENDERS	10500		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	31.00 Total : 31.00
141346	3/8/2012	90837 MARTIN, STEPHEN D	10628		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	6.60 Total : 6.60
141347	3/8/2012	90792 MARTINEZ, MARIA OFELIA	98436		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	111.34 Total : 111.34
141348	3/8/2012	81760 MATTHEW BENDER & CO, INC	27814424		PUBLICATIONS PUBLICATIONS 120-3350-2220	52.25 Total : 52.25
141349	3/8/2012	82198 MCDONALD'S	10531		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	295.28 Total : 295.28
141350	3/8/2012	78960 MCMASTER - CARR SUPPLY CO	15049614		INDUSTRIAL SUPPLIES INDUSTRIAL SUPPLIES 571-9000-2450	888.18 Total : 888.18
141351	3/8/2012	88878 MCMULLEN, GREGORY	99181*		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	1,252.19 Total : 1,252.19

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141352	3/8/2012	90836 MCNAIR, FRANCES	10598		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	93.97
Total :						93.97
141353	3/8/2012	81860 MERGE HOLDINGS USA, INC	10550		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	156.50
Total :						156.50
141354	3/8/2012	86528 METAL COVERS	52335		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	21.58
Total :						21.58
141355	3/8/2012	72055 METROPOLITAN WATER DISTRICT	10893		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	216.64
Total :						216.64
141356	3/8/2012	90838 MILLIE'S RESTAURANT #3428	10725		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	1,480.56
Total :						1,480.56
141357	3/8/2012	83198 MITRAK, CARL	4861		REFUND 881 EVERGREEN ST REFUND 881 EVERGREEN ST 571-0835	100.00
Total :						100.00
141358	3/8/2012	89750 MONTES, YADIRA	Ben308051		WAGE ASSIGNMENT: Payment WAGE ASSIGNMENT: Payment 750-2174	222.46
Total :						222.46
141359	3/8/2012	79511 MOTEL 6 #4196	55826		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141359	3/8/2012	79511 MOTEL 6 #4196	(Continued)		571-0835	589.14
					Total :	589.14
141360	3/8/2012	90758 MULLENIX, TIM	51862		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	101.82
					Total :	101.82
141361	3/8/2012	81544 MURPHY, SEAN	EDUCAT 01/17		EDUCATIONAL REIMBURSEMENT EDUCATIONAL REIMBURSEMENT 110-3200-1400	174.00
			EDUCAT 01-17		EDUCATIONAL REIMBURSEMENT EDUCATIONAL REIMBURSEMENT 110-3200-1400	174.00
			EDUCAT01/17		EDUCATIONAL REIMBURSEMENT EDUCATIONAL REIMBURSEMENT 110-3200-1400	174.00
					Total :	522.00
141362	3/8/2012	90772 MURPHY, TOM	82829		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	94.23
					Total :	94.23
141363	3/8/2012	86643 MURRAY, CHRIS	99083		REFUND 127 S HAMILTON REFUND 127 S HAMILTON 571-0835	260.21
			99209		REFUND 137 W CENTRAL REFUND 137 W CENTRAL 571-0835	134.77
					Total :	394.98
141364	3/8/2012	89906 N K S MECHANICAL CONTRACTING	277	2011-000638	HVAC EQUIPMENT REPLACEMENT ON HVAC EQUIPMENT REPLACEMENT ON 685-5558-5400	14,746.44

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141364	3/8/2012	89906	89906 N K S MECHANICAL CONTRACTING	(Continued)		Total : 14,746.44
141365	3/8/2012	82101	NACUA, EDWARD		TRAVEL ADVANCE,ARIDE,RIALTO,3/22-23 ADVANCE,ARIDE,RIALTO,3/22-23 110-3100-2563	30.00 Total : 30.00
141369	3/8/2012	60450	NAPA AUTO PARTS		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	5.04
			291660		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 685-4560-2450	38.12
			292031		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 110-3200-2450	6.89
			293111		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 110-3200-2450	75.35
			293692		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	347.82
			296206		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	155.99
			296554		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	20.46
			299129		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	26.92
			299136		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	47.27
			299175		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141369	3/8/2012	60450 NAPA AUTO PARTS	(Continued)			
			299243		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	12.70
			299422		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	16.15
			299495		110-3200-2450 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	190.74
			299542		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	14.00
			299678		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	224.87
			299774		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	-30.36
			299775		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	35.47
			299873		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	98.86
			300020		684-4550-2850 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	20.34
			300057		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	22.17
			300140		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	102.87
			300142		684-4550-2350 AUTO PARTS & SUPPLIES	-10.07

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141369	3/8/2012	60450 NAPA AUTO PARTS	(Continued)		AUTO PARTS & SUPPLIES	
			300214		684-4550-2350	13.62
			300381		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	51.59
			300544		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	54.33
			300599		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	111.51
			301469		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	111.51
			301471		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	629.01
			301507		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	47.37
			301518		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 685-4560-2450	38.73
			301524		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	-116.37
			301538		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	255.45
			301567		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	10.75
					684-4550-2350	19.85

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141369	3/8/2012	60450 NAPA AUTO PARTS	(Continued) 301597		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	39.86
			301638		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	452.25
			301691		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	20.22
			301842		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	11.60
			301859		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 221-4200-2450	154.49
			301976		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	33.39
			302013		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	11.72
			302332		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 110-4250-2450	49.79
			302389		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	92.64
			302593		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	22.58
			302631		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	40.04
			302716		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141369	3/8/2012	60450 NAPA AUTO PARTS	(Continued)			
			303236		221-4200-2450 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	51.20
			303426		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	31.56
			303442		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	10.17
			303508		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	116.41
			303621		684-4550-2850 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	28.99
			303655		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	101.37
			303685		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	110.31
			303687		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	16.24
			303802		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	103.23
			303819		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	56.31
			303868		684-4550-2350 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES	4.94
			303957		684-4550-2350 AUTO PARTS & SUPPLIES	24.75

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141369	3/8/2012	60450 NAPA AUTO PARTS	(Continued)		AUTO PARTS & SUPPLIES	
			303962		684-4550-2350	31.05
			304017		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	47.27
			304018		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	50.58
			304054		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	9.44
			304069		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	103.23
			304072		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	9.44
			304090		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	15.52
			304114		221-4200-2450 AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	43.70
			304164		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350	7.06
			304320		AUTO PARTS & SUPPLIES AUTO PARTS & SUPPLIES 684-4550-2350 254-4600-2450	14.79
					Total :	4,581.88
141370	3/8/2012	71641 NATIONWIDE RETIREMENT SOLUTION	Ben308035		DEFERRED COMPENSATION: Payment	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141370	3/8/2012	71641 NATIONWIDE RETIREMENT SOLUTION	(Continued)		DEFERRED COMPENSATION: Payment 750-2130	5,470.52
					Total :	5,470.52
141371	3/8/2012	90859 NETWORK INNOVATIONS GOVT SVCS	2010575294		SATELLITE SATELLITE 680-3500-2450	75.52
					Total :	75.52
141372	3/8/2012	75066 NEXTEL COMMUNICATIONS	637165314		CELLPHONE SERVICE CELLPHONE SERVICE 100-1200-2200	779.24
					CELLPHONE SERVICE 120-3300-2200	443.41
					CELLPHONE SERVICE 100-1300-2200	54.92
					CELLPHONE SERVICE 100-1100-2200	57.19
					CELLPHONE SERVICE 120-3350-2200	436.09
					CELLPHONE SERVICE 496-8000-2200	54.92
					CELLPHONE SERVICE 120-4100-2200	234.23
					CELLPHONE SERVICE 684-4550-2200	64.40
					CELLPHONE SERVICE 685-4560-2200	184.81
					CELLPHONE SERVICE 110-3200-2200	560.00
					CELLPHONE SERVICE 110-3225-2200	71.90
					CELLPHONE SERVICE 291-1926-2200	119.92
					CELLPHONE SERVICE	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141372	3/8/2012	75066 NEXTEL COMMUNICATIONS	(Continued)		100-1800-2200 CELLPHONE SERVICE	104.91
					680-1930-2200 CELLPHONE SERVICE	308.73
					228-8265-2200 CELLPHONE SERVICE	32.20
					225-8250-2200 CELLPHONE SERVICE	170.50
					120-1700-2200 CELLPHONE SERVICE	79.30
					686-4150-2200 CELLPHONE SERVICE	222.19
					110-4250-2200 CELLPHONE SERVICE	32.20
					686-4100-2200 CELLPHONE SERVICE	39.80
					553-4500-2200 CELLPHONE SERVICE	53.86
					254-4650-2200 CELLPHONE SERVICE	52.36
					221-4200-2200 CELLPHONE SERVICE	220.54
					100-1500-2710 CELLPHONE SERVICE	30.62
					254-4600-2200 CELLPHONE SERVICE	64.40
					571-9000-2200	680.37
					Total :	5,153.01
141373	3/8/2012	90745 NICOLAY, TED	10892		REFUND CLOSED UTILITY ACCT	
					REFUND CLOSED UTILITY ACCT	
					571-0835	60.02
					Total :	60.02
141374	3/8/2012	90781 NISHINO, ALAN/AKIKO	92629		REFUND CLOSED UTILITY ACCT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141374	3/8/2012	90781 NISHINO, ALAN/AKIKO	(Continued)		REFUND CLOSED UTILITY ACCT 571-0835	99.63
					Total :	99.63
141375	3/8/2012	45800 NIXON-EGLI EQUIPMENT CO	11108487	2012-000415	REPAIR PARTS FOR LEEBOY ASPHAUI REPAIR PARTS FOR LEEBOY ASPHAUI 684-4550-2350 Riverside County Sales Tax 02	76.32
			11108695	2012-000415	684-4550-2350 REPAIR PARTS FOR LEEBOY ASPHAUI REPAIR PARTS FOR LEEBOY ASPHAUI 684-4550-2350 Riverside County Sales Tax 02 684-4550-2350	5.91 247.88 19.21
					Total :	349.32
141376	3/8/2012	90805 NORTON NUTRITION	10371		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	62.54
					Total :	62.54
141377	3/8/2012	85692 OAK TERRACE APTS	10416		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	3,342.39
					Total :	3,342.39
141378	3/8/2012	72291 OFFICE DEPOT	598379123001		OFFICE SUPPLIES OFFICE SUPPLIES 110-3100-2253	192.11
			598380317001		OFFICE SUPPLIES OFFICE SUPPLIES 110-3100-2253	71.18
					Total :	263.29
141379	3/8/2012	89135 OLD MISSION THRIFT & GIFT	93492		REFUND CLOSED UTILITY ACCOUNT	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141379	3/8/2012	89135 OLD MISSION THRIFT & GIFT	(Continued)		REFUND CLOSED UTILITY ACCOUNT 571-0835	186.07
					Total :	186.07
141380	3/8/2012	69951 OLD PHOTO CO, THE	REQ 03/06		DRY MOUNT GP LAND USE MAPS DRY MOUNT GP LAND USE MAPS 120-1700-2250	104.73
					Total :	104.73
141381	3/8/2012	90839 ORANGE TREE FRESH FRUIT	10442		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	805.86
					Total :	805.86
141382	3/8/2012	90735 ORRINO, FRANKLIN	9656		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	262.86
					Total :	262.86
141383	3/8/2012	84662 OVERMYER, ROSIE	10869		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	65.04
					Total :	65.04
141384	3/8/2012	30380 OVERNIGHT INDUSTRIAL SUPPLY	58179		JANITORIAL SUPPLIES JANITORIAL SUPPLIES 685-4560-2450	241.14
			58300		JANITORIAL SUPPLIES JANITORIAL SUPPLIES 685-4560-2450	330.52
			58434		JANITORIAL SUPPLIES JANITORIAL SUPPLIES 685-4560-2450	401.91
			58443		JANITORIAL SUPPLIES JANITORIAL SUPPLIES 685-4560-2450	335.75

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141384	3/8/2012	30380 OVERNIGHT INDUSTRIAL SUPPLY	(Continued) 58446		JANITORIAL SUPPLIES JANITORIAL SUPPLIES 685-4560-2450	92.13 Total : 1,401.45
141385	3/8/2012	90140 P H & S PRODUCTS LLC	915		NITRILE GLOVES NITRILE GLOVES 110-3200-2700	504.00 Total : 504.00
141386	3/8/2012	81989 P L G S, LLC	47662		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	372.00 Total : 372.00
141387	3/8/2012	78128 PACIFIC SYSTEMS ELECTRIC INC	12663		GASBOY PARTS AND LABOR GASBOY PARTS AND LABOR 685-4560-2460	225.00 Total : 225.00
141388	3/8/2012	88716 PACIFIC TELEMANAGMENT SERVICES	357200		PAY PHONE PAY PHONE 110-3100-2203	35.00 Total : 35.00
141389	3/8/2012	89010 PAPA JOHN'S PIZZA	92458		REFUND CLOSED UTILITY ACCOUNT REFUND CLOSED UTILITY ACCOUNT 571-0835	6.62 Total : 6.62
141390	3/8/2012	90790 PATEL, MISBAH	98255		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	150.54 Total : 150.54
141391	3/8/2012	51796 PIP PRINTING #875	121385		COPYING & PRINTING SERVICE	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141391	3/8/2012	51796 PIP PRINTING #875	(Continued)			
			121451		COPYING & PRINTING SERVICE 120-1700-2714	150.81
			121465		COPYING & PRINTING SERVICE 100-1100-2250	24.53
			121489		COPYING & PRINTING SERVICE 110-3100-2717	90.51
			121523		COPYING & PRINTING SERVICE 110-3100-2717	183.21
			121524		COPYING & PRINTING SERVICE 120-1700-2714	9.73
			121584		COPYING & PRINTING SERVICE 686-4100-2250	353.55
					COPYING & PRINTING SERVICE 120-1700-2714	35.69
					Total :	848.03
141392	3/8/2012	51895 PIROT'S TOWING INC	3125		TOWING TOWING 120-3350-2400	400.00
					Total :	400.00
141393	3/8/2012	74951 PITNEY BOWES PURCHASE POWER	8-9-10777393	2012-000346	ANNUAL POSTAGE BY PHONE RESET ANNUAL POSTAGE BY PHONE RESET 110-6100-2250	17.13
					Total :	17.13
141394	3/8/2012	90864 PLANTENGA, WINSTON	03/09/12		Doubled ICMA deduction in error Doubled ICMA deduction in error 750-2135	12.50

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141394	3/8/2012	90864 PLANTENGA, WINSTON	(Continued) 03/9/12		Doubled SEIU deduction in error Doubled SEIU deduction in error 750-2163	12.00 Total : 24.50
141395	3/8/2012	84339 PLUMBERS DEPOT INC	PD-17807		PARTS/SUPPLIES PARTS/SUPPLIES 254-4600-2450	491.39 Total : 491.39
141396	3/8/2012	90840 POLAR RADIATOR & AIR	10467		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	226.38 Total : 226.38
141397	3/8/2012	76348 POLLARDWATER.COM	1318864		PARTS/SUPPLIES PARTS/SUPPLIES 571-9000-2720	337.80 Total : 337.80
141398	3/8/2012	70826 POST AND PARCEL PLUS	586771		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3100-2253	138.00
			586961		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3100-2253	92.00
			81717		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3225-2400	14.24
			81718		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 110-3200-2250	20.74
			81781		PACKAGING/MAILING SERVICE PACKAGING/MAILING SERVICE 684-4550-2350	13.86

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141398	3/8/2012	70826 70826 POST AND PARCEL PLUS	(Continued)			Total : 278.84
141399	3/8/2012	76528 POWERHOUSE GYM OF SAN JACINTO	DEC 2011	2012-000319	ANNUAL EMPLOYEE GYM MEMBERHIF ANNUAL EMPLOYEE GYM MEMBERHIF 681-2350-2710	295.00
			JAN 2012	2012-000319	ANNUAL EMPLOYEE GYM MEMBERHIF ANNUAL EMPLOYEE GYM MEMBERHIF 681-2350-2710	290.00
					Total :	585.00
141400	3/8/2012	83266 PRIETTO, DAVID	TRAVEL		ADVANCE,Explorer Acadamy,3/18-24 ADVANCE,Explorer Acadamy,3/18-24 110-3200-2560	350.00
					Total :	350.00
141401	3/8/2012	90730 PRINTERON	2000010248		PRINTING SERVICE PRINTING SERVICE 110-2080	595.00
					Total :	595.00
141402	3/8/2012	79081 PRO INET	4053		CELLULAR PHONE ACCESSORIES CELLULAR PHONE ACCESSORIES 110-3200-2450	53.86
					Total :	53.86
141403	3/8/2012	85286 PROFESSIONAL CONSTRUCTION SVCS	4000	2012-000184	~ ~ 120-3350-2400	155.00
			4001	2012-000184	~ ~ 120-3350-2400	125.00
			4003	2012-000184	~ ~ 120-3350-2400	50.00
			4004	2012-000184	~ ~ 120-3350-2400	75.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141403	3/8/2012	85286	PROFESSIONAL CONSTRUCTION SVCS (Continued) 4005		~	
				2012-000184	~	
					120-3350-2400	55.00
			4006		~	
				2012-000184	~	
					120-3350-2400	50.00
			4007		BOARD UP/WEED ABATE/CLEANUP BOARD UP/WEED ABATE/CLEANUP 247-1901-2710	238.65
					BOARD UP/WEED ABATE/CLEANUP 291-1925-2710	636.35
			4008		~	
				2012-000184	~	
					120-3350-2400	285.00
			4009		~	
				2012-000184	~	
					120-3350-2400	175.00
			4010		~	
				2012-000184	~	
					120-3350-2400	135.00
			4011		~	
				2012-000184	~	
					120-3350-2400	225.00
			4012		~	
				2012-000184	~	
					120-3350-2400	375.00
			4013		BOARD UP/WEED ABATE/CLEANUP BOARD UP/WEED ABATE/CLEANUP 247-1901-2710	168.75
					BOARD UP/WEED ABATE/CLEANUP 291-1925-2710	506.25
			4014		~	
				2012-000184	~	
					120-3350-2400	250.00
			4016		~	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141403	3/8/2012	85286 PROFESSIONAL CONSTRUCTION SVCS	(Continued)			
				2012-000184	~ 120-3350-2400	280.00
			4017		~	
				2012-000184	~ 120-3350-2400	75.00
			4018		~	
				2012-000184	~ 120-3350-2400	250.00
			4019		~	
				2012-000184	~ 120-3350-2400	385.00
			4020		~	
				2012-000184	~ 120-3350-2400	560.00
			4021		~	
				2012-000184	~ 120-3350-2400	385.00
					Total :	5,440.00
141404	3/8/2012	53359 PUBLIC EMPLOYEES RETIREMENT SY	Ben308033		PERS SERV CRDT-TAX DEF: Payment PERS SERV CRDT-TAX DEF: Payment 750-2120 EPMC: Payment 750-2120 PENSION: Payment 750-2120 SURVIVOR BENEFITS-PERS MISC: Pay 750-2120 SURVIVOR BENEFITS-PERS SAFETY: F 750-2120 P.E.R.S. PENSION 100-1400-1400	7,734.43 721.91 237,662.76 149.73 95.79 -0.23
					Total :	246,364.39
141405	3/8/2012	82358 PUBLIC SAFETY TRAINING	REQ 02/22		TUITION,ULTSCH,DISPATCH,3/14-15	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141405	3/8/2012	82358 PUBLIC SAFETY TRAINING	(Continued)		TUITION,ULTSCH,DISPATCH,3/14-15 110-3100-2563	220.00
					Total :	220.00
141406	3/8/2012	90796 PULSIFER, JAMES	99375		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	182.35
					Total :	182.35
141407	3/8/2012	90779 R F G OIL INC	90332		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	154.21
					Total :	154.21
141408	3/8/2012	90773 RAJA, NAGASAI	83338		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	211.64
					Total :	211.64
141409	3/8/2012	90841 RAMKO TOOLS	10455		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	13.24
					Total :	13.24
141410	3/8/2012	76779 RANDOM HOUSE, INC	1083426239		AUDIO BOOKS AUDIO BOOKS 363-6100-2226	38.79
			1083480992		AUDIO BOOKS AUDIO BOOKS 363-6100-2226	38.79
					Total :	77.58
141411	3/8/2012	74668 RANKIN'S COMMERCIAL SECURITY	14204		LOCKSMITHING SERVICES LOCKSMITHING SERVICES 685-4560-2450	498.80

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141411	3/8/2012	74668 74668 RANKIN'S COMMERCIAL SECURITY	(Continued)			Total : 498.80
141412	3/8/2012	90754 RAYNOR & ETCHART	50436		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	Total : 106.60 106.60
141413	3/8/2012	70740 RECORDED BOOKS, LLC	74491008		BOOKS BOOKS 363-6100-2226	Total : 106.68 106.68
141414	3/8/2012	88474 REGENTS OF UNIVERSITY OF CA	861002673		ENROLLMENT FEES ENROLLMENT FEES 110-2080	Total : 155.00 155.00
141415	3/8/2012	90647 REHMAN INSURANCE SERVICES	10739		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	Total : 25.50 25.50
141416	3/8/2012	90842 RENT A CENTER #2428	10502		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	Total : 287.38 287.38
141417	3/8/2012	85422 RETAIL ACQUISITION & DEV	21041837		BATTERY SUPPLIES BATTERY SUPPLIES 110-3200-2452	Total : 158.40 158.40
141418	3/8/2012	86716 REVENUE EXPERTS, INC	39730 39740		CITATION PROCESSING CITATION PROCESSING 120-3350-2710 CITATION PROCESSING CITATION PROCESSING	905.26

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141418	3/8/2012	86716 REVENUE EXPERTS, INC	(Continued)		110-3100-2712	656.00
					Total :	1,561.26
141419	3/8/2012	77883 RICOH AMERICAS CORPORATION	510415687		COPIER SUPPLIES	
					COPIER SUPPLIES	
					686-4100-2250	38.06
					COPIER SUPPLIES	
					686-4150-2250	38.06
					COPIER SUPPLIES	
					120-4100-2250	38.06
					Total :	114.18
141420	3/8/2012	77883 RICOH AMERICAS CORPORATION	510417091		COPIER SUPPLIES	
					COPIER SUPPLIES	
					110-3100-2253	99.13
					Total :	99.13
141421	3/8/2012	90843 RIVERDALE APARTMENTS	10689		REFUND CLOSED REFUSE ACCOUNT	
					REFUND CLOSED REFUSE ACCOUNT	
					571-0835	4,644.59
					Total :	4,644.59
141422	3/8/2012	86585 RIVERSIDE, COUNTY OF	000906319-8		2001 PRIOR PROP TAX OWED, LOBO	
					2001 PRIOR PROP TAX OWED, LOBO	
					110-4250-2400	138.52
					Total :	138.52
141423	3/8/2012	69456 RIVERSIDE, COUNTY OF (C&R)	CEQA		NOTICE OF DETERMINATION CIP 5574	
					NOTICE OF DETERMINATION CIP 5574	
					686-4100-2710	64.00
					Total :	64.00
141424	3/8/2012	69456 RIVERSIDE, COUNTY OF (C&R)	DEC 2011		RELEASE FEES	
					RELEASE FEES	
					120-3350-2250	39.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141424	3/8/2012	69456 69456 RIVERSIDE, COUNTY OF (C&R)	(Continued)			Total : 39.00
141425	3/8/2012	69252 ROSENOW SPEVACEK GROUP, INC	27700	2012-000485	MOVE BALANCE FROM 2011-000553. Move balance from 2011-000553.~ 496-8000-2710	2,800.00 Total : 2,800.00
141426	3/8/2012	90799 RUDY'S TIRE & WHEELS	10351		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	89.30 Total : 89.30
141427	3/8/2012	88968 RUSSELL SIGLER INC	12000991		HEATING/AC PARTS & SUPPLIES HEATING/AC PARTS & SUPPLIES 685-4560-2450	261.20
			12001049		HEATING/AC PARTS & SUPPLIES HEATING/AC PARTS & SUPPLIES 685-4560-2450	785.41
			RVS12000732		HEATING/AC PARTS & SUPPLIES HEATING/AC PARTS & SUPPLIES 685-4560-2450	419.99 Total : 1,466.60
141428	3/8/2012	90844 S & K STATE STREET SERVICES	10547		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	33.10 Total : 33.10
141429	3/8/2012	90757 S I C /LEED CIVIC PLAZA LLC	51045		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	1,739.10 Total : 1,739.10
141430	3/8/2012	90769 SANTANA'S MEXICAN FOOD	78745		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	259.40

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141430	3/8/2012	90769 90769 SANTANA'S MEXICAN FOOD	(Continued)			Total : 259.40
141431	3/8/2012	90845 SAVE A LOT 914	10625		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	1,512.25 Total : 1,512.25
141432	3/8/2012	69109 SEIU LOCAL 721,CTW AND CLC	Ben308023		SEIU CONTRIBUTIONS: Payment Plantenga 750-2163 SEIU CONTRIBUTIONS: Payment 750-2163	-12.00 2,472.26 Total : 2,460.26
141433	3/8/2012	90739 SEVEN DAY MARKET	10752		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	96.70 Total : 96.70
141434	3/8/2012	90846 SHEU MD, LUKE J H	10712		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	50.42 Total : 50.42
141435	3/8/2012	90847 SHOWALTER, PETE/CHRISTINE	10438		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	161.19 Total : 161.19
141436	3/8/2012	90848 SIAM GARDEN	10421		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	188.57 Total : 188.57
141437	3/8/2012	58450 SMART & FINAL	165008		FOOD & JANITORIAL SUPPLIES FOOD & JANITORIAL SUPPLIES 100-1100-2250	281.68

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141437	3/8/2012	58450 58450 SMART & FINAL			(Continued)	Total : 281.68
141438	3/8/2012	81206 SMITH, BRIT	54631		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	179.05 Total : 179.05
141439	3/8/2012	59300 SOCO GROUP, INC, THE	634127		FUEL & OIL FUEL & OIL 110-3200-2623	1,834.88 Total : 1,834.88
141441	3/8/2012	59145 SOUTHERN CALIFORNIA EDISON	2107059958		ELECTRIC BILLS ELECTRIC BILLS 227-8260-2100	1,544.63
			2232322826		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	533.98
			2232322891		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	217.72
			2232322925		ELECTRIC BILLS ELECTRIC BILLS 571-9000-2100	3,054.13
			2232323063		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	2,760.35
			2232323113		ELECTRIC BILLS ELECTRIC BILLS 110-4250-2100	831.15
			2232323139		ELECTRIC BILLS ELECTRIC BILLS 110-3100-2805	102.47
					ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	123.47

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141441	3/8/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued)		221-4200-2100 ELECTRIC BILLS	56.28
			2232323196		685-4560-2100 ELECTRIC BILLS ELECTRIC BILLS	10,249.16
			2235085602		221-4200-2100 ELECTRIC BILLS ELECTRIC BILLS	1,685.58
			2235085818		221-4200-2100 ELECTRIC BILLS ELECTRIC BILLS	38.96
			2242040640		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	51.89
			2243333796		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	18.01
			2244447082		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	58.67
			2245098009		221-4200-2100 ELECTRIC BILLS ELECTRIC BILLS	53.71
			2245871876		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	48.99
			2247384472		685-4560-2100 ELECTRIC BILLS ELECTRIC BILLS	5,810.76
			2248014235		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	18.85
			2248025389		225-8250-2100 ELECTRIC BILLS ELECTRIC BILLS	18.20

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141441	3/8/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued)			
			2253021661		225-8250-2100 ELECTRIC BILLS	105.82
			2256034810		227-8263-2100 ELECTRIC BILLS	115.02
			2263709958		225-8250-2100 ELECTRIC BILLS	34.95
			2277569539		225-8250-2100 ELECTRIC BILLS	64.33
			2280141748		227-8279-2100 ELECTRIC BILLS	58.38
			2282756154		227-8262-2100 ELECTRIC BILLS	70.18
			2283624914		227-8262-2100 ELECTRIC BILLS	44.29
			2290834720		225-8250-2100 ELECTRIC BILLS	201.04
			2296238678		225-8250-2100 ELECTRIC BILLS	129.17
			2304749179		225-8250-2100 ELECTRIC BILLS	37.63
			2304917719		685-4560-2100 ELECTRIC BILLS	402.82
			2308760859		228-8279-2100 ELECTRIC BILLS	71.73

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141441	3/8/2012	59145 SOUTHERN CALIFORNIA EDISON	(Continued)		ELECTRIC BILLS 221-4200-2100	41.26
			2308781749		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	29.96
			2309599926		ELECTRIC BILLS ELECTRIC BILLS 228-8272-2100	43.77
			2315302687		ELECTRIC BILLS ELECTRIC BILLS 227-8272-2100	491.39
			2316493188		ELECTRIC BILLS ELECTRIC BILLS 227-8272-2100	54.27
			2325365161		ELECTRIC BILLS ELECTRIC BILLS 225-8250-2100	21.93
			2340622703		ELECTRIC BILLS ELECTRIC BILLS 227-8280-2100	199.12
			2340622703		ELECTRIC BILLS ELECTRIC BILLS 227-8282-2100	49.09
					ELECTRIC BILLS 227-8282-2100	16.17
					Total :	29,559.28
141442	3/8/2012	59150 SOUTHERN CALIFORNIA GAS CO	09142433235		MONTHLY GAS BILLS MONTHLY GAS BILLS 685-4560-2100	46.35
					Total :	46.35
141443	3/8/2012	60005 STANDARD INSURANCE OF OREGON	Ben308025		LIFE INSURANCE GENERAL EMP: Payn LIFE INSURANCE GENERAL EMP: Payn 750-2145	790.50

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141443	3/8/2012	60005 STANDARD INSURANCE OF OREGON	(Continued)		LIFE INSURANCE MGMT: Payment 750-2145	824.50
					LIFE INSURANCE POLICE: Payment 750-2145	603.25
					LIFE INSURANCE FIRE: Payment 750-2145	408.00
					LIFE INSURANCE CWA: Payment 750-2145	178.50
					LIFE INSURANCE PREMIUMS 110-3100-1400	-3.25
					Total :	2,801.50
141444	3/8/2012	76654 STAPLES ADVANTAGE	3166898863		OFFICE SUPPLIES OFFICE SUPPLIES 120-3300-2250	59.92
			3168635361		OFFICE SUPPLIES OFFICE SUPPLIES 120-3300-2250	85.08
			3168635362		OFFICE SUPPLIES OFFICE SUPPLIES 120-3300-2250	175.82
			3168635363		OFFICE SUPPLIES OFFICE SUPPLIES 120-4100-2250	12.02
					OFFICE SUPPLIES 686-4100-2250	12.02
					OFFICE SUPPLIES 686-4150-2250	12.03
			3168635364		OFFICE SUPPLIES OFFICE SUPPLIES 120-4100-2250	18.37
					OFFICE SUPPLIES 686-4100-2250	18.37
					OFFICE SUPPLIES 686-4150-2250	18.37

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141444	3/8/2012	76654 STAPLES ADVANTAGE	(Continued) 3168635365		OFFICE SUPPLIES OFFICE SUPPLIES 120-4100-2250	29.40
					OFFICE SUPPLIES 686-4100-2250	29.40
			3168635366		OFFICE SUPPLIES 686-4150-2250	29.39
			3168635367		OFFICE SUPPLIES OFFICE SUPPLIES 120-4100-2250	6.23
					OFFICE SUPPLIES 120-4100-2250	55.55
					OFFICE SUPPLIES 686-4100-2250	55.55
			3168635368		OFFICE SUPPLIES OFFICE SUPPLIES 686-4150-2250	55.54
			3168635371		OFFICE SUPPLIES OFFICE SUPPLIES 686-4100-2250	10.76
					OFFICE SUPPLIES 254-4600-2250	15.61
					OFFICE SUPPLIES 254-4650-2250	17.56
			3168635372		OFFICE SUPPLIES OFFICE SUPPLIES 571-9000-2250	73.16
					OFFICE SUPPLIES 254-4600-2250	53.75
					OFFICE SUPPLIES 254-4650-2250	60.47
					OFFICE SUPPLIES 571-9000-2250	251.93

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141444	3/8/2012	76654 STAPLES ADVANTAGE	(Continued)			
			3168635383		OFFICE SUPPLIES	
					OFFICE SUPPLIES	
					100-1800-2250	13.79
			3168635384		OFFICE SUPPLIES	
					OFFICE SUPPLIES	
					110-6100-2250	190.36
			3168635385		OFFICE SUPPLIES	
					OFFICE SUPPLIES	
					110-6100-2250	6.23
			3168635386		OFFICE SUPPLIES	
					OFFICE SUPPLIES	
					120-1700-2250	51.64
					OFFICE SUPPLIES	
					120-1700-2450	310.65
			3168635387		OFFICE SUPPLIES	
					OFFICE SUPPLIES	
					120-1700-2250	380.03
			3168635388		OFFICE SUPPLIES	
					OFFICE SUPPLIES	
					120-3350-2250	38.12
					OFFICE SUPPLIES	
					120-1700-2450	310.65
			3168635393		OFFICE SUPPLIES	
					OFFICE SUPPLIES	
					110-3100-2253	21.33
			3168635395		OFFICE SUPPLIES	
					OFFICE SUPPLIES	
					686-4150-2250	95.61
					OFFICE SUPPLIES	
					571-9000-2250	58.88
			3168635401		OFFICE SUPPLIES	
					OFFICE SUPPLIES	
					686-4150-2250	19.59
					Total :	2,653.18

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141445	3/8/2012	90804 STATE ST LLC	10365		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	637.93 Total : 637.93
141446	3/8/2012	90762 STEELWELD OF CALIFORNIA	52896		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	415.91 Total : 415.91
141447	3/8/2012	90793 STETSON TOWNHOMES LLC	98804		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	1,077.13 Total : 1,077.13
141448	3/8/2012	90849 STINSON, ROBERT	10707		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	64.99 Total : 64.99
141449	3/8/2012	90256 STOCKWELL, DEAN/JENNIFER	97973		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	229.75 Total : 229.75
141450	3/8/2012	88695 STORAGE U S A #177	10404		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	124.85 Total : 124.85
141451	3/8/2012	90760 SUNRISE MOBILE HOME PARK	52056		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	861.53 Total : 861.53
141452	3/8/2012	90850 SUNSHINE CAR WASH, INC	10602		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT	

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141452	3/8/2012	90850 SUNSHINE CAR WASH, INC	(Continued)		571-0835	243.99
					Total :	243.99
141453	3/8/2012	74827 SUNWEST VILLAGE	10358		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	441.56
			10885		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	562.80
					Total :	1,004.36
141454	3/8/2012	30355 SUPERIOR REDI MIX	485832		CONCRETE,ROCK,SAND CONCRETE,ROCK,SAND 221-4200-2850	43.10
			486618		CONCRETE,ROCK,SAND CONCRETE,ROCK,SAND 221-4200-2450	555.99
			486761		CONCRETE,ROCK,SAND CONCRETE,ROCK,SAND 221-4200-2450	40.01
			487852		CONCRETE,ROCK,SAND CONCRETE,ROCK,SAND 221-4200-2450	128.49
			487935		CONCRETE,ROCK,SAND CONCRETE,ROCK,SAND 221-4200-2450	821.06
			488676		CONCRETE,ROCK,SAND CONCRETE,ROCK,SAND 221-4200-2450	107.75
			488677		CONCRETE,ROCK,SAND CONCRETE,ROCK,SAND 221-4200-2450	459.01
					Total :	2,155.41
141455	3/8/2012	88075 T SPATES ASSOCIATED	0212		CONTRACT SERVICES	

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141455	3/8/2012	88075 T SPATES ASSOCIATED	(Continued)		CONTRACT SERVICES 110-3100-2712	980.00
					Total :	980.00
141456	3/8/2012	87764 T W TELECOM	308754		PHONE/INTERNET SERVICES PHONE/INTERNET SERVICES 680-1930-2200	2,762.19
			310761		PHONE/INTERNET SERVICES PHONE/INTERNET SERVICES 110-2080	2,685.53
					Total :	5,447.72
141457	3/8/2012	90750 THOMAS, EMMANUELA	48576		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	13.24
					Total :	13.24
141458	3/8/2012	90744 TILE 4 LESS	10858		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	188.59
					Total :	188.59
141459	3/8/2012	79809 TIME WARNER CABLE	8448400510002111		POWER LINK SERVICE POWER LINK SERVICE 110-2080	178.19
					Total :	178.19
141460	3/8/2012	69590 TIRES WAREHOUSE OF HEMET	10845	2012-000464	~ ~ 684-4550-2350	782.64
			10850	2012-000464	~ ~ 684-4550-2350	296.01
			10853	2012-000464	~ ~ 684-4550-2350	305.09

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141460	3/8/2012	69590 TIRES WAREHOUSE OF HEMET	(Continued) 108550221	2012-000464	~ ~ 684-4550-2350	502.43
Total :						1,886.17
141461	3/8/2012	69589 TOP-LINE INDUSTRIAL PRODUCTS	320969		AUTOMOTIVE PARTS & SUPPLIES AUTOMOTIVE PARTS & SUPPLIES 684-4550-2450	170.93
			321244		AUTOMOTIVE PARTS & SUPPLIES AUTOMOTIVE PARTS & SUPPLIES 684-4550-2450	108.44
			321669		AUTOMOTIVE PARTS & SUPPLIES AUTOMOTIVE PARTS & SUPPLIES 684-4550-2350	229.91
Total :						509.28
141462	3/8/2012	90736 TYNI, MATT/JANICE	10387		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	182.56
Total :						182.56
141463	3/8/2012	76386 U S A BLUE BOOK	593403		PARTS & SUPPLIES PARTS & SUPPLIES 571-9000-2450	391.76
			601436		PARTS & SUPPLIES PARTS & SUPPLIES 254-4600-2450	123.26
Total :						515.02
141464	3/8/2012	71525 U S A MOBILITY WIRELESS INC	0184550-2		PAGING RENTAL/SERVICES PAGING RENTAL/SERVICES 686-4150-2450	38.87
Total :						38.87
141465	3/8/2012	81198 ULTSCH, ADRIAN	TRAVEL		ADVANCE,DISPATCH,LAMESA,3/14-15 ADVANCE,DISPATCH,LAMESA,3/14-15	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141465	3/8/2012	81198 ULTSCH, ADRIAN	(Continued)		110-3100-2563	80.00
					Total :	80.00
141466	3/8/2012	63783 UNDERGROUND SERVICE ALERT	220120299		NOTIFICATION SERVICES NOTIFICATION SERVICES 571-9000-2710	606.00
					Total :	606.00
141467	3/8/2012	69111 UNITED WAY	Ben308027		UNITED WAY: Payment UNITED WAY: Payment 750-2176	250.00
					Total :	250.00
141468	3/8/2012	79159 VALLEY CHRONICLE, THE	02/16/12		SUBSCRIPTION RENEWAL SUBSCRIPTION RENEWAL 100-1200-2220	24.95
					Total :	24.95
141469	3/8/2012	90851 VALLEY EVANGELICAFREE CHURCH	10429		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	66.35
					Total :	66.35
141470	3/8/2012	90852 VALLEY FOREIGN AUTO BODY	10466		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	154.57
					Total :	154.57
141471	3/8/2012	69777 VALLEY RESTART SHELTER	10714		REFUND CLOSED REFUSE ACCT REFUND CLOSED REFUSE ACCT 571-0835	500.40
					Total :	500.40
141472	3/8/2012	78474 VALLEY SMOG TEST	90652		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	24.46

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141472	3/8/2012	78474 VALLEY SMOG TEST			(Continued)	Total : 24.46
141473	3/8/2012	69426 VALLEY STEAM	01/26/12		CARPET CLEANING CARPET CLEANING 685-4560-2460	140.00 Total : 140.00
141474	3/8/2012	70903 VALLEY WIDE RECREATION & PARK	JAN 2012		GRAFFITI REMOVAL PROGRAM GRAFFITI REMOVAL PROGRAM 228-4240-2400	2,821.79 Total : 2,821.79
141475	3/8/2012	89376 VAUGHAN-CODIGA, JACKIE	REQ 03/05		REIMB EXPENSES REIMB EXPENSES 254-4600-2250 REIMB EXPENSES 254-4650-2250 REIMB EXPENSES 571-9000-2250	3.94 4.42 18.45 Total : 26.81
141476	3/8/2012	26850 VERIZON CALIFORNIA	1860049		PHONE BILLS PHONE BILLS 680-1930-2200	48.83
			6521190		PHONE BILLS PHONE BILLS 680-1930-2200	84.09
			6580089		PHONE BILLS PHONE BILLS 680-1930-2200	106.72
			9297978		PHONE BILLS PHONE BILLS 680-1930-2200	84.09
			9298076		PHONE BILLS PHONE BILLS 680-1930-2200	172.43

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141476	3/8/2012	26850 VERIZON CALIFORNIA	(Continued) 9299725		PHONE BILLS PHONE BILLS 680-1930-2200	161.71
			OSN2300		PHONE BILLS PHONE BILLS 680-1930-2200	21.80
			PL28636		PHONE BILLS PHONE BILLS 680-1930-2200	43.60
			QE05475		PHONE BILLS PHONE BILLS 110-3100-2201	213.58
			UH01507		PHONE BILLS PHONE BILLS 110-3100-2201	203.16
					Total :	1,140.01
141477	3/8/2012	80404 VERIZON WIRELESS	371868188		CELL PHONES/AIR CARDS CELL PHONES/AIR CARDS 110-3100-2203	2,293.64
			771855254		CELL PHONES/AIR CARDS CELL PHONES/AIR CARDS 110-3100-2203	114.03
					Total :	2,407.67
141478	3/8/2012	90748 VINCENT, TRACI	47677		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	273.89
					Total :	273.89
141479	3/8/2012	73710 VISTA GARDEN APARTMENTS	51756		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	7,419.27
					Total :	7,419.27

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141480	3/8/2012	82854 VISTA PAINT CORP	2012-967182		PAINT SUPPLIES PAINT SUPPLIES 110-4250-2450	18.35
Total :						18.35
141481	3/8/2012	90853 VOSS, ROBERT	10620		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	175.86
Total :						175.86
141482	3/8/2012	32992 VULCAN MATERIALS CO	655174		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 571-9000-2450	410.53
			659460		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 571-9000-2450	206.20
			661887		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 254-4600-2450	206.20
			663377		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 571-9000-2450	274.09
			664619		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 221-4200-2450	273.41
			667084		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 221-4200-2450	206.20
			672095		BLACKTOP & BASE MATERIAL BLACKTOP & BASE MATERIAL 571-9000-2450	208.24
Total :						1,784.87
141483	3/8/2012	90743 WALGREENS CO #5349	10855		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	289.29

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141483	3/8/2012	90743 90743 WALGREENS CO #5349	(Continued)			Total : 289.29
141484	3/8/2012	90604 WARNER-YUNGEN, JACQUELYN	REQ 01/23		replaces ck# 140504, closed utility acct replaces ck# 140504, closed utility acct 571-0835	158.65 Total : 158.65
141485	3/8/2012	90854 WASHINGTON MUTUAL	10590		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	152.29 Total : 152.29
141486	3/8/2012	86381 WEST COAST LIGHTS & SIRENS INC	5875		CUSTOM FABRICATED PARTS CUSTOM FABRICATED PARTS 684-4550-2350	19.74 Total : 19.74
141487	3/8/2012	90855 WEST COAST TRUSS CO	10469		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	94.27 Total : 94.27
141488	3/8/2012	90856 WEST FLORIDA GOLD	10521 10566		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835 REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	264.73 91.93 Total : 356.66
141489	3/8/2012	79158 WEST PAYMENT CENTER	000140288 824282584		PUBLICATIONS PUBLICATIONS 363-6100-2225 PUBLICATIONS PUBLICATIONS 363-6100-2221	-6.95 148.72

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141489	3/8/2012	79158 79158 WEST PAYMENT CENTER	(Continued)			Total : 141.77
141490	3/8/2012	76234 WESTERN FIRE CO	021712HL1		FIRE SPRINKLER/EXTINGUSHER SVC FIRE SPRINKLER/EXTINGUSHER SVC 685-4560-2460	125.00 Total : 125.00
141491	3/8/2012	87372 WESTERN SCIENCE CENTER	53954		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	230.43 Total : 230.43
141492	3/8/2012	82562 WHISPERING PINES	48581		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	672.71
			48582		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	615.31
			48585		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	650.24 Total : 1,938.26
141493	3/8/2012	90857 WIENERSCHNITZEL	10686		REFUND CLOSED REFUSE ACCOUNT REFUND CLOSED REFUSE ACCOUNT 571-0835	554.45 Total : 554.45
141494	3/8/2012	88799 WILCOX, STEVE	TRAVEL		ADVANCE,Exporer Academy,3/18-24 ADVANCE,Exporer Academy,3/18-24 110-3200-2560	350.00 Total : 350.00
141495	3/8/2012	90778 WILSON, SCOTT	88894		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	189.23

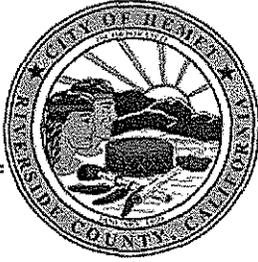
Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141495	3/8/2012	90778 90778 WILSON, SCOTT			(Continued)	Total : 189.23
141496	3/8/2012	75826 WISEHART, DEBORAH L	Ben308037		WAGE ASSIGNMENT: Payment WAGE ASSIGNMENT: Payment 750-2174	125.00 Total : 125.00
141497	3/8/2012	90860 WOLFE COMMUNICATIONS	6075		RADIO REPAIR RADIO REPAIR 110-3200-2250	11.63 Total : 11.63
141498	3/8/2012	68755 XEROX CORPORATION	060389383		LEASE/METER USAGE/COPIER LEASE/METER USAGE/COPIER 110-3100-2805	38.20
			060389388	2012-000018	ANNUAL SERVICE AGREEMENT FOR X ANNUAL SERVICE AGREEMENT FOR X 110-6100-2400	29.43 Total : 67.63
141499	3/8/2012	81242 XPRESS TRUCK SALES	10744		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	6.62 Total : 6.62
141500	3/8/2012	90755 YANGON LLC	50474		REFUND CLOSED UTILITY ACCT REFUND CLOSED UTILITY ACCT 571-0835	148.40 Total : 148.40
141501	3/8/2012	90322 ZEP SALES & SERVICE	53480609		SUPPLIES SUPPLIES 684-4550-2450	83.68 Total : 83.68
386 Vouchers for bank code : 001						Bank total : 1,025,495.55

Bank code : 001

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount	
386	Vouchers in this report					Total vouchers :	1,025,495.55

I, Rita Conrad, do hereby certify under penalty of perjury, that the materials have been furnished, the services rendered, or the labor performed as described herein, and that the claim is a just, due and unpaid obligation against the City of Hemet, and that I am authorized to authenticate and certify to said claim.



Staff Report

TO: Honorable Mayor and Members of the Hemet City Council
FROM: Mark Orme, Deputy City Manager; Brian Nakamura, City Manager *PS*
DATE: March 27, 2012
RE: Approve Modifications to the Senior Public Works Inspector Job Description and Assign the Position to SEIU Salary Range 58.

RECOMMENDED ACTION:

That the City Council approve modifications to the City's Classification Manual through adding duties to the Senior Public Works Inspector job classification and set the salary range at S-58.

BACKGROUND:

The City of Hemet maintains a Classification Manual which includes job descriptions for all positions in the City. As a part of ensuring employees are properly working within their classification, Departments regularly review their employees' duties, as are prescribed in their job description, and as they are conducted in the employees day to day work effort. At times some positions will be recommended to be modified, as in this instance, primarily due to the fact that non-standard additional duties are anticipated to become routine for the job. In order to properly administer the classification manual, should these instances arise, it is staff's obligation to return to the Council to request modifications to the job description and salary range.

ACTION DESCRIPTION:

This action will make specific modifications to the Senior Public Works Inspector job description to include language adding managing field operations of "private development" along with current management of Capital Improvement projects. Additionally, the job description will add under essential functions, "inspection of and enforcement of NPDES regulations", and finally, "initiates Lighting and Landscaping Maintenance Districts (LLMD) assessments and utility acceptance." The added job duties necessitate an adjustment of the salary range, which would go from SEIU Range 56 [\$4480 – \$5721] to SEIU Range 58 [\$4707 - \$6010].

ANALYSIS:

Regularly evaluating duties and outcomes are best practices for any entity that is looking to ensure business is being conducted in the most efficient way possible. Due to the fact that the incumbent within this position has been receiving additional duties pay for an extended period of time, and there is no expectation that those additional duties will be conducted by another classification, it is proper to finalize this action by modifying the job description to properly reflect those essential duties that are expected of the Senior Public Works Inspector position. In kind, it is appropriate to ensure compensation is properly coordinated with the additionally assumed duties. This action will ensure operational effectiveness in the Engineering division and also

allow for essential functions to be included in the City classification manual, within this job description.

COORDINATION & REVIEW:

Evaluation of this modification was initiated in Fall 2011 and has gone through a thorough examination between the Human Resources Department, Engineering, Finance and Administration. Additionally, staff conferred with the union representing this position as required by law.

CONSISTENCY WITH ADOPTED GOALS, PLANS, AND PROGRAMS:

This action ensures the City Council adopted Personnel Rules are abided by and also allows for accommodating the City Council's goal of compliance with state/federal law, through making this classification responsible for NPDES inspection and enforcement.

FISCAL IMPACT:

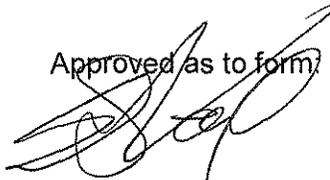
This position was budgeted with acting pay in the FY 2011-2012 Adopted Budget. Changing the range of this position to equal the amount of acting pay will not impact the budget since these costs have already been included in the budget.

Respectfully submitted,



Mark Orme
Deputy City Manager

Approved as to form:



Eric S. Vail
City Attorney

Fiscal Review:



Rita Conrad
Finance Director

Attachment: Job Description (with tracked changes)

CITY OF HEMET

Class Code:
Page 1 of 3

Date Adopted: 08/24/2004
Date Last Revised: 03/27/2012

SENIOR PUBLIC WORKS INSPECTOR

Class specifications are intended to present a descriptive list of the range of duties performed by employees in the class. Specifications are not intended to reflect all duties performed within the job.

DEFINITION

Under direction, manages the field operations of the City's Capital Improvement and Private Development Projects; supervises, evaluates, plans, organizes, and performs construction inspection program duties; supervises and manages the efforts of the City's Contract Public Works Inspectors and Contract Forepersons; interfaces with and coordinates assigned functions with other City services and departments; ensures safe work practices, work quality and accuracy; may assist in the training and lead supervision of lower level positions; performs other related duties as required.

DISTINGUISHING CLASS CHARACTERISTICS

Deleted: ¶

The **Senior Public Works Inspector** is the supervisory level class responsible for inspecting, observing, measuring, and testing methods and materials utilized in construction of City's Capital Improvement and Private Development Projects to ensure compliance with City standards, codes and specifications. This class is distinguished from the next higher classification of City Engineer in that the latter has the overall responsibility for the City's Engineering Division.

ESSENTIAL FUNCTIONS

Essential functions, as defined under the Americans with Disabilities Act may include, but are not limited to the following characteristics, duties, responsibilities, knowledge, skills and other characteristics:

Supervises, assigns, oversees and performs construction inspection of Capital Improvement and Private Development Projects, including making field determinations of scope and method of work to be performed; authorizes field changes to plans when required; chairs the pre-construction meetings; supervises and schedules the City's full-time contract Inspectors and Forepersons; oversees billing, request for payment and hours for all contract inspectors.

Inspects off-site improvements, including right-of-ways, water line improvements, and underground improvements; monitors traffic control; inspects grading and parking lots; posts right-of-way abandonment notices; inspects and enforces NPDES regulations.

Deleted: .

Trains and evaluates assigned contract personnel; coordinates project work with contractors, public utilities, engineers, the public and other City departments; identifies alternative construction methods and materials; ensures job site safety requirements are met; enforces regulations for construction or repair of storm drains, sidewalks and trenches.

Initiates Lighting and Landscaping Maintenance Districts (LLMD) assessments and utility acceptance.

Deleted: ¶
¶
¶

Oversees and prepares technical reports, letters and contract change orders; maintains written records of work performed; checks contractors progress on jobs; accounts for all contract bid items in preparation of payment to contractors; monitors, approves and tracks expenditures for Capital Improvement Projects.

Responds to questions and concerns from the general public; responds to complaints from the public relating to streets, parks, gutters, curbs, sidewalks, parking lots, water and sewer systems, storm drain construction, underground improvements, street lighting systems, landscaping, landscaping irrigation systems and capital improvement projects; provides information as is appropriate; resolves complaints; establishes and maintains a customer service orientation with the Division.

Approves construction, housing and project finals; reviews the final punch list to ensure all repairs, replacements etc. are complete.

Establishes positive working relationships with representatives of community organizations, state/local agencies, City management and staff, and the public.

ENVIRONMENTAL AND PHYSICAL WORKING CONDITIONS

Position requires sitting, standing, walking on level and slippery surfaces, reaching, twisting, turning, kneeling, bending, stooping, squatting, crouching, grasping, and making repetitive hand movement in the performance of daily duties. The position also requires both near and far vision when inspecting work and operating assigned equipment. The need to lift, carry and push tools, equipment and supplies weighing 25 pounds or more is also required. Additionally, the incumbent in this outdoor position works in all weather conditions, including wet, hot and cold. The nature of the work also requires the incumbent to climb ladders, use power and noise producing tools and equipment, drive motorized vehicles, operate in heavy vehicle traffic conditions, and often work with constant interruptions.

Some of these requirements may be accommodated for otherwise qualified individuals requiring and requesting such accommodations.

QUALIFICATIONS GUIDELINES

Knowledge, Skills, and Abilities:

Knowledge of:

Modern principles, practices, methods and materials used in public works construction; construction methods and procedures, including equipment, underground construction, shoring, and forming; construction materials such as concrete, asphalt and piping; methods and techniques of supervision, training and motivation; applicable federal, state and local laws, codes and regulations, including construction codes, manuals, specifications and related regulations; methods and

techniques for basic report preparation and writing; methods and techniques for record keeping; proper English, spelling and grammar; construction material testing procedures; advanced mathematics; drafting and mapping; occupational hazards and standard safety procedures.

Skill to:

Operate an office computer and a variety of word processing and software applications; safely operate a variety of tools and equipment used in field inspections.

Ability to:

Read, understand and interpret construction plans and specifications; inspect and analyze construction procedures and interpret code violations; conduct field and lab testing; prepare test results; supervise, train and motivate assigned staff; exercise sound independent judgment; interpret, explain and apply applicable laws, codes and regulations; maintain a variety of records; respond to issues and concerns from the community; communicate clearly and concisely, both orally and in writing; establish and maintain effective working relationships.

Education and/or Experience:

Any combination of education and experience that has provided the knowledge, skills and abilities necessary for a **Senior Public Works Inspector**. A typical way of obtaining the required qualifications is to possess the equivalent of three years of experience in construction, inspection, paraprofessional engineering or the performance of related work, and a high school diploma or equivalent, supplemented by one year of directly related college level course work.

Certification/License and/or Other Special Requirements:

Possession of, or ability to obtain, a valid Class C California driver's license. Certification as a Public Works Inspector from the American Construction Inspectors Association, and Water Treatment and Water Distribution certificates from the State of California are desirable.

#15



Staff Report

TO: Honorable Mayor and Members of the Hemet City Council

FROM: Brian Nakamura, City Manager
Deanna Elliano, Community Development Director

DATE: March 27, 2012

RE: **SPECIFIC PLAN AMENDMENT NO. 06-001 (TRES CERRITOS EAST)** - Adopt an ordinance amending the Hemet Valley Country Club Estates Specific Plan (SP 90-009) modifying the land plan with the addition of a 16.9 acre site to the eastern 146 acres allowing for a total of 622 residential units to the Tres Cerritos East Planning Area or up to a maximum of 710 units with approval of a Community Development Permit, and re-adoption as the Tres Cerritos Specific Plan 90-009.

RECOMMENDED ACTIONS:

That the City Council adopt the attached City Council Ordinance Bill No. 11-001 (Attachment #1) entitled:

“AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF HEMET, CALIFORNIA, APPROVING SPECIFIC PLAN AMENDMENT NO. 06-001, AN AMENDMENT TO THE HEMET VALLEY COUNTRY CLUB ESTATES SPECIFIC PLAN (SP 90-009) AND READOPTION AS THE TRES CERRITOS SPECIFIC PLAN (SP 90-009) LOCATED ON THE NORTHWEST CORNER OF W. DEVONSHIRE AVENUE AND CAWSTON AVENUE (APN’S 448-100-001, et. al.)”

BACKGROUND

On February 28, 2012, the City Council approved Specific Plan Amendment No. 06-001 and certified the Environmental Impact Report with a Statement of Overriding Considerations for the Tres Cerritos East project. The applicant has revised the Specific Plan Exhibit 1A to incorporate all of the recommended conditions of approval and it is now ready for formal adoption.

Respectfully submitted,

Ronald Running
City Planner

Deanna Elliano
Community Development Director

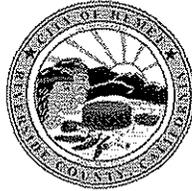
ATTACHMENTS

[The following attachments are available for review at the Community Development Department.]

- 1) City Council Ordinance Bill No. 11-001 for Adoption of SPA 06-001.
 - Exhibit 1A. Specific Plan Document (**Available at www.cityofhemet.org or Community Development Department**).
 - Exhibit 1B. Legal Description

Attachment No. 1

City Council Ordinance
Bill No. 11-001
For
Adoption of SPA 06-001



CITY OF HEMET
Hemet, California

ORDINANCE BILL NO. 11-001

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF HEMET, CALIFORNIA, APPROVING SPECIFIC PLAN AMENDMENT NO. 06-001, AN AMENDMENT TO THE HEMET VALLEY COUNTRY CLUB ESTATES SPECIFIC PLAN (SP 90-009) AND READOPTION AS THE TRES CERRITOS SPECIFIC PLAN (SP 90-009) LOCATED ON THE NORTHWEST CORNER OF W. DEVONSHIRE AVENUE AND CAWSTON AVENUE (APN'S 448-100-001, et. al.)

WHEREAS, an application for Specific Plan Amendment No. 06-001 for an amendment to the Hemet Valley Country Club Estates Specific Plan (SP 90-009) has been duly filed by:

Owner/Applicant: Signal Family Hemet, LLC
Omni Financial, LLC
MJ&M, LLC
Lot Area: 162.8+/- Acres
Location: Northwest corner of W. Devonshire Avenue and Cawston Avenue
APN: 448-100-001 thru 018; and 448-110-001 thru 022; and,

WHEREAS, the Planning Commission has the authority per Section 90-614 of the Hemet Municipal Code to recommend action on Specific Plan Amendment No. 06-001 to amend the Hemet Valley Country Club Estates Specific Plan (SP 90-009); and,

WHEREAS, on June 21, 2011 and August 16, 2011, the Hemet City Planning Commission conducted a duly noticed public hearing, at which it received public testimony concerning the project, considered the proposed project, and recommended that the City Council approve the said specific plan amendment; and,

WHEREAS, in accordance with Government Code Section 65090, on October 27, 2011 and February 16, 2012, the City gave public notice by advertising in the Press Enterprise and by mailing to property owners within 1,000 feet, of the holding of a public hearing at which the project would be considered by the City Council; and,

CITY COUNCIL ORDINANCE BILL NO. 11-001
Specific Plan Amendment No. 06-001 - Tres Cerritos East

1 **WHEREAS**, in accordance with Government Code Section 65453, on November
2 8, 2011 and February 28, 2012, the City Council held the noticed public hearing at
3 which interested persons had an opportunity to testify in support of, or opposition to, the
4 Specific Plan Amendment No. 06-001 for Hemet Valley Country Club Estates Specific
5 Plan (SP 90-009), and at which the City Council considered the requested Tres Cerritos
6 East Specific Plan Amendment No. 06-001 and readoption as the Tres Cerritos Specific
7 Plan (SP 90-009); and,
8

9 **WHEREAS**, at this public hearing on November 8, 2011 and February 28, 2012,
10 the City Council considered, heard public comments on, and approved and certified an
11 Environmental Impact Report and Mitigation Monitoring Program for the project by
12 Resolution.
13

14 **NOW THEREFORE**, the City Council of the City of Hemet, California, does
15 determine, find, resolve and order as follows:
16

17 **SECTION 1: ENVIRONMENTAL FINDINGS**
18

19 The City Council, in light of the whole record before it, including but not limited to, the
20 City's Local CEQA Guidelines and Thresholds of Significance, the recommendation of
21 the Planning Commission of the City of Hemet, the recommendation of the Planning
22 Director as provided in the Staff Report dated June 21, 2011 and documents
23 incorporated therein by reference, and any other evidence (within the meaning of Public
24 Resources Code §21080(e) and §21082.2) within the record or provided at the public
25 hearing of this matter, hereby finds and determines as follows:
26

- 27 1. **CEQA**: The approval of this Specific Plan Amendment is in compliance with
28 requirements of the California Environmental Quality Act ("CEQA"), in that on
29 February 28, 2012, at a duly noticed public hearing, the City Council approved
30 Specific Plan Amendment No. 06-001 with a certified Environmental Impact
31 Report and Mitigation Monitoring Program reflecting its independent judgment
32 and analysis and documenting that there was not substantial evidence, in light of
33 the whole record, from which it could be fairly argued that the project may have a
34 significant effect on the environment. The documents comprising the City's
35 environmental review for the project are on file and available for public review at
36 Hemet City Hall, 445 E. Florida Avenue, Hemet, California 92543.
37
- 38 2. **Multiple Species Habitat Conservation Plan (MSHCP)**: The project is found to
39 be consistent with the MSHCP. The project is located outside of any MSHCP
40 criteria area and mitigation is provided through payment of the MSHCP Mitigation
41 Fee.
42

1 **SECTION 2: SPECIFIC PLAN AMENDMENT FINDINGS**

- 2
3 1. **That the Specific Plan Amendment is in conformance with the latest**
4 **adopted General Plan:**

5
6 The proposed project is in conformance with the General Plan for the City of
7 Hemet with the designation of Specific Plan by incorporating into the existing
8 Specific Plan No. 90-009 designated for residential development. The specific
9 plan includes a master plan of development incorporating pedestrian amenities
10 both internal and external to the project. In addition, the existing Specific Plan
11 No. 90-009 was designed at a human scale and incorporated buffering in the form
12 of landscaping, setbacks and building orientation to provide a transition between
13 the surrounding residential uses. The proposed Specific Plan Amendment No.
14 06-001 will implement the goals of providing commercial services for the
15 community at large.

- 16
17 2. **The Specific Plan or Amendment provides for the development of a**
18 **comprehensively planned project that is superior to development**
19 **otherwise allowed under the conventional zoning classifications.**

20
21 The proposed Specific Plan Amendment No. 06-001 involves pedestrian and
22 vehicular linkages that have been designed to connect the Tres Cerritos East
23 community with the surrounding residential communities. The proposed
24 development will solve local storm water drainage problems and provide
25 recreational amenities in the form of parkland and recreational facilities.

- 26
27 3. **The proposed Specific Plan or Amendment provides for the construction,**
28 **improvement, or extension of transportation facilities, public utilities and**
29 **public services required by the long-term needs of the project and/or other**
30 **area residents, and complements the orderly development of the city**
31 **beyond the project boundaries.**

32
33 The project as conditioned will improve the site in a manner that is consistent
34 with the General Plan Circulation Element which will serve future traffic
35 generated by the proposed residential development. The traffic analysis for the
36 original Specific Plan and the proposed Specific Plan Amendment has
37 determined that the streets and circulation system in the area will be adequate to
38 handle the future anticipated traffic needs with the provision of the suggested
39 mitigation measures.

40
41 The proposed Specific Plan Amendment for the project is compatible with the
42 existing development constructed and planned for immediately north, east and
43 south of the subject site. The original Specific Plan has determined that the
44 streets and circulation system in the area will be adequate to handle the future
45 anticipated traffic needs with the provision of the suggested mitigation measures.
46

1 **SECTION 3: ADOPTION OF SPECIFIC PLAN AMENDMENT**

2
3 Specific Plan Amendment No. 06-001 to the Hemet Valley Country Club Estates
4 Specific Plan (SP 90-009) and readoption as the Tres Cerritos Specific Plan (SP 90-
5 009) is hereby adopted as indicated in Exhibit A, as described in Exhibit B, and subject
6 to the conditions of approval in Exhibit C.
7

8 **SECTION 4: SEVERABILITY**

9
10 If any section, subsection, subdivision, sentence, clause, phrase or portion of this
11 ordinance, is for any reason held to be invalid or unconstitutional by the decision of any
12 court or competent jurisdiction, such decision will not affect the validity of the remaining
13 portions of this ordinance. The City Council hereby declares that it would have adopted
14 this ordinance, and each section, subsection, subdivision, sentence, clause, phrase, or
15 portion thereof, irrespective of the fact that any one or more sections, subsections,
16 subdivisions, sentences, clauses, phrases or portions thereof be declared invalid or
17 unconstitutional.
18

19 **SECTION 5: PUBLICATION**

20
21 The City Clerk is authorized and directed to cause this Ordinance to be published within
22 fifteen (15) days after its passage in a newspaper of general circulation and circulated
23 with the City in accordance with Government Code Section 36933(a), or to cause this
24 Ordinance to be published in the manner required by law using the alternative summary
25 and posting procedure authorized under Government Code Section 39633(c).
26

27 **SECTION 6: EFFECTIVE DATE**

28
29 This ordinance will become effective 30 days after its adoption.
30

31 **INTRODUCED** at the regular meeting of the Hemet City Council on February 28, 2012.
32

33 **APPROVED, AND ADOPTED** this _____ day of _____.
34
35

36
37 _____
38 Robert Youssef, Mayor
39

40
41 **ATTEST:**
42
43

40
41 **APPROVED AS TO FORM:**
42
43

44
45 _____
Sarah McComas, City Clerk

44
45 _____
Eric S. Vail, City Attorney

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State of California)
County of Riverside)
City of Hemet)

I, Sarah McComas, City Clerk of the City of Hemet, do hereby certify that the foregoing Ordinance is the actual Ordinance introduced and placed upon its first reading at a regular meeting of the City Council on the ___ day of _____ 2011, and adopted by the City Council of the City of Hemet and was passed at a regular meeting of the City Council on the _____ day of _____ by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Sarah McComas, City Clerk

Attachment No. 1a

Tres Cerritos Specific Plan (SP 90-009)

[Available for review at www.cityofhemet.org
of Community Development Department.]

Attachment No. 1b

Legal Descripton

PARCEL 1

BEING PORTIONS OF FRACTIONAL SECTION 7, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE MERIDIAN, AND A PORTION OF TRACT XX AS SHOWN ON PARTITION MAP RANCHO SAN JACINTO VIEJO AND FARM LOT 175 OF THE SAN JACINTO LAND ASSOCIATION PER BOOK 8 OF MAPS, PAGE 357, RECORDS OF COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 7, AS SHOWN ON TRACT MAP 29550 IN BOOK 299, PAGES 78 THROUGH 99, INCLUSIVE, OF MAPS, RECORDS OF COUNTY OF RIVERSIDE, OF SAID STATE, SAID POINT ALSO BEING THE CENTERLINE INTERSECTION OF MENLO AVENUE AND CAWSTON AVENUE AS SHOWN ON SAID TRACT MAP 29550;

THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID SECTION AND THE SAID CENTERLINE OF CAWSTON AVE, SOUTH 00°58'59" WEST, A DISTANCE OF 2,637.34 FEET TO THE CENTERLINE INTERSECTION OF SAID CAWSTON AVENUE AND DEVONSHIRE AVENUE, SAID POINT ALSO BEING THE SOUTHEASTERLY CORNER OF SAID TRACT MAP 29550;

THENCE WESTERLY LEAVING SAID EASTERLY LINE OF SAID SECTION 7 AND ALONG SAID CENTERLINE OF DEVONSHIRE AVENUE, NORTH 89°39'04" WEST, A DISTANCE OF 1,855.77 FEET TO A POINT ON LAST SAID, CENTERLINE SAID POINT ALSO BEING AN ANGLE POINT ALONG THE SOUTHERLY BOUNDARY OF SAID TRACT MAP 29550;

THENCE NORTHERLY LEAVING SAID CENTERLINE, NORTH 00°04'59" EAST, A DISTANCE OF 905.40 FEET TO A POINT ON THE SOUTHERLY LINE OF GOVERNMENT LOT 4 OF SAID FRACTIONAL SECTION 7, SAID POINT ALSO BEING AN ANGLE POINT ALONG THE SAID SOUTHERLY BOUNDARY OF SAID TRACT MAP 29550;

THENCE ALONG LAST SAID SOUTHERLY BOUNDARY LINE, SOUTH 89°45'46" WEST, A DISTANCE OF 812.52 FEET TO THE CENTERLINE INTERSECTION OF LOS ROBLES ROAD AND ROSE ROAD AS SHOWN ON SAID TRACT MAP 29550, SAID POINT BEING ON A NON-TANGENT CURVE WITH A RADIUS OF 300.00 FEET AND A RADIAL BEARING OF NORTH 89°56'16" WEST;

THENCE CONTINUING NORTHERLY ALONG THE SAID CENTERLINE OF LOS ROBLES DRIVE THROUGH A CENTRAL ANGLE OF 38°15'51" AND AN ARC DISTANCE OF 200.35 FEET TO A REVERSE CURVE WITH A RADIUS OF 300.00 FEET AND A RADIAL BEARING OF NORTH 51°47'53" EAST;

THENCE CONTINUING NORTHERLY ALONG LAST SAID CENTERLINE THROUGH A CENTRAL ANGLE OF 51°46'16" AND AN ARC DISTANCE OF 271.07 FEET TO A REVERSE CURVE WITH A RADIUS OF 300.00 FEET AND A RADIAL BEARING OF NORTH 76°25'51" WEST;

THENCE CONTINUING NORTHERLY ALONG LAST SAID CENTERLINE THROUGH A CENTRAL ANGLE 34°47'01" AND AN ARC DISTANCE OF 182.13 FEET TO A COMPOUND CURVE WITH A RADIUS OF 200.00 FEET AND A RADIAL BEARING OF NORTH 68°47'08" EAST;

EXHIBIT

A

LEGAL DESCRIPTION
PARCEL 1

DRAWN BY: BH

DATE: 07-05-11

W.O. # SM-11-029.

SHEET 1 OF 3

THENCE CONTINUING NORTHEASTERLY ALONG LAST SAID CENTERLINE THROUGH A CENTRAL ANGLE OF 26°11'21" AND AN ARC DISTANCE OF 91.42 FEET TO AN ANGLE POINT ON THE SOUTHERLY BOUNDARY OF LOT Y OF SAID TRACT MAP 29550;

THENCE EASTERLY LEAVING LAST SAID CENTERLINE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT Y NORTH 42°35'47" EAST A DISTANCE OF 28.00 FEET TO AN ANGLE POINT ON THE SOUTHERLY BOUNDARY LINE OF LOT 7 AS SHOWN ON SAID TRACT MAP 29550;

THENCE CONTINUING NORTHEASTERLY ALONG SAID SOUTHERLY LINE OF LOT 7 NORTH 70°19'30" EAST A DISTANCE OF 174.97" FEET TO THE EASTERLY BOUNDARY LINE OF SAID LOT 7;

THENCE NORTHERLY ALONG SAID EASTERLY LINE OF LOT 7 NORTH 00°02'24" EAST A DISTANCE OF 1007.06 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHWEST QUARTER OF SAID FRACTIONAL SECTION 7;

THENCE EASTERLY ALONG SAID NORTHERLY LINE OF SAID FRACTIONAL SECTION 7, SOUTH 88°45'47" EAST A DISTANCE OF 65.93 FEET, TO THE NORTH QUARTER CORNER OF SAID FRACTIONAL SECTION 6;

THENCE CONTINUING EASTERLY ALONG SAID NORTHERLY LINE OF SAID FRACTIONAL SECTION 7, SOUTH 88°45'47" EAST, A DISTANCE OF 2,645.64 FEET TO THE POINT OF BEGINNING;

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 149.01 ACRES MORE OR LESS.

AS SHOWN ON EXHIBIT "B" ATTACHED HERETO MADE A PART HEREOF.

EXHIBIT

A

LEGAL DESCRIPTION
PARCEL 1

DRAWN BY: BH

DATE: 07-05-11

W.O. # SM-10-027

SHEET 2 OF 3

PARCEL 2

BEING A PORTION NORTHEAST QUARTER OF SECTION 7, AS SHOWN ON TRACT MAP 29550 IN BOOK 299, PAGES 78 THROUGH 99, INCLUSIVE, OF MAPS, RECORDS OF SAID COUNTY OF RIVERSIDE:

BEGINNING AT CENTERLINE INTERSECTION OF DEVONSHIRE AVENUE AND LOS ROBLES DRIVE AS SHOWN ON SAID MAP;

THENCE NORTHERLY ALONG SAID CENTERLINE OF LOS ROBLES DRIVE, NORTH $00^{\circ}03'44''$ EAST, A DISTANCE OF 897.09 FEET TO THE CENTERLINE INTERSECTION OF ROSE ROAD AND LOS ROBLES DRIVE, AS SHOWN ON SAID MAP;

THENCE EASTERLY LEAVING SAID CENTERLINE OF LOS ROBLES DRIVE, ALONG THE BOUNDARY OF SAID TRACT MAP, NORTH $89^{\circ}45'46''$ EAST, A DISTANCE OF 812.52 FEET TO AN ANGLE POINT ALONG THE SAID BOUNDARY;

THENCE CONTINUING ALONG THE BOUNDARY OF SAID TRACT MAP, SOUTH $00^{\circ}04'59''$ WEST, A DISTANCE OF 905.40 FEET TO THE CENTERLINE OF SAID DEVONSHIRE AVENUE SAID POINT ALSO BEING AN ANGLE POINT IN SAID BOUNDARY;

THENCE LEAVING THE BOUNDARY OF SAID TRACT MAP 29550, NORTH $89^{\circ}39'04''$ WEST, A DISTANCE OF 812.19 FEET ALONG THE CENTERLINE OF SAID DEVONSHIRE AVENUE TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 16.81 ACRES MORE OR LESS.

AS SHOWN ON EXHIBIT "B" ATTACHED HERETO MADE A PART HEREOF.



EXHIBIT

A

LEGAL DESCRIPTION
PARCEL 2

DRAWN BY: BH

DATE: 07-05-11

W.O. # SM-10-027

SHEET 3 OF 3

Tres Cerritos Specific Plan 90-009
As amended by
Tres Cerritos East SPA 06-001

In the
City of Hemet, CA



Adopted by City Council on 28 February 2012
Ordinance No. _____

TRES CERRITOS SPECIFIC PLAN 90-009
as amended by
Tres Cerritos East SPA 06-001

City of Hemet

Approval November 12, 1991, Ordinance No. 1431

Amendment No. 1 Approved August 10, 1999 (SPA 90-009), Ordinance No. 1608

Amendment No. 2 (Tres Cerritos West) Adopted January 11, 2005 (SPA 03-2), Ordinance No. 1726

Amendment No. 3 (Tres Cerritos East) Adopted 28 February 2012 (SPA 06-001). Ordinance No.

Contact:

City of Hemet

Planning Department

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Hemet, CA 92543

Ron Running, City Planner

(951) 765-2375

Prepared For:

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(831) 464-5021

in association with:

Signal Hill Family Limited Partnership: Contract Tom Shollin (562) 326-5207

Ms. Joan McClintock: c/o Tom Shollin

Prepared By:

David Leonard Associates

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Riverside, CA 92507

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TRES CERRITOS WEST

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ARCHITECT:

BUCILLA BROOKLYN ARCHITECTURE
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CONSULTANT:

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Corona, CA 91720
(909) 279-9608

GNATCATCHER
STUDY: **L & L ENVIRONMENTAL**
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Corona, CA 91720
(909) 279-9608

VERNAL POOL
RESTORATION PLAN: **RECON**
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SITE ASSESSMENT: **EnGEN CORPORATION**
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Temecula, CA 92590

TRES CERRITOS EAST

CONSULTANTS

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ARCHITECT:**

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SPECIFIC PLAN

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TRES CERRITOS SPECIFIC PLAN No. 90-9
as amended by
Specific Plan Amendment 06-001

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I. INTRODUCTION

A. SUMMARY

The original Tres Cerritos Country Club (TCCC) Specific Plan No. 90-009 encompassed 336 acres with 641 dwelling units, located in northwest Hemet, at the southerly base of three hills identified as the Tres Cerritos Hills. The project was originally conceived as a resort golf community. The site is prominently visible from the west entrance to the Valley, from Florida Ave., for a distance of approximately 4.5 miles east and west of the site, from Cawston Ave. on the east to the Lakeview Mountains at the west entrance to the Valley.

The TCCC Specific Plan was subsequently amended in 1999, under Ordinance No. 1608) and renamed the Hemet Valley Country Club Estates, (HVCCE). That amendment increased the number of residential units from 641 to 710.

Tres Cerritos West

Tres Cerritos West Specific Plan Amendment No. 03-2 was adopted in 2004 that consisted of the westerly 121.3 acres of the original 190 acres of the HVCCE plan after 68.8 acres of hillside open space was dedicated to the City of Hemet. The amendment area featured 177 lots over 53.1 acres, 59.1 acres of nature reserve open space, and 5.6 acres of landscaped areas that include 4.26 acres active park, pedestrian paseos and landscaped entry areas; and 3.5 acres of vernal pool conservation areas. The total number of units within the HVCCE Specific Plan project area remained at 710 dwelling units under that amendment.

The Tres Cerritos West portion of the project features single family detached homes, a 1.1-acre neighborhood park, paseos to provide pedestrian linkages between and within neighborhoods, natural open space including significant acreage within the Tres Cerritos Hills and a 3.5-acre vernal pool conservation area. Public improvements associated with the Specific Plan Amendment area includes adjoining streets, public utilities, and implementation of drainage facilities in a manner consistent with the City of Hemet's adopted West Hemet Master Plan for Drainage

The Tres Cerritos West project is designed to provide a variety of housing opportunities within the City. The project is intended to attract individuals seeking a unique environment with a sense of community identity and recreational opportunities and open space. The plan is to designed a semi self-contained neighborhood complete with a variety of housing types suitable for families, singles, empty nesters and retirees. The remaining area of the HVCCE shall be known as Tres Cerritos East

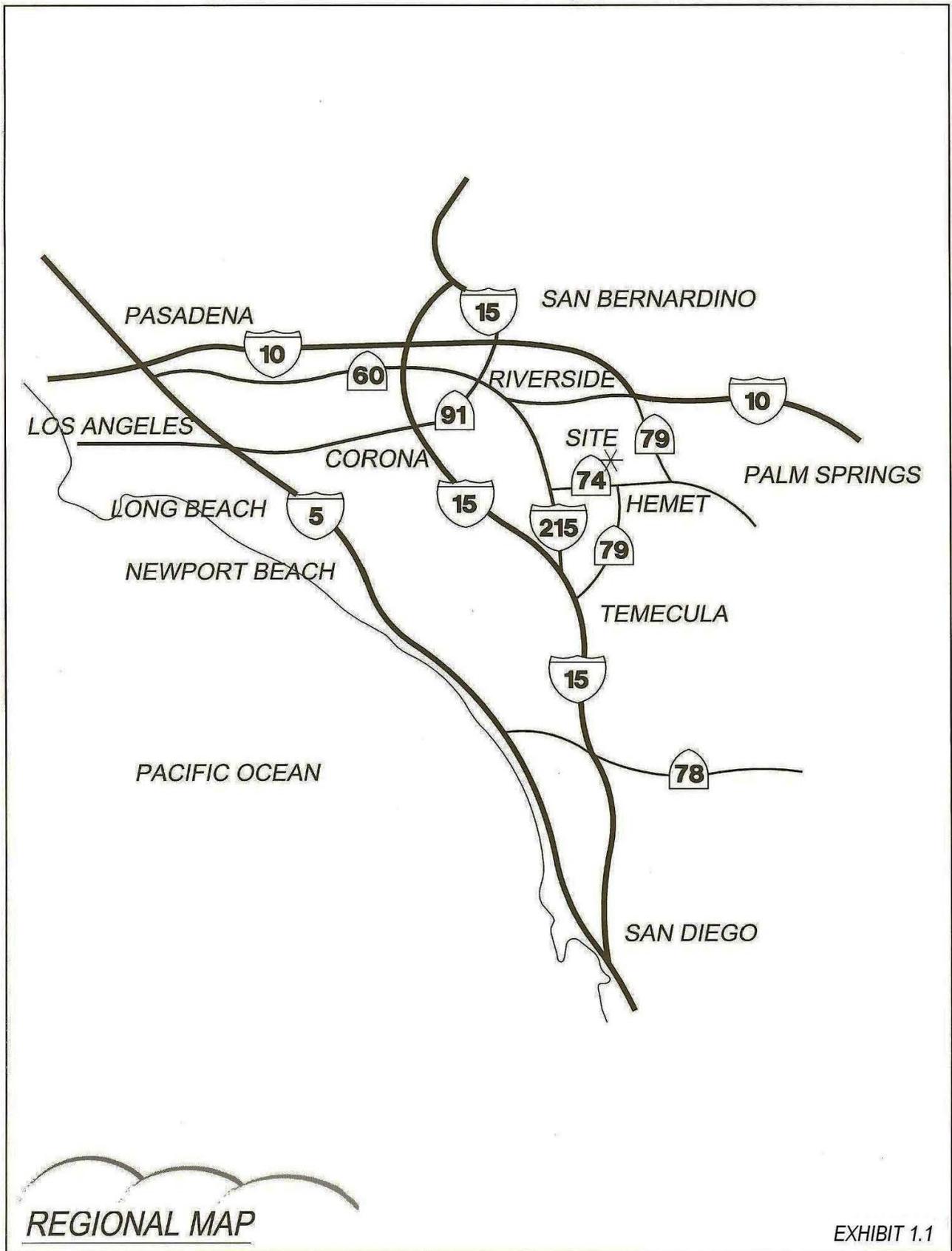
The resort concept has been abandoned in favor of a family-oriented residential community. The original HVCCE uses remained in place over the area now identified as Tres Cerritos East, when the Tres Cerritos West plan was adopted.

Tres Cerritos East

Tres Cerritos East Specific Plan Amendment No. 06-001 completes the amendment process of the adopted Specific Plan No. 90-9 that was begun with the Tres Cerritos West Specific Plan Amendment (03-02).

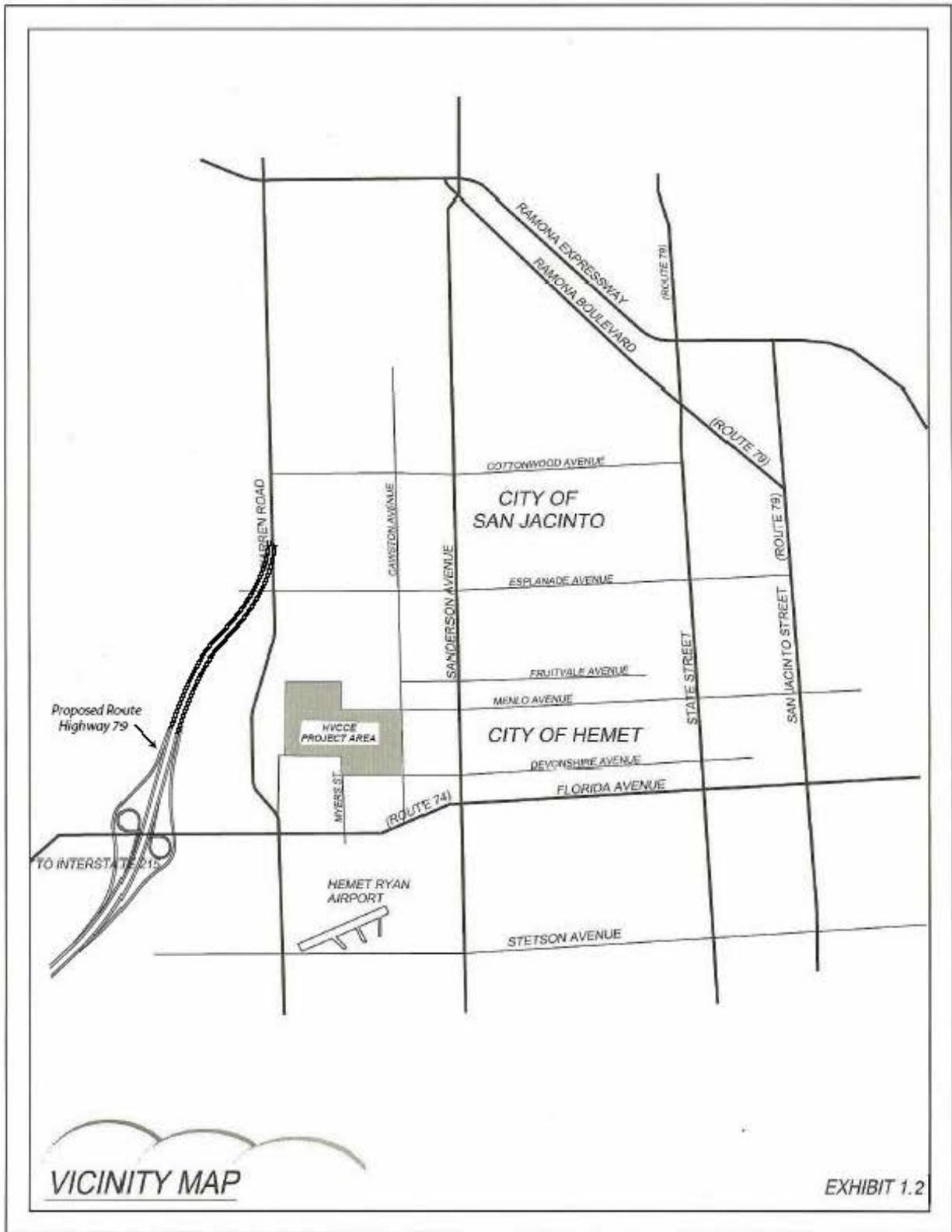
The project area for SPA 06-001 is located in northwest Hemet at the southwesterly base of the Tres Cerritos Hills. The site is bound by Devonshire Avenue along the south, Cawston Avenue along the east, Menlo Avenue along the north, and the Tres Ceritos Hills complex along the west. **Exhibit 1.1** provides a Regional Map perspective of the location. **Exhibit 1.2** provides a Vicinity Map of the site. **Exhibit 1.3** provides a Site Location Map that relates the project to adjoining streets and improvements.

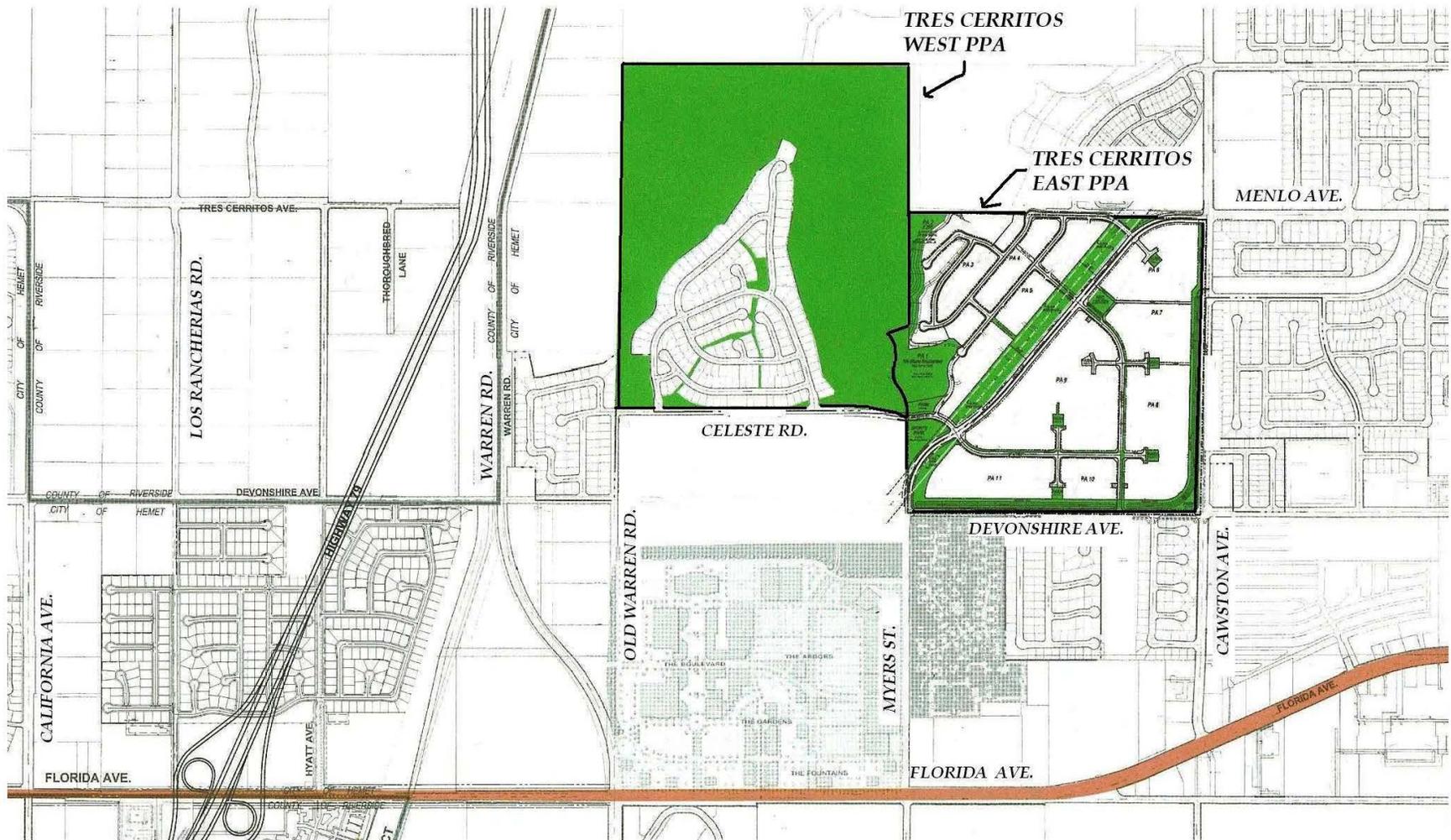
The proposed Tres Cerritos East Amendment includes the remaining original project area, now divided among three ownerships, plus an additional 17.0 gross acres, known as the "Gravage" property, located at the northeast corner of Myers Street and Devonshire Avenue for a total project area of 165.8 acres. A map of the ownerships is provided as **Exhibit 1.4**. The plan further removes 50.89 acres of the original golf course uses from Tres Cerritos East, that are now available for residential uses. The golf course area and the Gravage property add a total of 64.1 acres to residential development area when compared to the previously approved plan. With the inclusion of the 64.1 acres, the plan will allow 622 dwelling units, with up to 710 dwelling units with approval of a Conditional Development Permit (CDP), supported by parks, open space, and drainage facilities.



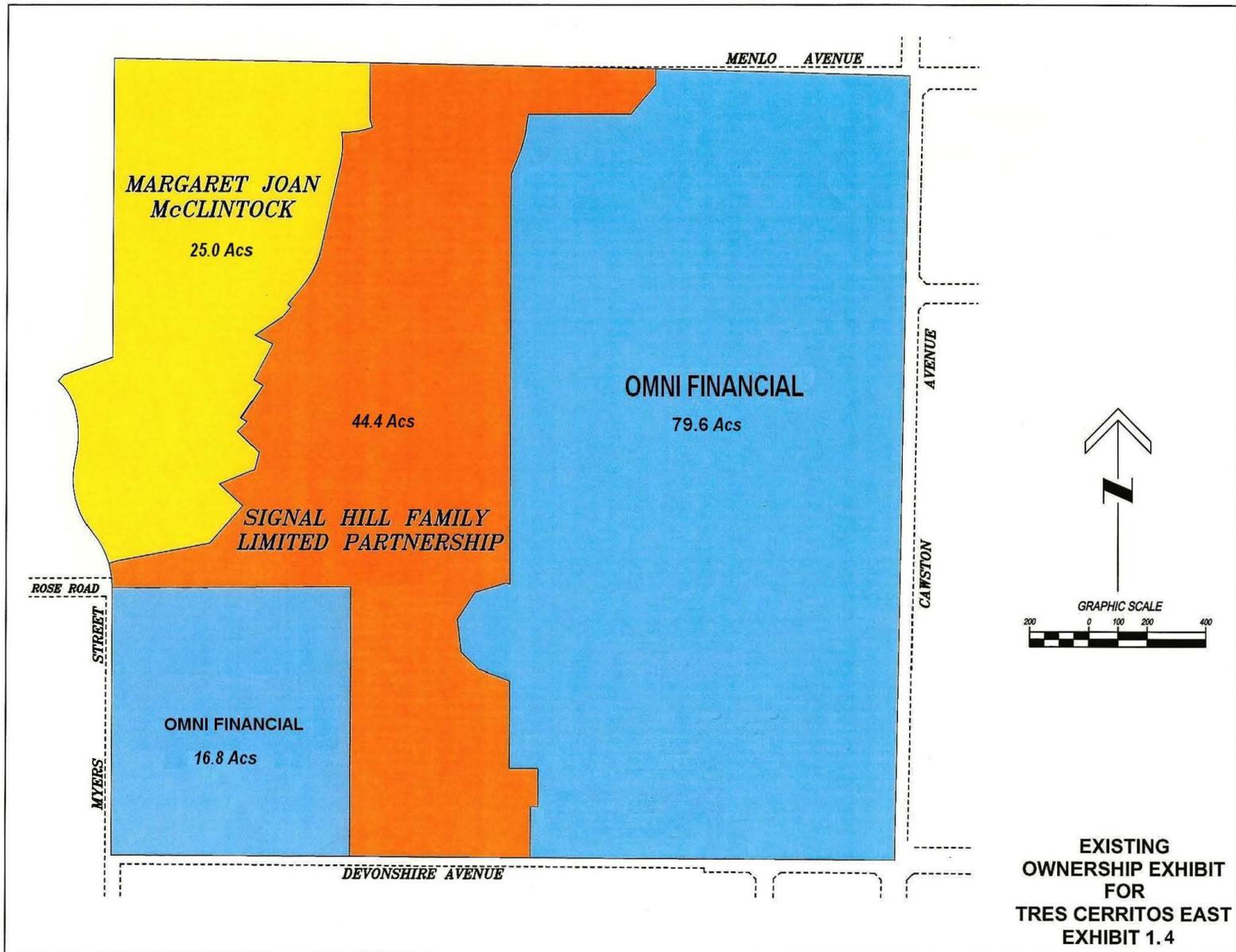
REGIONAL MAP

EXHIBIT 1.1





**SITE LOCATION MAP
EXHIBIT 1.3**



B. PROJECT HISTORY

o Development Plan and Amendments

A development plan for the original 336-acre Specific Plan Project Area was original set forth in the Tres Cerritos County Club Specific Plan (90-9), which was adopted by the City of Hemet in 1991 for 641 units. The project was envisioned as a residential “resort” built around a golf course. On the eastern portion of the site, the golf course was also intended to accept flows from the Seattle Channel, relieving periodic flooding when the Channel’s detention capacity was exceeded, and to retain those flows on site. On the westerly portion of the site, the “back nine” golf course holes also served to retain flows on-site from the surrounding hillside areas with a mix of high density condominium development located on the most easterly of the Tres Cerritos hills and the upland areas of the Tres Cerritos alluvial fan.

The original Specific Plan was subsequently amended in 1999 and retitled the Hemet Valley Country Club Estates, (HVCCE). That amendment modified the project to increase the number of residential units from 641 to 710. Approved residential densities ranged from 4 dwelling units per acre to 18 dwelling units per acre, of which 200 units were in the higher density (17-18 du/acre) range, 285 were in the mid density (7 du/acre) range and 229 were in the lower density (4 du/acre) range.

o Golf Course

Following approval of the Specific Plan Amendment, (SPA 90-09a) the project owners at that time recorded Tract 29550. The City issued grading permits for the eastern portion of the project site. Grading was started in January, 2000. On February 13, 2000, the US Army Corps of Engineers issued a Cease & Desist Order to the property owners and the City of Hemet, asserting jurisdiction over the site. In 2001, the US Fish & Wildlife Service requested initiation of a formal Section 7 consultation for the purpose of identifying and mitigating various project related impacts to jurisdictional waters of the US, downstream critical habitat areas (vernal pools and associated endangered species) and impacts to on-site listed species – most particularly the California gnatcatcher.

The jurisdictional agencies objected to key elements of the original Tres Cerritos/Hemet Valley CCE plan as approved and amended. Specifically, the agencies objected to the development of a golf course which they felt would both inhibit flows needed to support the Hemet Valley Vernal Pool Complex southwesterly of the site and contaminate those flows both by mixing them with untreated urban run off and by adding large amounts of fertilizers and pesticides from the golf course into the mix.

The agencies objections, and subsequently developed mitigation strategies, have rendered development pursuant to the original Specific Plan infeasible and has effectively voided the original land use, drainage, circulation and mitigation/conservation plans contained in the HVCCE Specific Plan as approved in 1999.

- **Environmental Issues**

In 2003, the City of Hemet began the process of revising its Master Plan for Drainage. Of particular concern is the movement of flows from the Seattle Basin at Cawston & Seattle, through the eastern portion of the HVCCE Specific Plan area, to the northwest corner of Devonshire and Myers, in a manner that will assist in providing hydrologic support to these off-site vernal pool complex(es) located southwesterly of Florida Avenue and Warren Road. As of the date of this Amendment, the City has not completed its Master Plan revisions nor has it obtained approval for its plans from the jurisdictional environmental agencies. Completion of those plans will ultimately allow for the final design of drainage facilities within the eastern portion of the HVCCE (Tres Cerritos East) Specific Plan area.

- **Adopted Plan**

In 2005, the City of Hemet adopted the Tres Cerritos West Specific Plan Amendment, (SPA No. 2), and Tentative Tract Map 31513 creating a technically feasible plan for the west portion of the HVCCE project area. The resulting plan effectively converts the project from a master planned resort concept to a master planned family-oriented residential community concept. The following Table 1-1 outlines the adopted land uses encompassing all of the project area. **Exhibit 1.5** illustrates the Adopted Master Plan.

TABLE I-1

**ADOPTED SPECIFIC PLAN
TRES CERRITOS SPECIFIC PLAN 90.9
AS AMENDED BY TRES CERRITOS WEST (SPA 03-2)**

Land Use	Type	Acres	Density	Units	Location under Amended Plans
Open Space	Vernal Pool Reserve	3.5		None	TCW
	Nature reserve				
	In project to be dedicated	59.1		None	TCW
	Park and paseos	4.26		None	TCW
Residential	SFD 6000	21.7	4.1 du/acre	89	TCW
	SFD 8000	31.4	2.8 du/acre	88	TCW
	Common Area	1.34		None	TCW
Subtotal	TCW Total:	121.3			
	Open Space dedicated to City prior to TCW:	68.8		None	City Property
	Adopted Project Total:	190.1		177	
	Villas	2.6	17 du/acre	12	TCE
	Cottages	46.2	7 du/acre	285	TCE
	Bungalows	39.8	4 du/acre	163	TCE
	Estates	16.6	4 du/acre	66	TCE
	Golf Course/Club House/ Other uses	43.7		None	TCE
Subtotal		145.9		533	
TOTALS		336.0		710	
Subsequent Project Area Adjustments proposed by SPA 06-001					
	Acreage added: Gravage Property	16.9			TCE
	Acreage corrected via Land Survey	3.0			TCE
TOTALS		355.9			
Proposed Specific Plan Planning Areas					
	Tres Cerritos West	190.1		177	TCW
	Tres Cerritos East	165.8		710	TCE
	Total:	355.9		887	

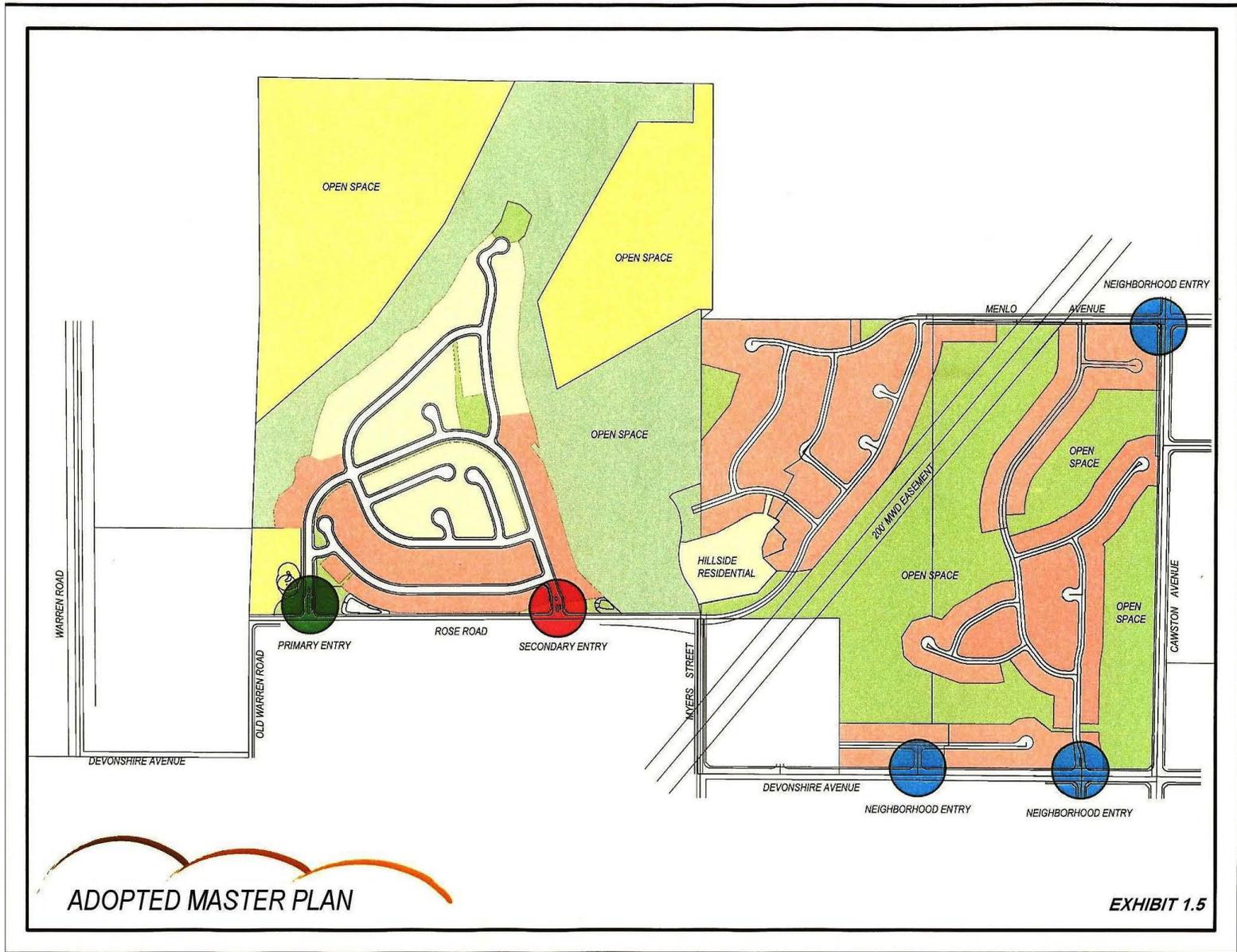
**TABLE I-2
PROPOSED SPECIFIC PLAN
AS AMENDED BY TRES CERRITOS WEST (SPA 03-2)
AND TRES CERRITOS EAST (SPA 06-001)**

Land Use	Type (Minimum Lot Size)	Acres	Density	Units	Max. Units w/ CDP	Location in Amended Plans
Original Project Area		336.0				TCW / TCE
TCW						
Open Space	Vernal Pool Reserve	3.5		None		TCW
	• In project to be dedicated	59.1		None		TCW
	Park and paseos	4.26		None		TCW
Residential	SFD 6000	21.7	4.1 du/ac	89	n/a	TCW
	SFD 8000	31.4	2.8 du/ac	88	n/a	TCW
	Common Area	1.34		None		TCW
Subtotal		121.3		177	177	TCW
Open Space	Dedicated previously to City	68.8				City of Hemet
Subtotal		TCW Total:		190.1	177	177
Original Area in TCE						
Original Area in TCE		145.9				TCE
Acreage added: Gravage Property		16.9				TCE
Acreage corrected via Land Survey		3.0				TCE
Subtotal		165.8				
TCE						
Residential						
PA 1	Hilltop Residential	5.89	5.0 Ac min	1	n/a	TCE
PA 2	SFD 8,000	12.53	3.0 du/ac	26	n/a	TCE
PA 3	SFD 7000	6.37	4.0 du/ac	25	n/a	TCE
PA 4	SFD 6000	8.54	5.0 du/ac	42	n/a	TCE
PA 5	SFD 6000-Rear Loaded Option	14.55	5.0 du/ac	72	n/a	TCE
PA 6	*SFD: 5000-Rear Loaded Option	12.04	5.0 du/ac	60	78	TCE
PA 7	*SFD: 5000	8.65	5.0 du/ac	43	53	TCE
PA 8	*SFD: 4000	16.61	5.0 du/ac	83	105	TCE
PA 9	*SFD: 4000-Rear Loaded Option	28.08	5.0 du/ac	141	173	TCE
PA 10	*SFD: 4000	5.07	5.0 du/ac	25	31	TCE
PA 11	**Townhomes	10.44	10.0 du/ac	104	104	TCE
Open Space						
	Public Parks	2.5		None		TCE
	Private Parks/Paseos/Rec Ctr	6.6		None		TCE
	Linear Park	7.9		None		
	Hillside Open Space	3.5		None		TCE
Infrastructure						
	Circulation	7.4		None		TCE
	Drainage Channel/Trail/OS	9.2		None		TCE
Subtotal		TCE Total:		165.8	622	710
TOTALS		355.9		799	887	

*Alternate product types and density allowed in the Planning Area subject to the Approval of a Conditional Development Permit as described in Section V.D.

**Townhomes require a Conditional Development Permit.

n/a = Not Applicable. Product type and density limited to that presented.



C. PURPOSE AND INTENT OF SPECIFIC PLAN AMENDMENT (06-001)

The **purpose** of Specific Plan Amendment 06-001 is to establish a comprehensive plan that addresses conditions that have changed since the approval of the HVCCE. The plan will highlight important design issues, allow for adjustments in land use, drainage and circulation to conform to new and evolving requirements of the City of Hemet, changing market conditions and demographics, and federal and state environmental agencies and including provide the information necessary to present a clear understanding of the project, including:

- A written and graphic outline of the project
- Identification of the site's significant natural features, including open space, topography, water courses, wildlife habitat, native biota.
- Provision of development standards and guidelines for architecture, landscape, fencing and walls, recreational features and site design that will provide comfortable living environments and attractive, well functioning neighborhoods while respecting and preserving significant physical features and critical habitat.
- Development of a land use plan that takes into account the demands of home buyers within Hemet marketplace, changes in the overall regulatory environment and evolving local and regional requirements for drainage, and circulation while addressing both on-site and off-site habitat preservation and enhancement.

The **intent** of Specific Plan Amendment 06-001 is to detail project development standards and guidelines as they apply to current and future projects within the Tres Cerritos Specific Plan area to insure realization of the plan's purpose. Specifically, this Amendment will revise the Tres Cerritos Specific Plan to:

- Implement the Tres Cerritos Specific Plan under two *Primary Planning Areas (PPA)*; Tres Cerritos West and Tres Cerritos East. Develop a detailed project site plan and use mix for the Tres Cerritos East PPA that will compliment the site's natural features and terrain as well as the surrounding development.
- Establish development standards for residential, and recreational areas including both architectural and landscape components.
- Establish performance standards and controls, pursuant to Section V of this document, as well as the administrative mechanism to insure orderly and logical development

- Identify specific project and public improvements and their phased sequential implementation including:
 - ✓ Flood control improvements
 - ✓ Street improvements
 - ✓ Recreational opportunities
 - ✓ Traffic circulation network and controls
 - ✓ Utility infrastructure
 - ✓ A flexible development plan that will enable the project to respond to changes in the market's/area's housing demands.

D. PROJECT ISSUES

Community Wide Project Issues:

✓ *Flood Control*

The City of Hemet and the Riverside County Flood Control District have developed a regional system of retention basins and minor flood control channels to convey runoff to the Salt Creek Flood Control Channel and ultimately to the San Jacinto River. The 1984 Hemet Master Flood Control and Drainage Plan is the latest adopted plan. This project, due to its location, will play a key role in the implementation of key elements of the flood control facilities for this portion of Hemet.

The project has been designed to provide on-site master planned flood control facilities. Design of the facilities will be made part of the requirements of the Hemet Master Flood Control and Drainage Plan as it is revised, with the concurrence of the jurisdictional agencies. The phasing of design and construction of the required facilities will be set forth under the provisions of the Tentative Tract Map conditions of approval and a potential Development Agreement between the applicant and the City of Hemet.

Local Project Issues

✓ *Traffic Circulation / Tres Cerritos West*

The on-site internal streets within Tres Cerritos West PPA shall be constructed to City standards, and the following offsite road improvements: (Note: All off-site half-width streets shall consist of half the street width, as measured to the centerline, plus twelve (12) additional feet).

- All development in the Tres Cerritos West project area will contribute toward the ultimate, construction of Devonshire, between Myers Street and Warren Road.
- Improvement of Myers Street between Celeste Road and Florida Avenue for two lanes of travel.
- Celeste Road will be improved as a half width 66' Collector street between Myers and North (Old) Warren Rd. pursuant to the conditions of implementing subdivisions.
- Installation of Traffic Signals and/or payment of the project's fair share of signalization costs as determined by the City of Hemet for the following intersections:

Warren Road at Esplanade Avenue
Warren Road at Devonshire Avenue

✓ ***Traffic Circulation / Tres Cerritos East***

Road improvements for the Tres Cerritos East PPA include the following improvements: (Note: All off-site half-width streets shall consist of half the street width, as measured to the centerline, plus twelve (12) additional feet on the opposite side of the centerline).

- The west side of Cawston Avenue between Menlo Avenue and Devonshire Avenue to secondary highway standards .
- Myers will be re-aligned and renamed Menlo Avenue north of Devonshire Avenue.
- The north side of Devonshire Avenue between Cawston and Menlo Avenue to secondary highway standards.
- Menlo Avenue will be extended southwesterly through the project site from Cawston Avenue to Devonshire Avenue as a Modified Collector Street and will be improved to full-width street improvements on a phased basis.
- Menlo Avenue from Cawston Avenue westerly, in a modified alignment along the northerly project boundary of Tres Cerritos East, to provide access for the Peppertree Specific plan to the north.
- Installation of Traffic Signals or payment of the project's fair share of signalization costs as determined by the City of Hemet for the following intersections:

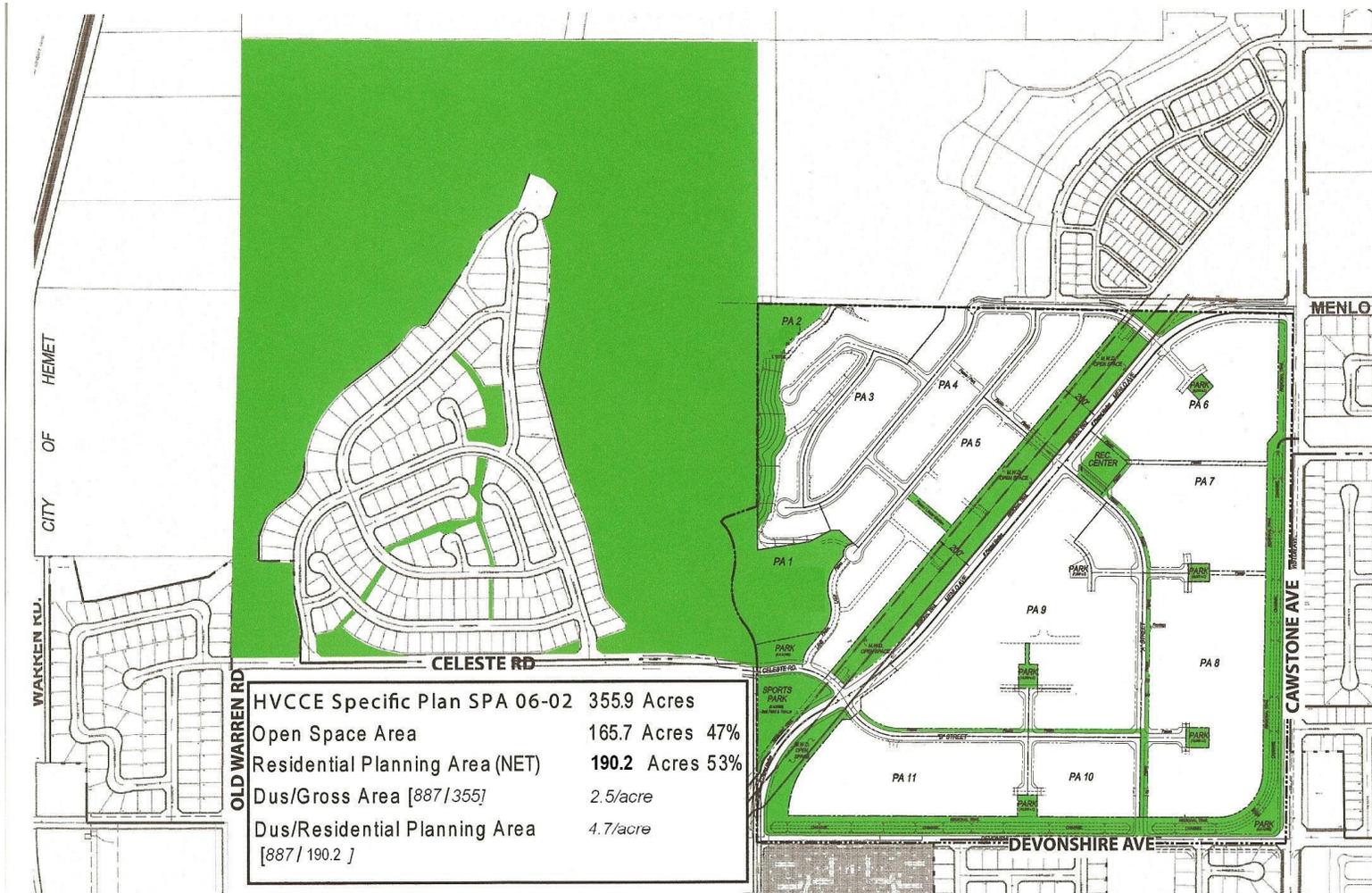
Sanderson Avenue at Eaton Avenue
Cawston Avenue at Menlo Avenue
Kirby Street at Devonshire Avenue
Kirby Street at Esplanade Avenue
California Avenue at Florida Avenue
Warren Road at Whittier Avenue

✓ **Land Use**

The Tres Cerritos Specific Plan now consists of two (2) *Primary Planning Areas* (“PPA”): Tres Cerritos East and Tres Cerritos West. The Tres Cerritos East Primary Planning Area will be implemented in separate phases to provide different product types, public improvements, and amenities as required by the Municipal Ordinance and as may be dictated by market demand.

A minimum of three (3) acres of land within the Tres Cerritos West Primary Planning Area has been set aside as a vernal pool reserve area for the preservation, restoration and enhancement of vernal pool habitat.

The golf course previously proposed for development within the HVCCE Specific Plan will be eliminated from the TCE Primary Planning Area, under this amendment, pursuant to the requirements of federal & state environmental agencies. All of the planned golf course was also removed as part of the Tres Cerritos West Specific Plan Amendment. Despite the absence of the golf course, a significant amount of open space, about 50% of the original Tres Cerritos Specific Plan project area, will remain as shown in the Open Space Profile, **(Exhibit 1.6)**.



Open Space Profile
Exhibit 1.6

✓ Primary Planning Areas

Tres Cerritos West

Tres Cerritos West (“TCW”) consists of 121.3 acres, of the original 190 acres, bounded on the south by Rose (now Celeste) Road; on the north by the EMWD water storage tanks and by open space owned by the City of Hemet; on the east by the Tres Cerritos Hills; and on the west by VTTM 31146 (JP Ranch/Montero) residential development. **Exhibit 1.7** locates the Tres Cerritos West PPA in relation to the Tres Cerritos East PPA.

The project area is comprised of a flat to gently sloping alluvial fan which radiates out from a narrow canyon formed between two of the Tres Cerritos Hills. The site’s lowest elevation is located adjacent to Celeste Road at Myers Road. Steep, rocky slopes rise sharply on the PPA’s easterly and westerly edges.

Tres Cerritos West fronts on Celeste Road. Access is via North (Old) Warren Road and via Myers from Devonshire. A cluster of small vernal pools is located in the southwesterly portion of the alluvial fan and receives significant hydrological support from the adjacent hillside. EMWD has an easement through the property containing water lines leading to and from its storage tanks and also containing a paved maintenance road and associated drainage improvements, including bench drains and small culverts. These drainage improvements direct flows from the hillsides and canyon mouth into short, highly eroded intermitent drainages within the upper and central portions of the site.

The Tres Cerritos West project is geographically isolated from the larger Tres Cerritos East PPA by the Tres Cerritos hills which extend out to Celeste Road at the PPA’s eastern boundary. The topography creates a separate watershed within the PPA with flows moving in a south/southwesterly direction.

The Tres Cerritos West PPA was adopted with a mix of single family residential units consisting of 6000 and 8000 square foot lots, paseos, private parks and open space areas, including a 3+ acre vernal pool reserve.

Tres Cerritos East

The *Tres Cerritos East* (“TCE”) Primary Planning Area consists of 165.8 acres bounded on the south by Devonshire Avenue, on the north by Menlo Avenue, on the east by Cawston Avenue and on the west by Myers Street and the ridge separating Tres Cerritos West and Tres Cerritos East. The Tres Cerritos East Specific Plan area has a

varied topography consisting of a hilly area in the northwest that graduates into flatter land in the remainder of the site.

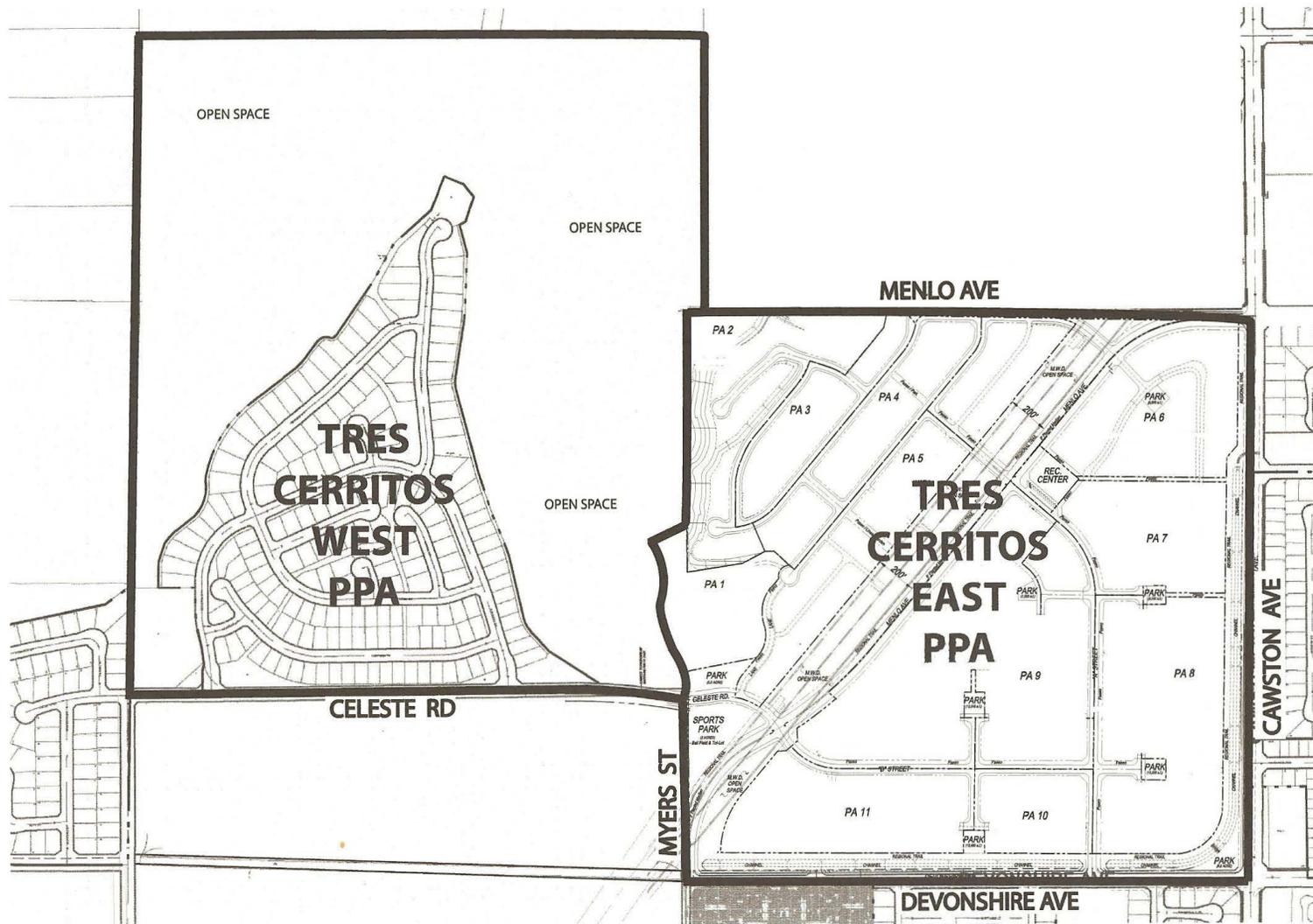
The land had been farmed up to the time that the property was rough graded for streets and golf course. However, the area was heavily graded prior in 1999/2000. An unimproved road, (existing Rose Road), extends east from the terminus of Celeste Rd. and then northeasterly through the TCE PPA to Menlo Avenue. Westerly of Menlo, the site's topography changes dramatically. A small alluvial fan extends easterly from the Tres Cerritos Hills and is surrounded by steep, rocky slopes.

A City-constructed storm water channel, known as Seattle Channel, flows from the east to the PPA's easterly boundary, at Cawston Avenue at Seattle, Street, south of Menlo Avenue. The channel stops abruptly at the PPA's boundary, turning the channel into a large retention basin. A City-operated pump empties the "basin", which discharges into a drainage ditch located along the southerly side of Menlo Avenue, and easterly side of Rose Road, to the intersection of Rose Road and Myers Street. A second tributary enters the PPA at Devonshire & Cawston and flows west along the north side of Devonshire. Flows converge at Devonshire/Myers and continue south beyond the boundaries of the project area within drainage ditches located on the east and west sides of Myers to Florida.

The Southern California Metropolitan Water District has a 200 foot wide easement that runs diagonally from Devonshire Avenue and Myers through the TCE site to the intersection of Menlo and Cawston Avenues. The easement contains two large underground water transmission pipes and several maintenance access structures. Uses within the easement are limited to open space, public right-of-way and road crossings approved by MWD, other paved areas, and limited recreation.

Development within the Tres Cerritos East Specific Plan is constrained by both the MWD easement and the need to safely transfer drainage flows through the site from both the Seattle Channel and drainage east of the project site along the north side of Devonshire Avenue. Development of the PPA will provide a critical component of the City of Hemet's overall flood control solution for West Hemet. In addition, flows from and through the site will help to supply supporting hydrology to the Hemet Valley Vernal Pool Complex as envisioned by the County of Riverside Multi Species Habitat Conservation Plan, adopted by the City of Hemet in early 2004.

A mix of single family housing, multiple-family housing, and open space, as proposed herein will accommodate interim and ultimate flood control improvements for the Tres Cerritos East PPA.



**PRIMARY PLANNING AREAS - PPA
EXHIBIT 1.7**

✓ **Development Context**

The Tres Cerritos project area is at an interface between open space and existing subdivisions of single family homes. Recent trends have produced an eclectic mix of uses that include the senior citizen-oriented Peppertree Specific Plan development for seniors along the north of Menlo Avenue, west of Cawson; Cawston Elementary School at the northeast corner of the same intersection, Tract 31146 featuring single family homes located between Warren Road and Old Warren Rd., and the proposed Garrett Ranch, located southwesterly of the intersection of Celeste Road and Myers. Garrett Ranch is under review by the City. It is primarily a commercial development, but also includes high density residential uses, a park, and an elementary school facility. There are several key issues that must be addressed as part of the development review process. These include conservation of an isolated hill complex known as *Tres Cerritos*, storm water management for habitat and public safety purposes, existing circulation improvements, and land use. The Tres Cerritos West (SPA 03-2) and Tres Cerritos East (SPA 06-001) Specific Plan Amendments are intended to address and analyze these issues in conjunction with the revisions to the development plan of this PPA.

Tres Cerritos East Specific Plan Amendment 06-001 is a final step in addressing the fully revised HVCCE Specific Plan project area to conform to new market demographics, for future project builders. This amendment enables all interested and effected parties to consider land uses, infrastructure, and public services that are necessary to support future development within the adopted specific plan project area.

✓ **Area Development**

Development approvals on lands surrounding the specific plan have emerged since 1999 when Tres Cerritos Specific Plan Amendment (SPA 90-009) was approved. Peppertree Specific Plan No. 01-3 has been approved, and construction has commenced on that 81.7 acres of adjoining land lying north of Menlo Avenue. Peppertree is a community featuring 456 units having an average density of 5.5 units per gross acre and 9.3 per net acre. Tract 31146, (J.P. Ranch), has been constructed on land to the south west of the Tres Cerritos West PPA portion of the specific plan project area, extending to Warren Road. These projects are shown in **Exhibit 1.8**. Garrett Ranch is planned for lands south of the Tres Cerritos West portion of the specific plan area, west of Myers Street.



**Area Development
EXHIBIT 1.8**

✓ Drainage and Flood Control – Special Issues

Tres Cerritos West

Surface runoff through the project originates in the Tres Cerritos hills. A water quality basin is proposed to collect tributary flows as they enter the subdivision in the upper reach of the project. Storm drains are designed to collect flows from the detention basin, and to capture additional runoff within the streets of the subdivision, and convey them into landscaped basins at the project entrances along Celeste Road. These are flow-through basins designed to detain the incremental increase in flows so as to preserve the existing rate and quantity of runoff. See Section IV E for a broader discussion of drainage issues. A special feature of the Tres Cerritos West drainage plan is the provision of a segregated Ephemeral flow drainage system intended to collect and transport clear flows from the western hillside to the proposed 3.5 acre vernal reserve area. The system will provide the hydrological support that will sustain the areas vernal pools.

Tres Cerritos East

The Tres Cerritos East project is designed to implement a flood control system by collecting drainage from Cawston Avenue draining from the north, the Seattle Channel draining from the east, and Devonshire Avenue draining from the east. As shown in **Exhibit 4.8**, these flows will be conveyed to a detention basin planned either at the northeast corner of Devonshire Avenue and Myers Street or at an earlier-constructed retention basin constructed south of the PPA. This onsite detention basin will serve as an interim facility until downstream improvements are constructed south of the PPA. The on-site facilities and drainage channel are designed to eliminate upstream flooding at the intersection of Cawston Avenue and Seattle, which occurs when storm flows exceed the storm capacity of the Seattle Channel. The capacity had been diminished by the overgrowth of vegetation within the basin before this overgrowth was removed. In addition the facilities are expected to reduce the impact of flooding on downstream property through the implementation of the City's master planned flood control facilities. The project is designed to comply with the requirements of the City of Hemet. The completion of the required flood control to reduce the impact of flooding on downstream property through the implementation of the City's master planned flood control improvements including, but not limited to the flood control detention basin and other on-site facilities, shall be installed concurrent with the development of the Tres Cerritos East PPA, as shown conceptually in **Exhibit 4.9**, and in accordance with the Tentative Tract Map conditions of approval and the proposed Development Agreement.

II. ENVIRONMENT

A. Geopolitical

Jurisdiction: City of Hemet
Riverside County, California

Tres Cerritos West 121.3 of the original 190 acres of the HVCCE plan in Northwest Hemet

Location: North of Devonshire and Celeste Roads, and bordered on the East by Cawston Avenue, on the west by North (Old) Warren Road, on the north by Menlo and the Tres Cerritos Hills.

Tres Cerritos East 165.8 acres in Northwest Hemet

Location: North of Devonshire Avenue, and bordered on the East by Cawston Avenue, on the west by Myers Road and the Tres Cerritos Hills, and on the north by Menlo Avenue.

Assessors Parcel Numbers

(Tres Cerritos West) 441-740-001, 441-740-002, 441-740-003, 441-740-004, 441-740-013, 441-750-001, 441-750-002, 441-750-003, and 441-750-004.

(Tres Cerritos East) 441-740-001-005, 441-740-012-013, 441-750-001-004, 441-760-018, 441-770-001-018-021

B. Relationship to the General Plan

The Hemet General Plan Land Use Map shows the site as a Specific Plan Area. The Specific Plan for the subject properties, (known as HVCCE), was approved on November 11, 1991. On January 11, 2005 the City of Hemet approved the second Specific Plan Amendment amending the Hemet Valley Country Club Estates Specific Plan by incorporating the Tres Cerritos West PPA, as shown in **Exhibit 1..7**. The General Plan specifically allows the full range of uses provided for within the HVCCE project area and this amendment. A Specific Plan is intended to allow for greater flexibility in developing innovative projects.

In accordance with the General Plan, the intent of this Specific Plan is to:

- ✓ Eliminate incremental development through consolidation of small parcels into an overall, cohesive project design;
- ✓ Provide a drainage solution to correct existing problems associated with the Seattle Channel overflow;
- ✓ Provide drainage propagation to support the downstream vernal pool complex;

- ✓ Reduce the cost of capital facilities and public infrastructure improvements by eliminating uncertainties as to future utility, transportation and school capabilities;
- ✓ Protect sensitive environmental resources;
- ✓ Provide flexibility in standards and design to meet the needs of a variety of socio-economic groups;
- ✓ Facilitate community traffic and pedestrian circulation; and
- ✓ Implement General Plan goals, concepts and strategies for an identified area of the community.

Residential I (R-1)

General Plan Concept: The Residential I land use category makes up the majority of the urban residential portion of the Hemet General Plan study areas. The areas are typified by traditional subdivisions. **Maximum Land Use Intensity: 7 du/acⁱ**

Residential II (R-II)

General Plan Concept: This designation is typified by single family detached homes on small lots having an area less than 7200 square feet. Since the General Plan Land Use Map designates density rather than specific housing types, a mixture of single family and apartment units could also be permitted within a proposed development if Residential II density limits for the project as a whole were not exceeded and a determination by the City that the proposed dwelling unit mix will be compatible with surrounding lands. **Land Use Intensity: 7 to 17du/acⁱⁱ**

Open Space (OS)

The primary purpose of lands designated Open Space is the provision of recreational facilities, preservation of environmental resources, managed protection of resources and protection of public health and safety. Only uses consistent with these purposes may be considered appropriate, subject to the applicable General Plan Guidelines and City ordinancesⁱⁱⁱ

C. Topography/Geology (Project-Wide)

(Excerpts from Geotechnical Investigation Hemet Valley Country Club Estates, Inland Foundation Engineering, 1998)

The site is composed of three (3) distinct topographic areas described below:

- ✓ A flat plain located in the Southeast corner of the project area
 - Area: 112 acres
 - Elevation 1504 feet – 1512 feet above sea level
 - Uses recreational, flood retention basin control facilities, residential development
 - Soils Quaternary alluvium with a 1% western tending slope

- ✓ Gently rising terrain to the north and west of the plain at the base of the Tres Cerritos Hills and the central area north of Rose Road
 - Area: 156.8 acres
 - Elevation 1514 feet – 1560 feet above sea level
 - Uses large lot residential development
open space/vernal reserve
 - Soils: Cretaceous granitic rock (decomposed granite),
Intermixed with alluvial fans in the canyon areas.

- ✓ The steep, rocky Tres Cerritos Hills
 - Area: 82.2 acres
 - Elevation 1560 feet – 2030 feet above sea level
 - Uses: Open Space preserve
 - Soils: Predominantly Juassic Metasedimentary rock

The site is approximately 2 miles southwest of the northwest-southeast tending San Jacinto fault zone, 18 miles southwest of the northwest-southeast tending San Andreas fault zone, and 17 miles northeast of the northwest-southeast tending Elsinore fault zone.

Tres Cerritos West

The following recommendations are contained in the most recent geotechnical reports prepared for the project area (Geotechnical/Geological Engineering Study, by ENGEN Corporation dated November 24, 2004).

Earthwork Unconsolidated near-surface soils are present within the alluvial deposit at the site. The upper ten feet of soil cover shall be removed and recompacted to create a uniform soil foundation for future development.

Slope stability Cut slopes up to 50 feet are proposed within the granitic bedrock along the perimeter of the site. A slope stability analysis was performed that determined that slopes are stable up to a height of 60 feet.

Excavation characteristics Seismic refraction surveys determined that the underlain granitic bedrock is rippable in the upper 3 to 6 feet, transcending to difficult from a depth of 6 to 13 feet from surface elevation.

Faulting The site is not located within an Alquist-Priolo Earthquake Fault Zone. No active faults traverse the property. The site lies within an active region of faulting and seismic activity. A potential earthquake having a magnitude of 6.9 is considered a maximum credible seismic event.

Liquefaction Liquefaction occurs where pressure increases below the water table during a seismic event and propagates water upward to the surface. This can cause the ground surface and structures to collapse. Liquefaction does not usually occur where groundwater lies at depths of 40-50 feet or greater. Groundwater has been set at a maximum groundwater level of 35 feet below the surface and seismically induced settlement is calculated at 3.9 inches. This condition can be mitigated by use of shallow foundation systems and concrete pads, removal and recompaction of soils, and control over moisture content as recommended in the geotechnical study by EnGen.

Rock fall hazards Rock fall hazards exist at the site due to the presence of granitic bedrock outcrops along the perimeter of the development. It is recommended that a geologist be present during grading operations to assess conditions where rocks should be removed in higher elevations.

The study concluded that the proposed development is feasible with implementation of the recommendations contained therein.

Tres Cerritos East

The geologic mitigation measures outlined below have been identified to alleviate impacts to geologic resources and soils of Tres Cerritos East. (Excerpt of Preliminary Geotechnical Investigation, Tres Cerritos East, Leighton & Associates, 2006)

GM-1: Prior to grading:

- Proposed structural improvement areas of the site should be cleared of surface and subsurface obstructions and organic material.
- Septic tanks and cesspools should be removed or abandoned in accordance with local regulations.

- Voids created by removal of buried material should be backfilled with properly compacted soil in general accordance with the recommendations in Appendix F of the Draft EIR.
- Near surface soils onsite composed of undocumented fill, topsoil, and loose alluvium should be removed down to competent material as determined by the geotechnical engineer and replaced with properly compacted fill for uniform support under structural improvements and additional fill soils.
- Acceptability of all removal bottoms should be reviewed by an engineering geologist with field or laboratory testing under the supervision of a geotechnical engineer.
- General remedial removal depths are expected to be 5 to 8 feet below the existing grade as recommended by the geotechnical report for the project.
- When used as compacted fill, high to very high expansive soils should be avoided in the upper 5 feet immediately under structural improvement areas.
- Removal limit should be established by a 1:1 projection from the edge of fill soils supporting settlement-sensitive structures downward and outward to competent material identified by the geotechnical consultant, and include a perimeter area at least five feet beyond the outermost foundation elements for a given structure.
- After completion of the recommended removal and prior to placement of additional fill, the approved surface should be scarified a minimum of 8 inches, moisture conditioned, and compacted to a minimum 90 percent of the maximum dry density in accordance with ASTM D1557.

GM-2: Overexcavation of the cut portion of transition lots to mitigate the impact of underlying cut/fill transition conditions. Over excavation should extend to a minimum depth of 3 feet below the bottom of the proposed footings or one-half of the maximum fill thickness on the lot, whichever is deeper.

GM-3: Overexcavation of the cut lots and streets. Cut lots should be overexcavated to a depth of 3 feet below the bottom of the proposed footings and then capped with compact fill. Bottom of the overexcavation should be sloped at a minimum 2 percent or as needed toward the street to prevent the accumulation of subsurface water.

GM-4: Areas to receive structural fill and/or other surface improvements should be scarified to a minimum depth of 8 inches, moisture conditioned to optimum moisture content, and recompacted to minimum 90 percent of the maximum dry density in accordance with ASTM Test Method D1557.

GM-5: Import soils and/or the borrow site should be evaluated by the geotechnical consultant prior to importation, and should be granular in nature; free of organic material; have very low expansion potential; have a minimum R-value of 20; and have low corrosion impact to the proposed improvements.

GM-6: The onsite soils may generally be suitable as trench backfill provided they are screened for rocks over 6 inches in diameter and organic materials; and should

be compacted in uniform lifts by mechanical means to at least 90 percent relative compaction (ASTM Test Method D1557). In addition, excavation of utility trenches should be performed in accordance with the project plans, specifications, and all applicable OSHA requirements.

- GM-7:** Site grading should include, if possible, a balance area or ability to adjust import quantities to accommodate some variation in earthwork shrinkage and bulking estimates. Values are provided as guidelines in Appendix F of the Draft EIR.
- GM-8:** Proposed single-family residential structures should be founded on post-tension foundation systems due to the existence of medium and very high expansive soils in the near surface. Specific parameters for foundation footings, under-slab moisture retarded, soil moisture levels, and slab subgrade soils are presented in Appendix F of the Draft EIR.
- GM-9** The project civil, structural engineer, and architect should consider the potential combined effects of both static and dynamic settlement as presented in Appendix F. The magnitude of the [static] consolidated settlement would be dependent on the thickness of the fill placed above existing ground surface, thickness of clay layers underlying the fill area, and the time of construction of structures from the placement of the fills. Total dynamic (saturated and dry sand) are estimated to be on the order of 2 to 3 inches with differential settlements of 1.5 inch in 40 feet horizontal distance or between similar structural elements of the buildings, whichever is a greater distortion.
- GM-10:** Minimum horizontal setback distance from the face of slopes for all structural footings should not be less than 7 feet and need not be greater than 15 feet. This distance should be measures from the outside bottom edge of the footing horizontally to the slope face (or to the face of a retaining wall) and should be a minimum of $H/2$, where H is the slope height. Additional guidance is presented in Appendix F of the Draft EIR.
- GM-11:** All slopes should be constructed in accordance with the most current version of the UBC guidelines and the City of Hemet requirements. If there is discrepancy between the recommendations in the UBC and City of Hemet requirements or those presented in Appenix F of the Draft EIR, the more stringent recommendations should be used.
- GM-12:** For preliminary design purposes, the lateral earth pressure values for level or sloping backfill are recommended for walls backfilled with onsite and/or imported soils of very low to low expansion potential presented in Table 2 in Appendix F of the Draft EIR.
- GM-13:** Surface drainage should be controlled at all times. Positive surface drainage should be provided to direct surface water away from the structures toward the street or suitable drainage facilities. Positive drainage may be accomplished

by providing a minimum 2 percent gradient away from the structures for a distance of at least 5 feet. Below grade planters should not be situated adjacent to structures or pavements unless provisions for drainage such as catch basins and drains are made. In general, ponding of water should be avoided adjacent to the structures or pavements. Over-watering of the site should be avoided. Protective measures to mitigate excessive site erosion during construction should also be implemented in accordance with the City of Hemet grading ordinances.

GM-14: Additional corrosion testing should be performed on representative finish grade soils at the completion of rough grading under the direction of a corrosion consultant (corrosion engineer). Concrete foundations in contact with site soils should be designed in accordance with Table 19A-A-4 of the UBC.

GM-15: Preliminary pavement design should be based on Caltrans Highway Design Manual. For planning and estimating purposes, a range of Traffic Indices (TIs) has been provided for preliminary pavement recommendations; and final pavement sections should be selected by the project civil engineer or traffic engineer consultant with the appropriate TI data.

GM-16: Concrete structures in contact with site soils should be designed in accordance with Table 19A-A-4 of the UBC.

LEVEL OF SIGNIFICANCE AFTER MITIGATION

If the mitigation measures outlined above are incorporated into the design and residential development of the project site, the proposed development is feasible from a geotechnical standpoint and impacts would not be significant.

D. Hydrology

Tres Cerritos West

The US Department of Housing and Urban Development Flood Insurance Rate Maps for the City of Hemet, Riverside County indicate that the southeast portion of the site is in Zone B, 500 year flood boundary. Run-off from developed areas of the City east of the site impact the project area and mountains to the north contribute additional flows. The Hydrology Manual published by the Riverside County Flood Control and Waste Water Conservation District was used to compute storm run-off quantities and flow rates. Flood Control improvements implemented during the development of this project will address existing problems and mitigate impacts created by this project. Flood control improvements shall conform to the requirements of the City of Hemet and its master plan for storm drain improvements in the West Hemet area.

Tres Cerritos East

The Tres Cerritos East site is primarily flat, undeveloped land in the center of the Hemet Valley, the majority of which is also topographically similar. The adjacent Tres Cerritos peaks form a distinctive backdrop to the Proposed Project site, and, in fact, a small amount of the western portion of the property includes the lower elevations of the adjacent hillside.

MITIGATION MEASURES

- HYD-1** Prior to the issuance of a grading permit, the Applicant shall prepare and submit a Storm Water Pollution Prevention Plan (SWPPP) to the City of Hemet. The SWPPP shall include a requirement to include hydrocarbon filters along the perimeter of the retention basin. The SWPPP must be prepared by a licensed engineer, hydrologist, or erosion control specialist and shall be reviewed by the City of Hemet prior to issuance of a Grading Permit. The SWPPP shall be available on-site at all times for review by the City of Hemet and RWQCB inspectors.
- HYD-2** The Applicant shall be responsible for coordinating all SWPPPs for various projects and facilities to make sure the overall Proposed Project meets the requirements specified in the Federal CWA and the State Porter-Cologne Water Quality Control Act (Division 7 of the California Water Code).
- HYD-3** Drainage conveying system and locations shall be constructed in accordance with the recommendations provided the City Engineer.

In addition to these measures, the City Municipal Code requires that a preliminary Water Quality Management Plan be submitted prior to the approval of any implementing tract map.

Level of Significance After Mitigation

The potential impacts to the hydrology and water quality that could result from the Proposed Project would be reduced to a less than significant level through project design features, implementation of BMPs, and compliance with applicable permits.

E. Biology

Tres Cerritos West

Vegetation: Eighty six species of plants were found on the site, of which thirty-six are non-native invasive elements. An additional twenty to twenty five species of spring annuals can be expected within the sage scrub and rain stimulated former agricultural fields. Recent studies by L&L Environmental in 2004, for the Tres Cerritos West PPA, have noted the presence of Davidson's Saltbush,

Coulter's Matilija Poppy and Smooth Tarplant. The property contains some high quality potential habitat for several sensitive plant species that are known from the general region. Several low-lying areas at the southwestern and south-central portions of the Tres Cerritos West PPA contain suitable habitat for special status plant species associated with vernal pools, though no sensitive or listed species have been detected in any of the four biological surveys conducted on the site since 1988.

Reptiles: The only reptile species in any abundance was the Side-blotched Lizard, observed sunning on the rocky terrain. Sensitive wildlife observed on the site was limited to a lone juvenile Orange-throated Whiptail, however, virtually all of the high quality rocky, reptile habitat is being retained as open space and is not impacted by development.

Mammals: The site lies within historic habitat for the state and federally listed Endangered Stephens Kangaroo Rat. Mitigation is required in the form of a per-acre SKR fee.

Twenty-three species of mammals have been observed in the San Jacinto Wildlife Area and all but the larger species, such as deer and mountain lion, are likely to be present in habitat similar to the project area. Several species of small rodent, coyote and Desert Cottontail were observed at the site, however none are considered significant or endangered.

Birds

Numerous species of birds were observed in the project area, including Western Meadow Larks, Starlings, Brewers' Blackbirds, California Quail, Greater Roadrunner, Red-tailed Hawks and a Turkey Vulture. The rural portion of the valley is a major raptor hunting area and these areas are typically relatively level and may be utilized for agricultural cultivation. Within the Specific Plan project these predominantly level or gently sloping areas will be impacted by the proposed site development.

Although much of the site contains steep slopes that may not contain suitable habitat for coastal California gnatcatcher (CAGN), high quality potential habitat appears to be present on more gently sloping hills vegetated with Riversidean sage scrub. There were two sightings of a single CAGN pair documented in 2001 by Glen Lukos Associates. A focused survey for the CAGN was conducted in the final weeks of the 2003 nesting season and transitioned into the non-nest season by L&L Environmental. Nine visits were made to the site in accordance with USFWS protocol survey requirements. No CAGN were observed during the survey and it is assumed that the CAGN no longer occupy the site.

Recommendations to reduce biological impacts include:

1. Mitigation of biological impacts shall conform to the recommendations of the Mitigated Negative Declaration (MND) for Tres Cerritos West Specific Plan No. 03-2.

Tres Cerritos East

The project site consists of approximately 165.8 acres within the City of Hemet in Riverside County, California and is immediately northwest of the intersection of Cawston and Devonshire avenues. The project site is within the Salt Creek watershed, near the eastern base of the “Tres Cerritos” hills that rise out of the San Jacinto Valley.

The site has been subject to past disturbances in the form of grading for residential development in 2000 and is currently dominated by non-native grasslands and disturbed land. Water from the nearby Seattle Channel is being pumped onto the site during an emergency action in 2005 when the channel reached capacity and posed a potential threat to nearby residential properties. This action has resulted in ponding areas on the subject property in areas that were left uncompleted when the Army Corps of Engineers issued a cease and desist order. The property is relatively flat, draining from the northeast to southwest with elevations ranging from 1,505 to 1,680 above mean sea level. A residential project is being constructed along the site’s northern boundary.

One sensitive plant species, the smooth tarplant (*Centromadia pungens* ssp. *laevis*) was observed onsite during focused Narrow Endemic Plant Species Survey Area (NEPSSA) surveys. Smooth tarplant is a California Native Plant Society (CNPS) List 1B species and a MSHCP Criteria Area Species Survey Area (CASSA) species. Many individuals of this species were observed throughout the site.

Three sensitive wildlife species are known to occur at the site. The burrowing owl (*Athene cunicularia*) was observed onsite during focused surveys for this species in the eastern 80-acre portion of the site. One breeding pair along with three unfledged juveniles were observed during focused nesting season surveys in 2006. At least three and possibly four adult owls were observed during nesting season surveys in 2005, suggesting that two separate pairs may have been breeding onsite. For the western 80-acre portion of the site, a burrowing owl survey have been conducted during the 2007 spring burrowing owl nesting season.

Also observed on eastern 80-acre portion of the site were two California Species of Special Concern which are considered “covered species,” however, they are considered to be adequately conserved through the implementation of survey and conservation requirements set forth by the MSHCP. Species of Special Concern applies to animals not listed under the federal Endangered Species Act or the California Endangered Species Act, but which nonetheless are declining at

a rate that could result in listing, or historically occurred in low numbers and known threats to their persistence currently exist. The species observed are the Southern California rufous crowned sparrow (*Aimophila ruficeps canescens*), which was observed within non-native grassland on site, and the California horned lark (*Eremophila alpestris actia*), which was observed within the disturbed land on the site.

No other sensitive species were observed onsite. Additional sensitive species are known from the region and potentially could occur onsite. Of particular note are the federally endangered Riverside fairy shrimp (*Streptocephalus woottoni*) and the federally threatened vernal pool fairy shrimp (*Branchinecta lynchi*). Fairy shrimp belonging to the genus *Branchinecta* were observed in the spring of 2006 in the eastern 80-acre portion of the site. Dry season sampling was conducted during the summer of 2006.

On the eastern 80-acre portion of the site, approximately 0.1 acre of non-wetland waters of the United States and 0.2 acre of California Department of Fish & Game jurisdictional streambed would be directly impacted by the Proposed Project. Without the mitigation below, these impacts would be significant.

For the western 80-acre portion of the site, the limits of areas under the jurisdiction of the Corps, CDFG, and the RWQCB will be identified and quantified upon completion of a jurisdictional delineation. Portions of these areas would be modified as a part of the proposed project design.

- BIO-1:** The Proposed Project shall participate in the Western Riverside County MSHCP through the payment of fees in compliance with MSHCP Volume 1 of 4, Part 2 of 2, Appendix C, Best Management Practices (BMPs).
- BIO-2:** Rare plant surveys shall be conducted during the spring blooming period on the western 80-acre portion of the site.
- BIO-3:** An additional assessment shall be conducted during the wet season and spring blooming season to determine the presence/absence of vernal pool habitat on the site on the western 80-acre portion of the site.
- BIO-4:** Wet season fairy shrimp surveys shall be conducted during the wet season.
- BIO-5:** A burrowing owl survey was conducted during the spring burrowing owl nesting season on the western 80-acre portion of the site. This mitigation is met.
- BIO-6:** A jurisdictional delineation shall be conducted to identify the presence of U.S. Army Corps of Engineers and CDFG jurisdictional wetlands as well as non-wetland Waters of the U.S. and CDFG streambeds on the western 80-acre portion of the site.
- BIO-7:** If proposed, fuel modification shall be assessed as a portion of the project's biological impacts once detailed engineering plans are complete.

- BIO-8:** The applicant shall provide MSHCP Local Development Mitigation Fees in accordance with MSHCP requirements. These fees currently range from \$937 to \$1,801 per residential dwelling unit depending upon density per acre.
- BIO-9:** The applicant shall provide fees for mitigation of impacts to the Stephens' kangaroo rat (SKR). The SKR fee as established by County Ordinance 663.10 is currently \$500 per gross acre.
- BIO-10:** The applicant shall pay fees for the loss of Riversidean sage scrub, southern willow, and non-native grassland in accordance with MSHCP requirements.
- BIO-11:** For the eastern 80-acre portion of the site, impacts to the 0.1 acre of non-wetland waters of the U.S. would require issuance of a Department of Army Permit (likely a Nationwide Permit) and 401 Certification from the RWQCB. Impacts to the 0.2 acre of CDFG streambed would require a Streambed Alteration Agreement.
- BIO-12:** The federal listed Riverside fairy shrimp and the federally listed vernal pool fairy shrimp have the potential to occur on site. If either of these species is found to occur on-site, consistency with Section 6.1.2 of the MSHCP would be required. Avoidance of impacts is preferred; however, if avoidance is not feasible, minimization of impacts shall occur, or compensatory mitigation, at a minimum of a 1:1 ratio, would be required. If compensatory mitigation is the mechanism used, a Determination of Biologically Equivalent or Superior Preservation would be required.
- BIO-13:** Loss of burrowing owl habitat would be mitigated by payment of the MSHCP fees. This shall include pre-construction surveys within 30 days prior to the onset of vegetation removal activities onsite.

If less than 3 burrowing owl pairs are detected, impacts to individual owls would be compensated by passive or active relocation. Any relocation shall be conducted outside of the nesting season (March 1 through August 31) to be consistent with the MSHCP and MBTA. Owl relocation shall adhere to the California Burrowing Owl Consortium's *Burrowing Owl Survey Protocol and Mitigation Guidelines* (April 1993). If 3 or more burrowing owl pairs are detected, on-site preservation may be necessary, as the project site could be considered to have long-term habitat conservation value under the MSHCP.

- BIO-13:** Vegetation clearing, if conducted during the bird nesting season, pre-construction surveys for nesting birds shall be conducted to identify active nests and monitor construction activities to avoid impacts. If active nests could not be avoided during the nesting/breeding season, authorization to take any nests would be required through issuance of a Migratory Bird Permit from the USFWS.

BIO-14: Potential offsite indirect impacts to the Hemet Vernal Pool Complex MSHCP Conservation Area would be mitigated through the implementation of an on-site Storm Water Pollution Prevention Plan (SWPP) and standard erosion control and water quality Best Management Practices (BMPs).

LEVEL OF SIGNIFICANCE AFTER MITIGATION

Potential impacts to sensitive biological resources that could result from the Proposed Project would be reduced to a less than significant level with implementation of the above mitigation measures and compliance with all applicable permits.

Since the project site is not located within a Criteria Area Species Survey Area (CASSA) on-site impacts to the smooth tarplant are considered mitigated under the MSHCP. No additional mitigation for this species would be required.

F. ARCHAEOLOGY

Tres Cerritos West

(Excerpt from 'A Phase I Archaeological and Paleontological Survey Report on Tract 31513, West Tres Cerritos, Hemet, County of Riverside, California)

Nine archaeological sites have been recorded on the site. A field survey was conducted on the site in July 2003 that identified five of the nine sites described in previous reports. One additional site was identified, as well as several new milling features, located within the planned Natural Open Space area of the Tres Cerritos West PPA.

The number of resources located within and around the property establishes a high probability that prehistoric or historic resources will be impacted by development of the project area. Archaeological monitoring is recommended during all earthmoving phases of the project.

Recommendations to reduce archaeological impact include:

1. Mitigation of archaeological impacts shall conform to the recommendations of the Mitigated Negative Declaration (MND) for Tres Cerritos West Specific Plan No. 03-2

Tres Cerritos East

A records check, followed by a field survey of the Proposed Project site was conducted on June 13, 2006 by ASM Affiliates. Two sites were identified by the records search as plotted almost directly on the project area's northern boundary, both within the Tres Cerritos foothills. One of these, CA-RIV-4048, was not relocated during the current survey. This was most likely due to slight plotting or recording variance, with the site actually very near, but just

north of the project boundary. One bedrock milling feature was identified during the survey, and subsequently correlated with previously recorded site CA-RIV-4046. A Department of Parks and Recreation site record update has been completed and submitted to the EIC. This site is directly adjacent, only a few meters north of the heavily disked field that extends to the northern boundary of the project area, west of Celeste Road. The third site recorded by Smith in 1990 within the current project area was not relocated. The site record for CA-RIV-4049 was updated in 2004 by Hoover and Blevins, who indicated the site appeared to have been destroyed since the time of the original recording and testing. No remains of this site were detected during the current survey.

Mitigation Measures

In the event that buried subsurface cultural materials are encountered during project grading or construction that could not be identified on the surface survey, mitigation measures have been identified below that would alleviate this impact (CR-1 and CR-2).

CR-1 In the event that any archaeological or historical resources or remains are uncovered during the course of project construction, ground-disturbing activities in the vicinity of the resources shall be redirected until their nature and extent can be evaluated by a qualified archaeologist and the Soboba, Morongo, and Pechanga Tribes. The archaeologist shall examine the area and determine the actions that may be needed to mitigate potential impacts. The City of Hemet shall consult with the Tribes regarding the archaeologist's recommendations and then shall approve the recommended actions, as appropriate.

Work in the area of the previously unknown finds shall halt until impacts to the resources are addressed as directed by the City of Hemet. Earthmoving shall be allowed to proceed through the site when the archaeological supervisor and the City of Hemet, in consultation with the Soboba, Morongo, and Pechanga Tribes, determine that the artifacts have been mitigated to the extent necessary.

CR-2 If human remains are encountered during any earthmoving activities, all work in the area shall stop, and the Riverside County coroner shall be notified. State law dictates that the Native American Heritage Commission shall be notified in the event that the remains are determined to be human and of Native American descent. The City of Hemet shall notify and consult with members of the Soboba and Pechanga Tribes in the event that the remains are of Native American descent to determine proper disposition of the remains.

Level Of Significance After Mitigation

Impacts to cultural resources would not be significant. Only one resource was found within the Proposed Project site. This previously recorded isolated bedrock milling site (CA-RIV-4046) is a single milling slick that is in a slight state of decomposition. In addition, this previously recorded site had been tested in

1990, and was evaluated as not significant (Smith 1990). Due to the ubiquity and limited research potential of the site type, as well as the fact that no artifacts or midden were found in association with the feature even after additional testing, it is not considered a significant “historical resource” pursuant to CEQA Guidelines Section 15064.5 nor is it eligible for listing in the California Register of Historic Resources or in the National Register of Historic Places. However, concern was expressed by the Morongo Band of Mission Indians during the Native American consultation process regarding this site, who stated that if the milling feature were to be impacted, they would like it to be removed and relocated. Even though no additional mitigation measures are required for this site, an agreement between the applicants and Morongo is being worked on regarding the treatment of the milling feature. If acceptable to both parties, the applicants would remove the milling feature in the presence of an archaeological monitor, and relocate it to a permanent location on the Morongo Indian Reservation.

G. PALEONTOLOGY

Tres Cerritos West

(Excerpt from ‘A Phase I Archaeological and Paleontological Survey Report on Tract 31513, West Tres Cerritos, Hemet, County of Riverside, California)

A pedestrian survey was conducted on the Tres Cerritos West PPA site to confirm lithologic units and to determine if any fossils were exposed at the surface. The site contains Older Alluvium and Quaternary Alluvium units that have a high potential for producing significant fossils. Therefore, paleontological monitoring is recommended during construction.

Recommendations to reduce paleontological impact include:

1. Mitigation of paleontological impacts shall conform to the recommendations of the Mitigated Negative Declaration (MND) for Tres Cerritos West Specific Plan No. 03-2

Tres Cerritos East

The information presented herein is based upon research of museum paleontological site records conducted at the San Diego Natural History Museum (SDNHM) and the San Bernardino County Museum (SBCM), a literature review, and a field survey of the Proposed Project site by qualified paleontologists from the SDNHM in 2006.

The Tres Cerritos East project site is located within the foothills region of the Peninsular Ranges. The region is characterized by low resistant granitic and gabbroic hills and intervening swales (depression between slopes that allow for drainage) and valleys. Geologic conditions at the site consist of weathered and un-weathered granitic rocks of the Cretaceous-age Monzogranite of Tres Cerritos non-conformably overlain by Pleistocene- and Holocene-age alluvial fan

and valley fill deposits, and un-documented fill. No outcrops of older sedimentary bedrock were observed on the site and the published reports confirm the absence of these types of rocks in the vicinity of the project area.

MITIGATION MEASURES

Due to the nature of the proposed construction and presence of moderate to highly sensitive sedimentary deposits just beneath the ground surface, construction activities have the potential to produce significant direct impacts on paleontological resources throughout the project site. It is recommended that the following mitigation measures be implemented in order to reduce project impacts to paleontological resources to an insignificant level.

PR-1 A qualified paleontologist shall attend the pre-construction meeting to consult with the grading and excavation contractors concerning excavation schedules, paleontological field techniques, and safety issues. A qualified paleontologist is defined as an individual who:

- has a M.S. or Ph.D. in paleontology or geology;
- is familiar with paleontological procedures and techniques;
- is knowledgeable in the geology and paleontology of Riverside County;
- has worked as a paleontological mitigation project supervisor in the county for at least one year.

PR-2 A paleontological monitor shall be on-site on a full-time basis during the original cutting of previously undisturbed deposits of high paleontological resource potential (“Old Alluvial Fan” deposits [Q_{of}]); and at least on a half-time basis during the original cutting of previously undisturbed deposits of moderate paleontological resource potential (“Young Valley Fill” deposits [Q_{yv}]) to inspect exposures for contained fossils. A paleontological monitor is defined as an individual who has experience in the collection and salvage of fossil materials, and would work under the direction of a qualified paleontologist. As grading progresses, the qualified paleontologist and paleontological monitor shall have the authority to reduce the monitoring program to an appropriate level if it is determined that the potential for impacts to paleontological resources is lower than anticipated.

PR-3 When fossils are discovered, the paleontologist (or paleontological monitor) shall recover them. In most cases this fossil salvage can be completed in a short period of time. However, some fossil specimens (such as a complete large mammal skeleton) may require an extended salvage period. In these instances the paleontologist (or paleontological monitor) shall be allowed to temporarily direct, divert, or halt grading to allow recovery of fossil remains in a timely manner. Because of the potential for the recovery of small fossil remains, such

as isolated mammal teeth, it may be necessary to set up a screen-washing operation on the site.

PR-4 Fossil remains collected during monitoring and salvage shall be cleaned, repaired, sorted, and cataloged as part of the mitigation program.

PR-5 Prepared fossils, along with copies of all pertinent field notes, photos, and maps shall be deposited (as a donation) in a scientific institution with permanent paleontological collections such as the San Bernardino County Museum, the San Diego Natural History Museum, or the Natural History Museum of Los Angeles County. Donation of the fossils shall be accompanied by financial support for preparation, curation, and initial specimen storage.

PR-6 A final summary report shall be completed that outlines the results of the mitigation program. This report shall include discussions of the methods used, stratigraphic section(s) exposed, fossils collected, and significance of recovered fossils.

Level Of Significance After Mitigation

If mitigation measures PR-1 through PR-6 are implemented, impacts to paleontological resources would not be significant.

H. AESTHETICS / VISUAL RESOURCES

Tres Cerritos East

The Proposed Project site consists of a vacant, open field that is undeveloped and partially graded from past activities. Topography of the Proposed Project site ranges from flat to slopes that are greater than 25 percent (City of Hemet, 2006, West Hemet – Hillside Slope Map). The easterly two thirds of the site are in a partially natural state, having been graded in the past for a previous residential development, and exhibit little topographical relief. Menlo Avenue, an unimproved public road, extends through the site.

Impacts to visual and aesthetic resources from the development of the Proposed Project site would occur by altering the physical setting and visual quality of the landscape and by effects on the landscape as experienced from various viewpoints, including travel routes. The project-related changes to the aesthetic character of the site and surrounding area are identified and qualitatively evaluated based on the modification of the physical conditions and the viewer sensitivity.

MITIGATION MEASURES

VR-1 Hillside development shall be limited to slopes of less than 25 percent. Public access to hillside areas shall be restricted and the rocky uplands of the Tres

Cerritos Hills shall be preserved as dedicated open space for habitat preservation purposes and for visual purposes.

- VR-2** At the time a discretionary permit is filed, the applicant shall provide a rough grading plan to the satisfaction of the city engineer. Landscape plans shall be prepared by a licensed landscape architect or a contractor to the satisfaction of the planning director and city engineer. A tree preservation plan shall be prepared, if feasible, and a map of rock outcroppings on and within 100 feet of the project site shall be prepared in an attempt to preserve these on-site resources (City of Hemet Municipal Code Section 70-163, Ord. No. 1737, § 3).
- VR-3** Landscaping and revegetation of graded slopes shall occur as soon as possible after grading to minimize the potential for erosion as well as to reduce the potential for visual and aesthetic impacts.
- VR-4** The applicant shall adhere to the City of Hemet's exterior lighting policies and shall incorporate shielding of fixtures to minimize ambient lighting in and adjacent to natural open space areas. Street and parking lot lighting shall be designed with internal baffles to direct lighting toward the ground and have a zero side angle cutoff to the horizon. The applicant shall incorporate a prohibition on floodlights and other ambient lighting by homeowners in or adjacent to the natural open space areas.

Level of Significance After Mitigation

Implementation of the mitigation measures and compliance with the City of Hemet General Plan policies and standards, as well as appropriate state and local Uniform Building Code (UCB) construction regulations would reduce aesthetic and visual impacts to less than significant levels.

I. AGRICULTURE RESOURCES

Tres Cerritos East

The Proposed Project activity would occur on land designated as Grazing Land and would not convert farmland designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance. Impacts on Grazing Land are considered less than significant. Therefore, no mitigation measures are required.

The project would not conflict with zoning for agricultural use as the property is zoned as a Specific Plan area and is not currently under agricultural use. In addition, the property is not under Williamson Act contract, so no zoning or Williamson Act impacts would occur.

The project would not involve changes in the existing environment that could individually or cumulatively result in substantial loss of farmland to

non-agricultural use since no agricultural uses presently occur on the property.

The project would not substantially impair the productivity of adjacent agricultural areas since none of the surrounding properties consist of or contain agricultural uses.

The Proposed Project would not introduce new crops because the site is vacant and unused area and is not in agricultural production, nor is agriculture proposed on the project site. Therefore, no significant impacts due to pests or agricultural disease would occur.

MITIGATION MEASURES

Implementation of the Proposed Project would not result in a significant impact to agricultural resources. Therefore, no mitigation measures are required.

Level of Significance After Mitigation

No significant impacts to agricultural resources have been identified. Consequently, no mitigation measures are required.

J. AIR QUALITY

Tres Cerritos East

The Proposed Project is located in western Riverside County, which is within the South Coast Air Basin (SoCAB), and is administered by the South Coast Air Quality Management District (SCAQMD). The area is classified as a “extreme” non-attainment area for both federal and State standards for ozone (smog). The SoCAB also exceeds the State standard for airborne particulate matter (PM₁₀).

Short-term impacts generated from construction of the Proposed Project would include the use of diesel and gasoline-fired mobile equipment for earth moving and grading, worker commuting, and general construction activities. These equipment and vehicles will cause a temporary increase in air pollutant emissions during construction activities. Project operations will cause an increase in local air pollutant emissions primarily from tailpipe emissions from motor vehicles.

Long-term Operational impacts associated with the Proposed Project would include tailpipe emissions from motor vehicles and area emissions (from the use of water and space heating equipment, landscape maintenance, consumer product ROG, and architectural coatings) were estimated with the

URBEMIS 2002 emissions model. The analysis assumed that no wood stoves or wood fireplaces would be employed.

Mitigation Measures

The following mitigation measures are recommended in addition to the best available control measures (BACMs) prescribed by SCAQMD Rule 403.

Construction:

- AQ-1** On-road trucks and other mobile equipment shall be properly tuned and maintained to manufacturers' specifications to ensure minimum emissions under normal operations.
- AQ-2** Water or chemical dust suppressants shall be applied in sufficient quantity and frequency to stabilized disturbed areas and/or unpaved roadways.
- AQ-3** All clearing and grading activities shall cease during periods of high wind (greater than 20 mph averaged over 1 hour).

Operational:

The majority of predicted air emissions are from vehicular traffic to and from the Proposed Project and there are currently no mitigation measures sufficient to effectively reduce the amount of these emissions to levels below significance. The following mitigations shall be incorporated into the project design.

- AQ-4** Prior to issuance of occupancy permits the project applicant or master developer shall prepare a Waste Management Plan which specifies measures that shall be undertaken to encourage recycling. The Waste Management Plan shall, at a minimum, require the separation of recycling and solid waste collection facilities, and shall depict areas within the development where recycling receptacles will be provided. The Waste Management Plan shall be subject to review and approval by the City of Hemet Planning Department
- AQ-5** Future landscaping plans within the development shall comply with the criteria of the Specific Plan which specifies the types and locations of trees within the development. The criteria promote the use of trees to minimize energy consumption associated with the heating and cooling of homes. Trees within the development also would serve as carbon storage which will help offset carbon dioxide emissions from the proposed project.
- AQ-6** Prior to approval of building permits, the City of Hemet shall verify that proposed building plans include a note requiring the use of low-flow appliances and fixtures (i.e., toilets, shower heads, washing machines, etc) in order to decrease water consumption during operation of the project site.

AQ-7 Prior to the issuance of occupancy permits, the applicant or master developer shall provide evidence to the City of Hemet demonstrating that energy efficient appliances (i.e., washer/fryers, refrigerators, stoves, etc.) have been utilized in the construction of proposed residential homes.

Level of Significance AFTER MITIGATION

Construction

Estimates of construction emissions indicate that NO_x emission levels would be significant; further mitigation measures beyond those already mandated by regulation are not commercially available.

Operation

Aside from properly maintaining equipment or using alternative fuel-powered equipment, emissions of NO_x, ROG, and CO cannot be further mitigated, hence these emissions would remain significant.

K. NOISE

Tres Cerritos East

Construction Impacts

Noise levels generated during construction would vary and depend upon the various construction phases. Construction of various housing areas and other facilities of the Proposed Project can be divided into the following items:

- Site preparation and excavation;
- Foundation and concrete pouring;
- Steel erection;
- Mechanical; and
- Cleanup.

During the construction period, a variety of equipment would be utilized at various locations within the Proposed Project area. Many of these activities would be close to existing noise sensitive receptors.

Operational Impacts

The two main operational noise levels would be:

- General noise associated with single- and multiple-family residential activities and recreational activities in the proposed parks, and
- Proposed Project traffic on local roadways.

MITIGATION MEASURES

- N-1** Construction activities shall be limited to those specified in the City of Hemet ordinance provided in Division 1 - Generally, Section 30-32, Item 33.
- N-2** The Proposed Project proponent shall develop a construction-related noise mitigation plan and submit it to the City of Hemet prior to start work. Examples of noise mitigations which would be implemented to reduce construction noise include the following:
- Construction equipment shall be equipped with manufacturer recommended mufflers or equivalent.
 - Equipment engine covers shall be maintained on the apparatus as designated by the manufacturer.
 - Construction equipment shall be turned off when not in use.
 - Equipment used for project construction shall be hydraulically or electrically powered whenever possible to avoid noise associated with compressed air exhaust from pneumatically-powered tools. However, where use of pneumatically powered tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used.
 - External jackets on the tools should be used where feasible. Quieter procedures shall be used such as drilling rather than impact equipment whenever possible.
 - Stationary noise sources shall be located as far from existing sensitive receptors as possible. If stationary sources must be located near existing sensitive receptors, they shall be adequately muffled and enclosed within temporary sheds or portable sound blankets used.

LEVEL OF SIGNIFICANCE AFTER MITIGATION

Implementation of the above listed mitigation measures would reduce noise impacts to a level that is less-than-significant.

L. PUBLIC HEALTH AND SAFETY / HAZARDOUS MATERIALS

Tres Cerritos East

Leighton and Associates, Inc. performed a Phase I Environmental Site Assessment (ESA) on the Proposed Project site. Results of this Phase I ESA were published on July 7, 2006 in a report entitled *Phase I Environmental Assessment Report, "Tres Cerritos East" Site Hemet, Riverside County, California.*

The Proposed Project is not within an airport land use plan or near a private airstrip. Therefore, there are no safety hazards or associated impacts with these land use locations. The Proposed Project site would not use acutely hazardous materials, substances, or waste as defined in DTSC regulations. Additionally, although there is a school within 0.25 miles of the Proposed Project site, the property is proposed to be developed as a residential subdivision, which inherently carries low risk of use of hazardous materials through everyday activities. Consequently, there are no impacts associated with the above concern.

The use of hazardous material for construction of the Proposed Project would create potential exposure for workers and the public. This could be a potentially significant impact.

Use of hazardous materials during construction of various facilities on the Proposed Project site would pose potential health and safety hazards to construction workers and nearby residents. These impacts would be associated with transportation, storage, use, and disposal of hazardous substances during construction of the various on-site facilities.

MITIGATION MEASURES

- PHS-1:** The Project Applicant, General Contractor, and/or an assigned Health and Safety Officer (H&SO) shall provide training to grading, trenching, and excavation personnel regarding identification protocols for encountering any residual contamination. All suspected area(s) identified by construction workers shall be reported to the proper on-site assigned representative immediately. All work at the identified location shall be stopped until a qualified professional evaluates the suspected contamination area.
- PHS-2:** The Applicant shall perform subsurface soil sampling to determine if past agricultural use has impacted the subsurface soil. Representative samples should be collected from the near surface soil (0 to 1 foot below grade) and deeper soils (3 feet below grade). All near surface samples should be analyzed for pesticides.
- PHS-3:** The Applicant shall perform subsurface soil sampling and analyses to determine the depth of the apparent oil and stained soils located in the vicinity of the equipment storage yard. Soil samples should be collected at selected intervals to the apparent vertical extent of the oil stained soils. All near surface samples should be analyzed for total recoverable hydrocarbons and volatile organic compounds.
- PHS-4:** In the event of demolishing or remodeling the residential structure on the subject site, an asbestos and lead paint survey should be completed prior to demolition.

PHS-5: In general, observations should be made during any future site development for areas of possible contamination such as, but not limited to, the presence of underground facilities, buried debris, waste drums, tanks, staining soil or odorous soils. Should such materials be encountered, further investigation and analysis may be necessary at that time.

PHS-6: A qualified professional shall be available to respond to suspected contamination at the site if found. The credentials of the qualified professional or company shall be submitted to the City for review and approval prior to commencing work at the Proposed Project site. It shall be the responsibility of the qualified professional to evaluate all suspected contaminated areas identified by contracting personnel. The evaluation shall include, but not be limited to, making a professional judgment, taking soil samples for analyses, and/or using portable instruments. The qualified professional or company shall provide a written evaluation and actions to be taken (if required) to the Proposed Project on-site representative. The Proposed Project on-site representative shall implement all action(s) recommended by the qualified professional or company. Additionally, the Proposed Project on-site representative shall notify and provide the City with the written evaluation for each event.

PHS-7: The Project Applicant shall be required to use clean fill material. The Construction General Contractor and assigned H&SO shall examine the source of the fill dirt used at the site. The H&SO shall analyze soil samples if contamination is present in the fill soils and, if contaminated, the soils shall be replaced with clean fill material.

LEVEL OF SIGNIFICANCE AFTER MITIGATION

No significant impacts would occur with implementation of the mitigation measures identified above.

M. PUBLIC SERVICES (PROJECT WIDE)

The City of Hemet Police Department is located at 450 E. Latham Avenue and provides police protection to the City of Hemet. Fire protection for the City is provided by the Hemet Fire Department. The City of Hemet has 15 established park sites and green spaces in its jurisdiction or immediately adjacent to the city with 651 acres of land. Both the Hemet Unified School District (HUSD) and the San Jacinto Unified School District (SJUSD) serve the City of Hemet. The HUSD would provide service to the students who would reside within the Proposed Project site. The City of Hemet Public Library is located at 300 E Latham Avenue, about 4.0 miles from the Proposed Project site. Eastern Municipal Water District (EMWD) would provide water supply and sewer service to the Tres Cerritos East Project. The Southern California Gas Company provides natural gas service to the Project Site. Southern California Edison (SCE) is the electric supplier for the City of

Hemet. Stormwater drainage infrastructure and maintenance services within the City of Hemet are provided by both the Riverside County Flood Control & Water Conservation District (RCFCWCD) and the City of Hemet. The City of Hemet operates its own refuse and recycling division as a utility service instead of contracting with a private company. Time Werner provides cable television service for the City.

MITIGATION MEASURES

The following mitigation measures are proposed to reduce and ensure potential impacts associated with the Tres Cerritos East Specific Plan Project would not impact public services or utilities as a result of this project.

Police Protection

PSU-1 Police protection impact fees shall be paid to the City of Hemet to cover costs associated with added Police Department services to the area as a result of the Proposed Project.

PSU-2 As it relates to police and fire services, prior to approval of any final map, or approval of any final map for any phase of the development, the property covered by said final map ("Tract") shall be included within, or annexed to, a Community Facilities District ("CFD") established under the Mello-Roos Community Facilities Act of 1982 (Government Code § 53311 et seq.) established by the City of Hemet for the provision of public services permitted under Government Code § 53313, including police, fire protection, and emergency medical services (collectively "Public Safety Services"), for which proceedings have been consummated, and shall be subject to the special tax approved with the formation of the CFD with the Tract's annexation into the CFD.

The applicant and property owner acknowledge and agree that if the Tract Quality Act and, therefore, might be required to deny approval of the Project.

The owner and/or any developer of the Project on the Tract shall notify all potential lot buyers prior to sale of such lot(s) that: (1) the Tract is part of the CFD; (2) each lot within the Tract is subject to the levy of a special tax; and (3) the amount of the special tax for the subject lot. This notification shall be in a manner approved by the City.

This requirement may only be waived by the City Council if, at the time the final map is considered for approval, the City Council determines, based on substantial evidence in the record, that each of the following three findings can be met: (1) the Tract is located in a target area that is currently in compliance with the public safety response time mandates set forth in the General Plan; (2) that build-out and occupancy of the Project on the Tract will not result in the target area becoming non-compliant with the response time mandates of

the General Plan; and (3) that, after considering the cumulative impacts of the subject Project, currently existing projects and reasonably anticipated future projects within the target area, the target area will remain in compliance with the response time mandates of the General Plan.

Fire Protection

- PSU-3**
1. Fire protection impact fees shall be paid to the City of Hemet to cover costs associated with projected service levels as a result of the Tres Cerritos East Project.
 2. All water lines and fire hydrants constructed at the Proposed Project site shall be reviewed by the City of Hemet Fire Department and shall be designed to meet their requirements.
 3. The Hemet Fire Department shall approve all fire hydrant locations and other fire design requirements for the proposed project.

Parks

- PSU-4** The Proposed Project would result in an increase in recreational facilities in the City of Hemet and have a beneficial impact to the community. Therefore, no mitigation is proposed.

Schools

- PSU-5**
1. The developer shall pay school impact fees and/or land and improvements pursuant to the requirements of SB 50. This shall be established in accordance with State formulas for determining developer fees.
 2. The developer shall coordinate all school services resulting from the development with the HUSD or the SJUSD, as appropriate. The developer may enter an agreement with either of the districts.

Library Services

- PSU-6** Library impact fees shall be paid to the City of Hemet to cover costs associated with increased demands associated with library services resulting from the proposed Project.

Water

- PSU 7** 1. The EMWD has determined that adequate sources of water are available for domestic and recycled water supplied for the Proposed Project. The developer shall be responsible for the construction or supplemental production, transmission, and storage facilities needed to serve the Proposed Project in accordance with the supply assessment.

2. The Proposed Project developer shall be responsible for all costs associated with the preparation, recommendations, and/or decisions resulting from the water supply assessment, if so required.
3. Water-related development impact fees and water related charges in effect during construction shall be paid to EMWD.
4. The Proposed Project developer shall be responsible for installing the necessary infrastructure to achieve fire protection and the maximum/minimum water pressure service standards as provided by the EMWD.
5. The Proposed Project developer shall be required as necessary to install both potable water to each residential lot required by the EMWD and as set forth in SB 221 and SB 610. All connections to the recycled water system will be the responsibility of the developer.

Wastewater Services

- PSU-8** 1. The Proposed Project developer shall pay all development impact fees associated with wastewater-related charges resulting from the Proposed Project at the time of permit issuance. These fees shall include, but not be limited to, sewer treatment expansion fees and necessary permits.
2. The Proposed Project developer shall be responsible for complying with the RWQCB Basin Plan.

Stormwater

- PSU-9** The Proposed Project developer shall obtain all necessary NPDES permits from the RWQCB related to construction and operation of the proposed Project.

Natural Gas, Electricity, Solid Waste, and Other Utilities

- PSU-10** Environmental impacts associated with the supply of natural gas, electricity, solid waste, and other utilities would be less-than-significant. Therefore, no mitigations are proposed for these utilities.

LEVEL OF SIGNIFICANCE AFTER MITIGATION

With the implementation of mitigation measures for public services to cover added police protection, fire prevention, schools, and library services, build-out of the Proposed Project would result in a less-than-significant impact. Compliance with the mitigation measures for water, wastewater services, and stormwater would reduce potential impacts of these utility services to less-than-significant.

N. TRANSPORTATION AND TRAFFIC

- T-1:** Construct Myers Street as a 32-foot paved roadway from Devonshire Avenue to its current terminus north of Florida Avenue for access purposes.
- T-2:** Construct Devonshire Avenue at its ultimate half section width as a Secondary roadway from Myers Street to Cawston Avenue
- T-3:** Construct Cawston Avenue at its ultimate half section width as a Secondary roadway in conjunction with development from Menlo Avenue to Devonshire Avenue.
- T-4:** Construct Menlo Avenue at its ultimate half section width (32 foot part width) as a Collector from the northerly project boundary to Cawston Avenue.
- T-5:** Construct Menlo Avenue at its ultimate full section width as a Collector from Devonshire Avenue to the northerly project boundary.
- T-6:** Construct Celeste Road from the westerly project boundary to Menlo Avenue as a Collector road. This improvement should be coordinated with the development to the west to ensure proper alignments.
- T-7:** Install appropriate channelization for the southbound traffic at Driveway 1 (Street 'A') to restrict movements to right turns in/out and left turns in only at the Driveway 1/ Devonshire Avenue intersection. Install a 150 foot eastbound left turn lane at this location along Devonshire Avenue.
- T-8:** Install a traffic signal at the intersection of Cawston Avenue and Menlo Avenue in conjunction with development.
- T-9:** Construct a minimum 150-foot eastbound left turn lane on all approaches at the intersection of Cawston Avenue and Menlo Avenue.
- T-10:** On-site traffic signing and striping should be implemented in conjunction with detailed construction plans for the project site.
- T-11:** Sight distance at the project entrances should be reviewed with respect to standard Caltrans and City of Hemet sight standards at the time of preparation of final grading, landscape, and street improvement plans.
- T-12:** Provide stop sign controls at all project driveways that intersect with public roadways and do not meet traffic signal warrants.
- T-13:** For existing and ambient plu project traffic impacts, install traffic signals and improvements as identified in Table 6-2 and Exhibit 8-B of the Traffic Impact Analysis, dated August 2007 (with the exception of the elimination of the traffic signal at the project driveway (Street 'A') at Devonshire Avenue.

T-14: Provide fair share contributions for roadway improvements as indicated in Table 9-1 and 9-3 of the Traffic Impact Analysis, dated August 2007.

T-15: Participate in funding of off-site improvements needed to serve cumulative future conditions through payment of appropriate fees (Transportation Uniform Mitigation Fee (TUMF) and City of Hemet fees. Improvements along Florida Avenue, Sanderson Avenue, Stetson Avenue, Esplanade Avenue, and Warren Road are included in the TUMF Program for Western Riverside County. The TUMF process includes a network of regional facilities and endeavors to spread the cost on a regional basis through participation on the County and individual cities. TUMF provides a key funding source for improvements in this area.

Level of Significance AFTER MITIGATION

No significant impacts would occur with implementation of the mitigation measures identified above.

O. LAND USE AND PLANNING

LUP-1 No significant land use and planning or population and housing impacts have been identified and no mitigation measures are required.

III LAND USE PLAN

The Land Use Plan locates, in general terms, the land use and density of the components of the Plan and their relationship to the surrounding area. When the Tres Cerritos Specific Plan was first approved, the central feature of the land use plan was a proposed golf course. The first Specific Plan Amendment (SPA 90-09a in 1999) changed the name of the project to Hemet Valley Country Club Estates, and made changes to the originally approved land use plan, and retained the golf course as a central feature of the Plan. Environmental decisions by the resource agencies, and subsequent development decisions by the City have rendered the original golf course plan infeasible. The second Specific Plan Amendment (SPA 03-2 adopted in 2005) addressed these changes but focused in detail on revision of the land use plan for the west half of the HVCCE project area, now known as Tres Cerritos West PPA.

The third Specific Plan Amendment (SPA 06-02), **Exhibit 3.2**, will now address changes to the remainder of the Tres Cerritos Specific Plan project area.

Overall, the Plan produces a balance of uses comprised of residential, key circulation and drainage facilities, natural open space, and recreation which;

- Complement the surrounding developed/undeveloped areas to the east and west with housing products that are compatible and appropriate for the available level of public services and infrastructure.
- Preserve the natural beauty of the hillside open-space
- Create a developed recreation areas to enhance the life style of the residents and contribute to the overall livability of the Hemet/San Jacinto area
- Establish identifiable neighborhoods within the Specific Plan area linked together by a comprehensive landscaping plan
- Address community level circulation and storm water control within the plan.

Both the Tres Cerritos Specific Plan and its predecessor, the Hemet Valley County Club Estates Specific Plan (SPA 90-09a) envisioned residential development surrounding a golf course. A total of 710 residential units, including 166 condominium units, were approved for the Specific Plan project area. Tres Cerritos West Specific Plan Amendment No. 2, (**Exhibit 3.1**), made no change in the overall number of 710 residential units.

Tres Cerritos East Specific Plan Amendment No. 3, (**Exhibit 3.2**), increases the total number of units within both Principle Planning Areas to a maximum of 887 with approval of a Conditional Development Permit, (CDP), or 622 dwelling units without a CDP. It includes the added acreage of the 17-acre parcel located in the southwestern portion of TCE, (known as the "Gravage property"), and offsets the additional development costs associated with the community level infrastructure that is necessary in conjunction with any development of the site.

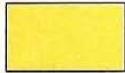
Target Units and Maximum Units

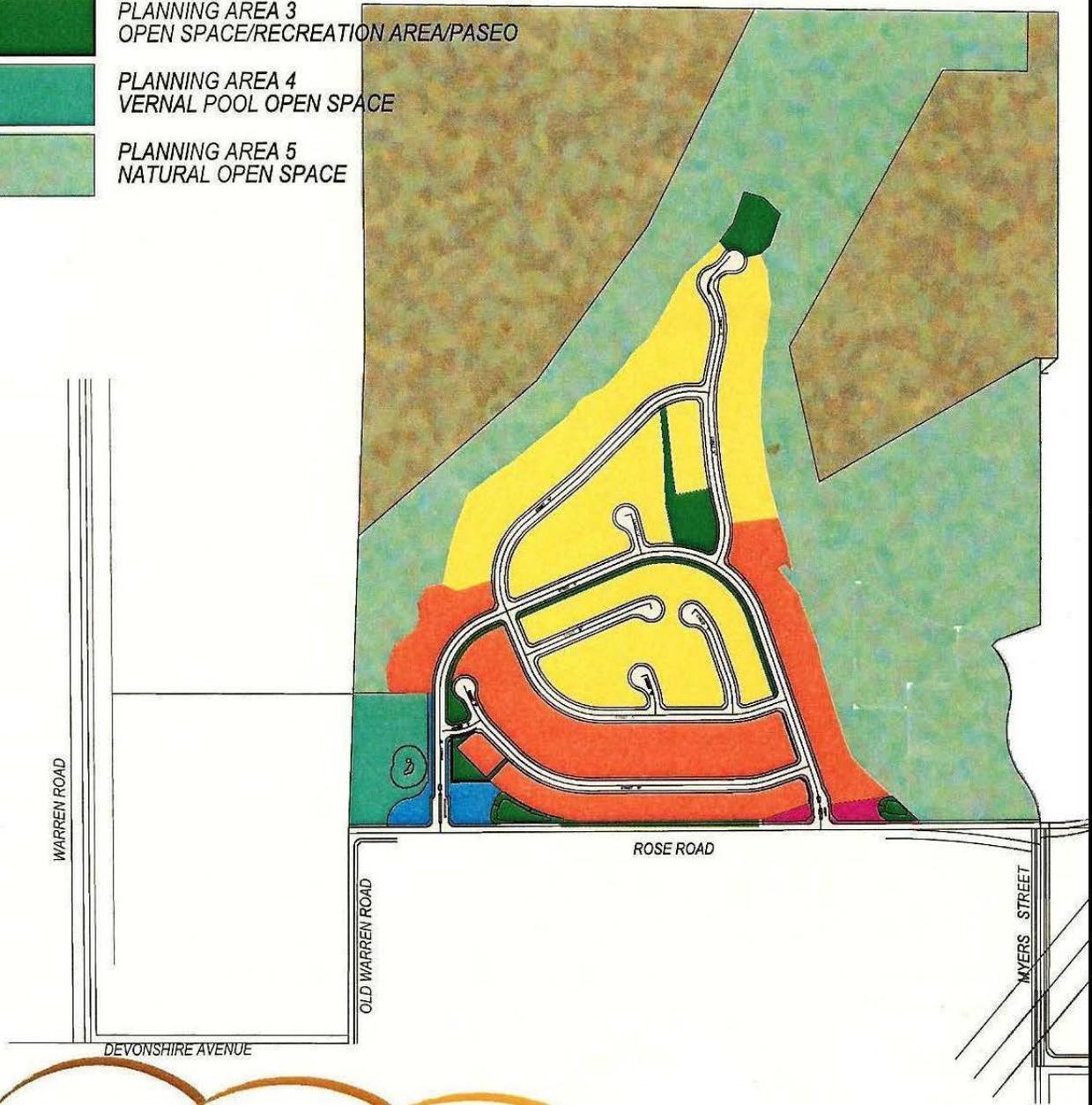
The Tres Cerritos East Specific plan allows up to 622 single family detached units as the target number of units in Planning Areas 1 through 10, with the approval of a tentative subdivision map. The resulting density is 3.75 units per acre.

The target density of 622 units allows 104 single family units in Planning Area 11. However, these 104 units may be developed as townhomes with the approval of a Conditional Development Permit. Should the developer desire to build single family detached units rather than townhomes, any unused units from other planning areas may be transferred to Planning Area 11, subject to the approval of the Planning Director, and processed under a tentative subdivision map.

Alternate product types and densities, such as twin homes, zero lot line products, and conventional products, may be permitted within Planning Areas 6 through 10, subject to the approval of a Conditional Development Permit. The maximum number of units shall not exceed 710 units, at a density of 4.28 units per acre, for Tres Cerritos East. Product types that exceed the target density of 622 units, up to the maximum density of 710 units, shall provide off-setting open space as required in conformance with Section 10.0 Open Space/Park Guidelines for Small Lot Projects (Less than 7200 Sq. Ft. Lots) of the City's Single Family Residential Design Guidelines, (City Council Resolution 3700).

TRES CERRITOS WEST

-  **PLANNING AREA 1**
6,000 S.F. LOT SIZE
-  **PLANNING AREA 2**
8,000 S.F. LOT SIZE
-  **PLANNING AREA 3**
OPEN SPACE/RECREATION AREA/PASEO
-  **PLANNING AREA 4**
VERNAL POOL OPEN SPACE
-  **PLANNING AREA 5**
NATURAL OPEN SPACE



TRES CERRITOS WEST CONCEPTUAL LAND USE PLAN

EXHIBIT 3.1

11 X 17 Exhibit

***Tres Cerritos East CONCEPTUAL LAND USE PLAN
Exhibit 3.2***

**TABLE II-1
LAND USE PLAN**

PPA	Planning Area	Type (Minimum Lot Size)	Acres	Units	Max Units w/ CUP
TRES CERRITOS WEST	Residential				
	PA 1	SFD 6000	21.7	89	n/a
	PA 2	SFD 8000	31.4	88	n/a
	Open Space				
	PA 3	Private Park, Paseos, Common Area	5.6	None	
	PA 4	Vernal Pool Reserve	3.5	None	
	PA 5	Upland Conservation Area to be dedicated	59.1	None	
Subtotals			121.3	177	
	Prior dedication to City	Open Space	68.8		
TCW Total			190.1		
TRES CERRITOS EAST	Residential				
	PA 1	Hilltop Residential	5.9	1	n/a
	PA 2	SFD 8,000	12.5	26	n/a
	PA 3	SFD 7000	6.4	25	n/a
	PA 4	SFD 6000	8.5	42	n/a
	PA 5	SFD 6000-Rear Loaded Option	14.5	72	n/a
	*PA 6	5000-Rear Loaded Option	12.0	60	78
	*PA 7	SFD 5000	8.7	43	53
	*PA 8	SFD 5000	16.6	83	105
	*PA 9	SFD 4000-Rear Loaded Option	28.1	141	173
	*PA 10	SFD 4000	5.1	25	31
	*PA 11	Townhomes	10.4	104	104
Open Space					
		Public Active Parks	2.5	None	
		Linear Park	7.9	None	
		Private Neighborhood Parks	5.6	None	
		Recreation Center	1.0	None	
		Hillside Open Space	3.5	None	
		Drainage Channel/Trail/OS	9.2	None	
Infrastructure					
		Circulation	7.4	None	
TCE Subtotals			165.8	622	710
PROJECT TOTAL			355.9	799	887

*Alternate product types and density allowed in the Planning Area subject to the Approval of a Conditional Development Permit as described in Section V.B.

**Townhomes are included in allowable units, but require a Conditional Development permit

n/a = Not Applicable. Product type and density limited to those presented.

Tres Cerritos West PPA:

The Tres Cerritos West Principle Planning Area (PPA) will be developed with a total of 177 detached single family residential units, a 1.1 acre private park with playground and water feature, 3.16 acres of paseos and landscaped areas, a 3.5 acre vernal pool reserve, and 59.1 acres of upland conservation area.

A variety of housing types in two (2) density ranges will be available for households having variable income levels and lifestyles. The average density, factoring in open space acreage, is 1.50 units/gross acres. The average residential lot size is 8,884 square feet. The acreages stated below include home sites and some paseo areas.

Single Family Detached: 6000

- density range: 4.1units/acre totaling 89 units
- area: 21.7 acres
- minimum lot area: 6000 square feet
- average lot size: 7,422 square feet
- lot size: 60 X 100 minimum
- housing type: single family detached units
- location factors: these units are located along Rose (now Celeste) Road at the 'front' of the project, where access and services are most accessible. The homes will be linked to neighborhood parks by paseos.

Single Family Detached: 8000

- density range: 2.8 units/acre totaling 88 units
- area: 31.4 acres
- minimum lot area: 8000 square feet
- average lot size: 10,362 square feet
- lot size: . 80 X 100 minimum
- housing type: single family detached units
- location factors: these units are located in the center of the project and will be linked to neighborhood parks by paseos.

Open-Space/Recreation

Four areas have been set aside as open-space and/or recreational areas :

Hillside Open Space – Tres Cerritos West Conservation Area

- area: 59.1 ±acres
- location: Tres Cerritos Hills
- use: open space/wildlife habitat
- ownership: To be dedicated by developer

Hillside Open Space – Tres Cerritos West Conservation Area

area: 68.8 acres
location: Tres Cerritos Hills
use: open space/wildlife habitat
ownership: City of Hemet per prior dedication by developer

Tres Cerritos West Vernal Pool Reserve

area: 3.5 acres
location: Southwest corner of the Tres Cerritos West Primary Planning Area at the intersection of North (Old) Warren Road and Celeste Road.
use: Preservation of vernal pools and associated habitat and wild Conservation values. Education.
Ownership: to be determined

Tres Cerritos West Park

area: 1.1 acres
location: at the intersection of 'A' and 'H' streets within the proposed VTTM 31513 – Tres Cerritos West development project
use: neighborhood recreational center with playground, covered picnic area and active recreational water feature
ownership: Homeowners Association

Tres Cerritos West Paseos and Common Area

Area 4.5 acres
Location The paseo system is spread throughout the proposed Tres Cerritos West residential development (VTTM 31513) The System is intended to provide pedestrian linkage between And within neighborhoods leading to the community recreation Area (Tres Cerritos West Park)
Uses: Walking, biking, par course, and entry monument areas.
Ownership: Homeowners Association

Proposed Tres Cerritos East PPA:

Residential

The proposed Tres Cerritos East PPA features a wide variety of housing types and densities that appeal to a broad housing market. These include two types of attached units and thirteen types of single family detached units.

Planning Area 1

Area: 5.89 acres totaling 1 unit
Density Range: Minimum Five Acres
Minimum Lot Size: 5.0 Acres
Housing Type: Single Family Detached
Location Factor: Existing hillside residence

Planning Area 2

Area: 12.53 acres
Density Range: 3.0 units per acre totaling 26 units
Minimum Lot Size: 8000 SF
Housing type: Single family homes on lots having a minimum of 8000 square feet, min. 70 feet width.
Location factor: These are larger transitional lots that flank the lower slopes of Tres Cerritos Hills where views of the open space and the valley area can be enjoyed by residents.

Planning Area 3

Area: 6.37 acres
Density Range: 4.0 units per acre totaling 25 units.
Minimum Lot Size: 7000 SF
Housing Type: Single family homes on lots having a minimum of 7000 square feet, min. 65 feet width
Location factor: Transitional area between PA 2 (8000 sf lots) to PA 4 (6000 sf lots) with views of project area.

Planning Area 4

Area: 8.54 acres
Density Range: 5.0 units per acre totaling 42 units
Minimum Lot Size: 6000 SF
Housing Type: Single family homes on lots having a minimum of 6000 square feet, min. 60 feet width
Location Factor: Transitional area between PA 3 (7000 sf lots) to PA 5 (6000 sf lots)

Planning Area 5

Area: 14.55 acres
Density Range: 5.0 units per acre totaling 72 units
Minimum Lot Size: 6000 SF
Housing Type: Rear Load: Single family homes on lots having a

Location Factor: minimum of 6000 square feet, min. 50 feet width, with rear-oriented access.
Design enables units to front along the broad (MWD easement) linear park

Planning Area 6

Area: 12.04 acres
Density Range: 5.0 units per acre totaling 60 units
Minimum Lot Size: 5000 SF
Housing Type: Single family homes on lots having a minimum of 5000 square feet, min. 50 feet width
Alternate Housing Type: Twin homes, zero lot orientation, or other designs subject to the approval of a Conditional Development Permit, as described in Section V. D.
Alternate Density: A maximum of 78 units may be allowed with an approved Conditional Development Permit.
Location Factor: Northerly project gateway. Direct access to a neighborhood park, the rec center, the paseo system, and the regional trail.

Planning Area 7

Area: 8.65 acres.
Density Range: 5.0 units per acre totaling 43 units
Minimum Lot Size: 5000 SF
Housing Type: Single family homes on lots having a minimum of 5000 square feet, min. 50 feet width.
Alternate Housing Type: Twin homes, zero lot orientation, or other designs subject to the approval of a Conditional Development Permit, as described in Section V. D.
Alternate Density: A maximum of 53 units may be allowed with an approved Conditional Development Permit.
Location Factor: Direct access to a neighborhood park, the rec center, the paseo system, and the regional trail.

Planning Area 8

Area: 16.6 acres
Density Range: 5.0 units per acre totaling 83 units
Minimum Lot Size: 4000 SF
Housing Type Options: SFD 4000: Single family homes on lots having a minimum of 4000 square feet, min. 40 feet width
Alternate Housing Type: Twin homes, zero lot orientation, or other designs subject to the approval of a Conditional Development Permit, as described in Section V. D.
Alternate Density: A maximum of 105 units may be allowed with an approved Conditional Development Permit.
Location Factor: Includes two neighborhood parks with direct access to the paseo system and the regional trail.

Planning Area 9

Area: 28.1 acres
 Density Range: 5.0 units per acre totaling 141 units
 Minimum Lot Size: 4000 SF
 Housing Type: Single family homes on lots having a minimum of 4000 square feet, 40 feet width, and may have rear-oriented access.
 Alternate Housing Type: Twin homes, zero lot orientation, or other designs subject to the approval of a Conditional Development Permit, as described in Section V. D.
 Alternate Density: A maximum of 173 units may be allowed with an approved Conditional Development Permit.
 Location Factor: Direct access to two neighborhood parks and the paseo system along the east side of Street 'A' entry street.

Planning Area 10

Area: 5.07 acres
 Density: 5.0 units per acre totaling 25 units
 Minimum Lot Size: 4000 SF
 Housing Type: Single family homes on lots having a minimum of 4000 square feet, min. 40 feet width.
 Alternate Housing Type: Twin homes, zero lot orientation, or other designs subject to the approval of a Conditional Development Permit, as described in Section V. D.
 Alternate Density: A maximum of 31 units may be allowed with an approved Conditional Use Permit
 Location Factor: Southerly project gateway into the project with direct access to a neighborhood park and regional trail.

Planning Area 11

Area: 10.44 acres
 Density range: 10 units/acre totaling 104 units
 Minimum Lot Size: 5000 SF if SFD products developed in the Planning Area
 Housing type options: Townhomes: For-sale condominiums or rental apartments, (to be determined based on market demand), are permitted subject to the approval of a Conditional Development Permit. Single family detached homes, not developed to the maximum number of units in other planning areas, may be transferred to this planning area as an alternative land use to townhomes, provided that the overall total number of units in the Specific Plan Amendment area does not exceed 710.
 Location factors: Adjoins the linear park (MWD easement) with direct access to a neighborhood park, and will include a private recreation center. A portion of this Planning Area will contain the interim and ultimate drainage basin.

Open Space/ Recreation

Recreation areas consist of 30.1 acres of public and private park areas and open space areas.

Tres Cerritos East Dedicated Hillside Open Space

Area: 3.5 Acs
Location: PA 2
Use: Open space
Ownership: City of Hemet or Open Space Conservancy
Maintenance: Neighborhood homeowners association

Tres Cerritos East Public Active Parks

Area: 2.5 Acs
Location: Westerly of PA 11
Use: Active park recreation
Ownership: City of Hemet
Maintenance: Lighting & Landscape Maintenance District

Tres Cerritos East Linear Parks

Area: 7.91 Acs
Location: In the MWD Easement extending diagonally along the extension of Menlo Ave.
Use: Active and passive park recreation and open space
Ownership: City of Hemet
Maintenance: Lighting & Landscape Maintenance District

Tres Cerritos East Neighborhood Parks / Neighborhood Paseos

Area: 5.6 Acs
Location: Distributed between the PA neighborhoods
Use: Active and passive park recreation and open space.
Ownership: Neighborhood homeowners association
Maintenance: Neighborhood homeowners association

Tres Cerritos East Recreation Center

Area: 1.0 Acs
Location: Corner of Menlo Ave and "A" Street
Use: Active park recreation, clubhouse and swimming pools.
Ownership: Master homeowners association
Maintenance: Master homeowners association

Tres Cerritos east Drainage Channel and Regional Trail System

Area: 9.6 Acs
Location: Along Cawston Ave and Devonshire Ave
Use: Active trail system, storm water facility, and open space south of PA 8.
Ownership: City of Hemet
Maintenance: Lighting & Landscape Maintenance District

IV. INFRASTRUCTURE PLAN

A. CIRCULATION (Tres Cerritos West):

(Excerpt from City of Hemet, Tres Cerritos, Traffic Impact Analysis, Kunzman Associates, December 11, 2003)

Existing Vehicular Traffic Circulation - Perimeter Streets:

Access to the Specific Plan Amendment area was provided from Old Warren street east through the project area via Rose (now Celeste) Road to Myers Street as shown in **Exhibit 4.1**. This established a loop roadway system extending north of Devonshire to provide an improved east-west circulation link that did not exist. Development within the Tres Cerritos West Specific Plan area participates in funding the construction of the Devonshire extension between Myers Street and Warren Road. The City Circulation Element designates Old Warren Rd. as a Secondary street having an 88' R.O.W. south of Devonshire Avenue, and 66' R.O.W north of Devonshire. Celeste Rd. and Myers Street, north of Devonshire Avenue, are Collector streets having a 66' R.O.W. These streets are improved in accordance with the City Circulation Element

Vehicular Traffic:

Internal traffic will circulate through the project via a new roadway system of 60' R.O.W streets, (56 feet for cul de sacs), extending northerly from Celeste Road in a series of looped streets

CIRCULATION (Tres Cerritos East):

Existing Vehicular Traffic Circulation - Perimeter Streets:

Cawston Ave is currently listed on the City General Plan as a Secondary Arterial 88' right-of-way (R.O.W.) however existing residences on the east side of Cawston Avenue have driveways along this side of the street. Devonshire Ave. is a Secondary Arterial Street having an 88' R.O.W with existing and proposed development on the south side of the street. Celeste Rd., presently terminates at the western boundary of the site at Myers Street.

This Specific Plan Amendment (06-2) proposes to extend Menlo Avenue to southwest to Myers Street. Celeste Road will terminate at Menlo Avenue as shown in **Exhibit 4.1**. This will complete the east-west roadway system within the community while providing access through the project area. The extended alignment of Menlo Avenue will be designated as a Modified Secondary Highway. As a Modified Secondary Highway, Menlo Avenue will have 64 feet of paving within 99 feet of right-of-way, as shown in Section D-D, **Exhibit 4.2**. The City Circulation Element designates Myers St. as a secondary street south of Devonshire having 88' R.O.W., Celeste Rd. will be a Collector street having a 66' R.O.W. These streets will be improved in accordance with the City Circulation Element and the specific plan. The developer will be responsible for half-width improvements, in accordance with City standards, along perimeter streets of Devonshire, Cawston, and Celeste. Menlo Avenue will be constructed as a half-width along the northern perimeter, and as a full-width street within the project.

Vehicular Traffic:

Internal traffic will be conveyed through the project via a new circulation system, as shown in **Exhibit 4.1**. Access points will be provided from the Menlo Avenue extension, Celeste Road extension, and from new connections along Devonshire Avenue. Interior streets are designed with a looped system to provide two points of access to all portions of the project area. An Index Map for street cross sections is provided as **Exhibit 4.2**. Cross sections for each type of street are shown in **Exhibits 4.3** and **4.4**.

Menlo Avenue Alignment and Construction

Prior to the construction of any infrastructure within the Tres Cerritos East project area, the developers of Tres Cerritos East and/or operators of the adjacent Peppertree development shall agree upon a plan for construction of the realignment of Menlo Avenue in conformity with the approved Tres Cerritos East Specific Plan area. The Plan shall include (i) grading, drainage, landscape, and engineering plans and schematics, (ii) a schedule of construction, and (iii) bonding and insurance requirements in order to accomplish the following design features:

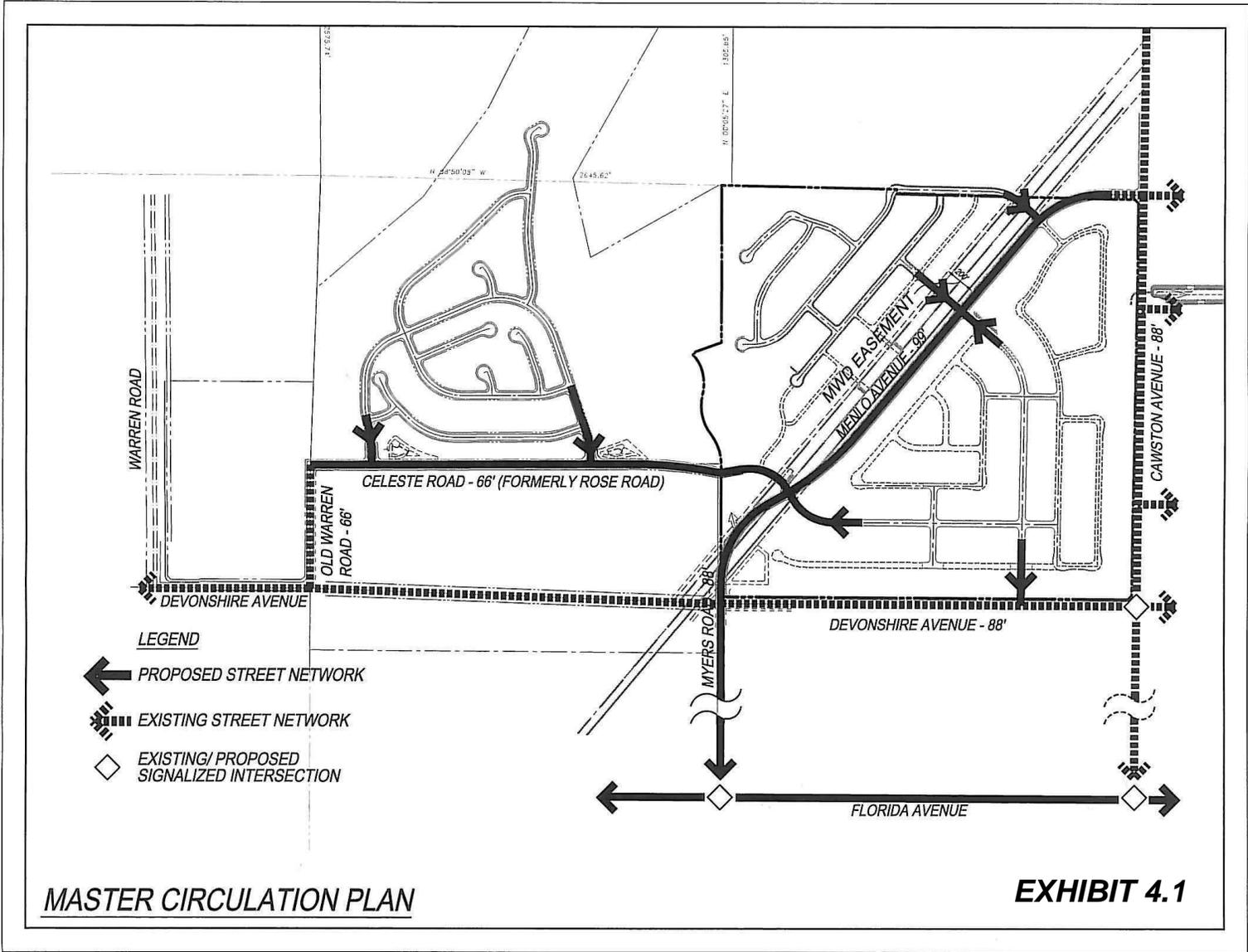
a. 'C' Street

- i. 'C' Street shall be no less than 66 feet wide.
- ii. A left turn lane shall be constructed in 'C' Street at the intersection with Menlo Avenue.
- iii. Cross street stop signs shall be installed at 'C' Street and Menlo Avenue.

b. Menlo Avenue

- i. A de-acceleration lane shall be constructed on Menlo Avenue for southbound traffic transitioning to 'C' Street.
- ii. An acceleration lane shall be constructed on Menlo Avenue for traffic transitioning from 'C' Street to southbound Menlo Avenue.
- iii. A left turn lane shall be constructed on Menlo Avenue for northbound traffic transitioning to 'C' Street.
- iv. A center transition lane shall be constructed on Menlo Avenue approaching 'C' Street from northbound traffic.

The Plan shall provide for the existing sidewalk in the Peppertree development located on the north side of Menlo Avenue to remain in place. The Plan shall provide all owners to coordinate all road closures and to sequence construction to minimize any disruption of access to the Peppertree development from Menlo Avenue. The cost of planning, construction, and installation of all improvement set forth in the Construction Plan shall be borne solely by Signal Family Hemet and its successors and assigns.



11 x 17

***Index Map of Street Cross Sections
Exhibit 4.2***

11 x 17

Cross Sections A-A through E-E
Exhibit 4.3

11 x 17

Cross Sections F-F through I-I
Exhibit 4.4

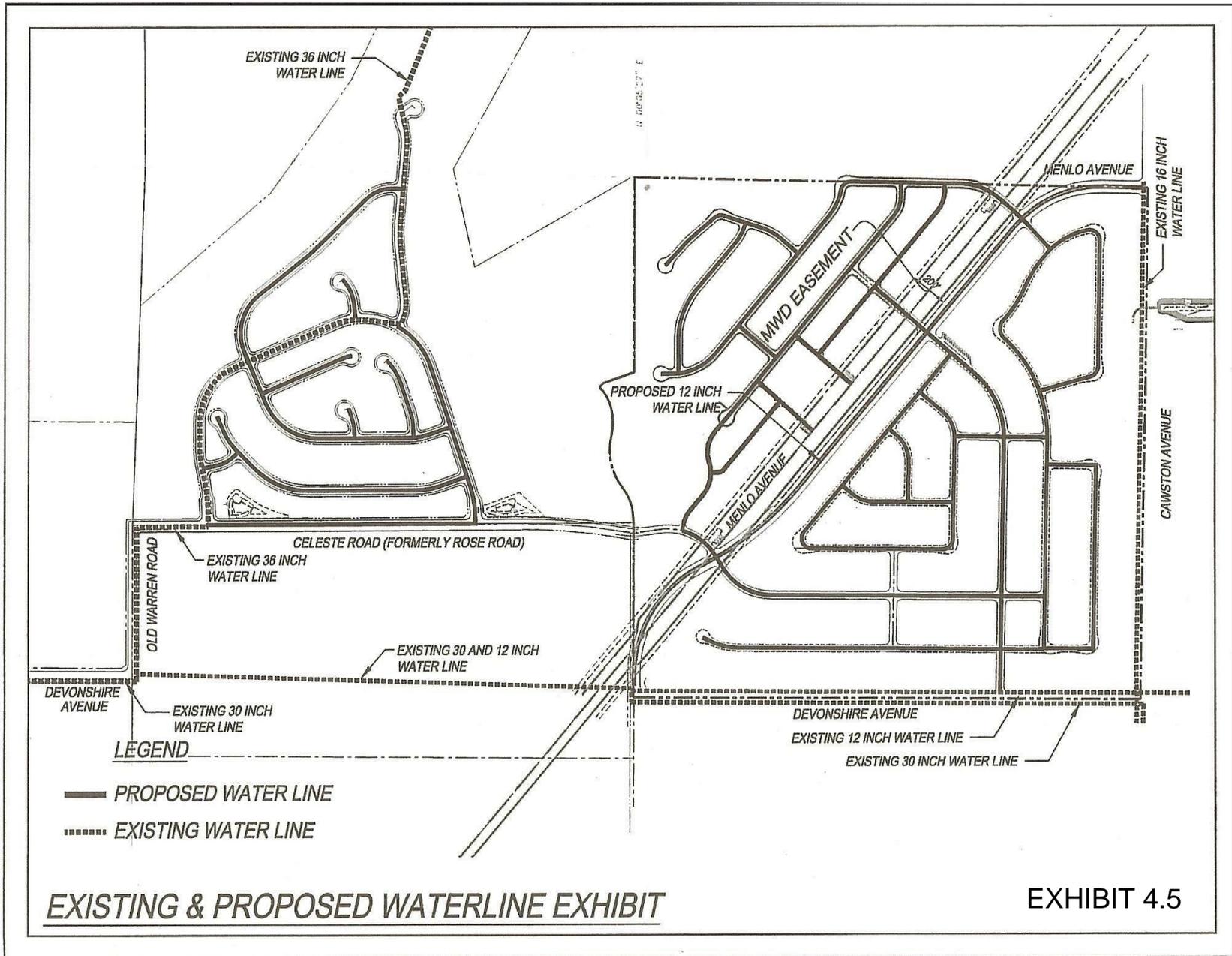
B. WATER (Tres Cerritos West PPA):

Eastern Municipal Water District provides water service to the project site and surrounding area. Located just northerly of the Tres Cerritos West PPA are two EMWD tanks with a storage capacity of 1.5 million gallons. The storage tanks are supplied by a 36" transmission line that traverses through the Tres Cerritos West amendment area, (TTM 31513), and exits at Celeste Rd. The 36" transmission line will also serve the proposed project, though not directly. Individual house service must be connected by smaller service lines rather than to connect directly to the transmission line. Lines of 8" and 6" within internal streets will connect to the 12" line in Celeste Road. Refer to the Master Water Plan in **Exhibit 4.5** for an illustration of the existing EMWD water utilities adjacent to the Tres Cerritos West project site.

Fire hydrants will be located throughout Tres Cerritos West project as required by the Fire Department. Flows will be met within the current capacity of the 1.5 million gallon tanks.

WATER (Tres Cerritos East PPA):

EMWD has a 16" water line in Cawston Avenue between Devonshire Avenue and Menlo Avenue and a 12-inch diameter line is located in Devonshire Avenue between Cawston Avenue and Myers Street. There is also an existing 30-inch diameter water pipeline in Devonshire Avenue between Cawston Avenue and Myers Street. This water pipeline is not available for domestic service at this time, however, Eastern Municipal Water District advises that the 30-inch diameter pipeline will be converted to domestic use in the future. A 24-inch water line exists in Devonshire Avenue and Cawston Avenue for recycled water. Refer to the Master Water Plan in **Exhibit 4.5** for an illustration of the existing EMWD water utilities adjacent to the Tres Cerritos East project site.



C. SEWER (Tres Cerritos West PPA):

Sewer service to the proposed project is provided by the Eastern Municipal Water District (EMWD). EMWD has an existing sewer line in Florida Avenue extending easterly to their treatment plant located at the intersection of Case Rd. and Watson Rd. in the City of Perris. This treatment plant, the Perris Regional Water Reclamation Facility, has a capacity of 11 million gallons per day, (MGD) and is currently processing 10 MGD. The facility will ultimately handle 100 MGD.

Sewer lines have been extended to the Tres Cerritos West site from the 18" line in Florida Avenue by the adjacent project, (VTTM 31146, J.P. Ranch). This will be built to serve VTTM 31513 (TCW). Following construction of the required sewer line for VTTM 31146, a 15" sewer line was brought to the intersection of Old Warren Rd. and Celeste Rd., at the southwest corner of the TCW PPA

8" internal Sewer lines serve VTTM 31513 and gravity flow to the main line at the intersection of Celeste Rd. and Old Warren Rd.

A minimum depth of cover of 8 feet, as stipulated by EMWD, over the 8-inch lines throughout the project will be maintained.

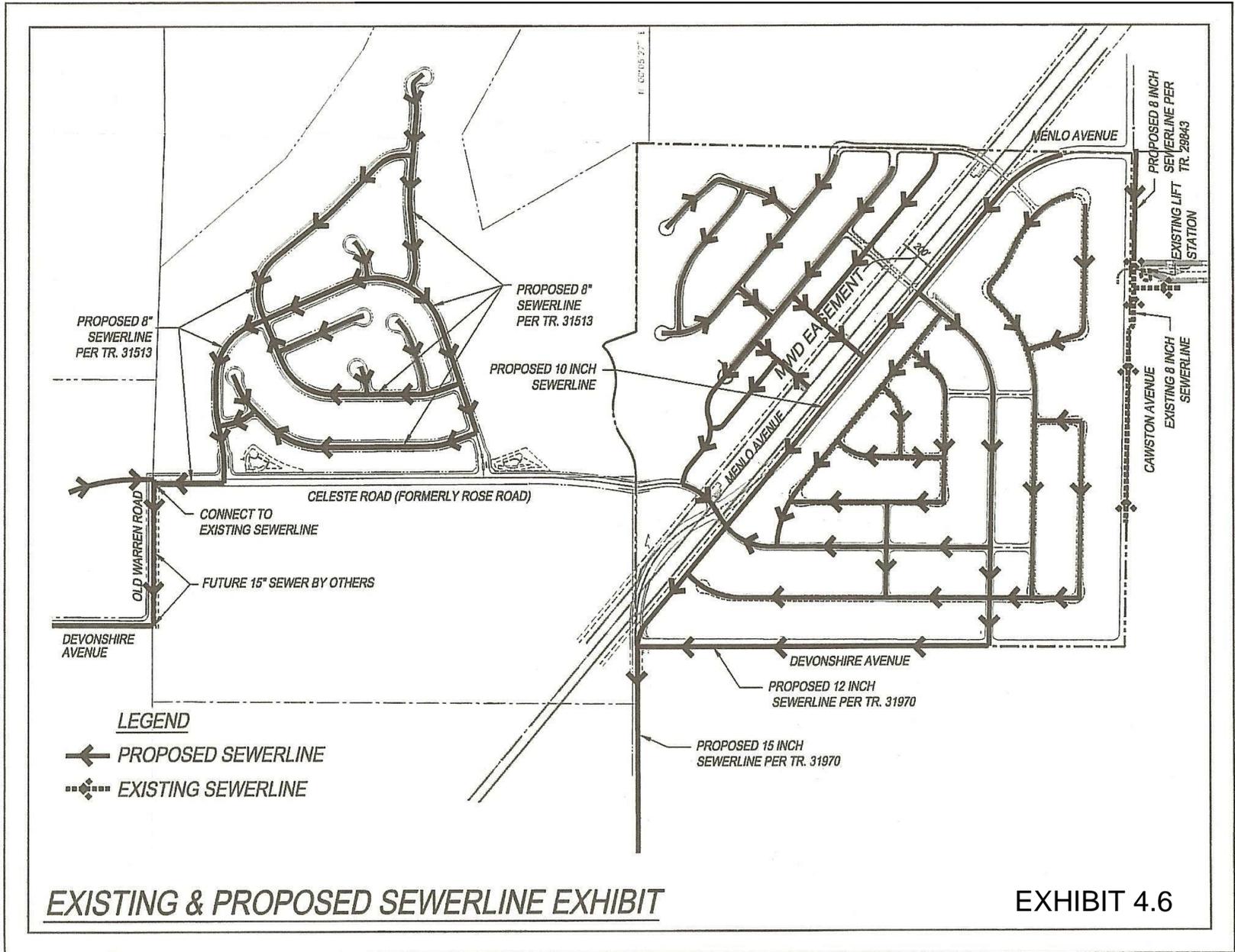
SEWER (Tres Cerritos East PPA):

The Master Sewer Plan, illustrated in **Exhibit 4.6** proposes that 8-inch sewer lines be installed within the interior of the project.

The sewers for the TCE project area will flow to the intersection of Devonshire Avenue and Myers. Although there are existing sewer lines in Cawston Avenue, on the east boundary of the project, and an existing sewer lift station near the intersection of Cawston Avenue and Seattle Street, this lift station is at capacity and cannot serve the TCE project. The project will require an additional lift station.

CSL Engineering prepared a study for EMWD in 2006 to evaluate local wastewater collection needs associated with a development project on the south side of Devonshire Avenue (Tr 31970). That study included all of the TCE project area and density in it's analysis. The project proposes an 8" line in Devonshire Avenue to Myers, and a 15" line in Myers to Florida Avenue.

Therefore, the sewer system for TCE will be designed in accordance with the CSL Engineering study, per **Exhibit 4.6**, using local sewer lines draining from Devonshire Avenue or Myers, and then south on Myers to Florida Avenue.



GRADING

Tres Cerritos West

Grading of the site, including vehicular circulation, dust control, and erosion control shall comply with all regulations and standards adopted by the City of Hemet and the South Coast Air Quality Management District.

It is anticipated that the proposed project will balance on site

Grading within the Specific Plan project area shall be performed in accordance with the mitigations outlined in the Mitigated Negative Declaration (MND) and the Project-Wide criteria below.

Tres Cerritos East

A conceptual Grading Plan for the Tres Cerritos East PPA is shown in **Exhibit 4.7**. It is anticipated that the proposed project will require importation of soil due to the previous grading on site that removed large quantities of soil for the previously approved golf course.

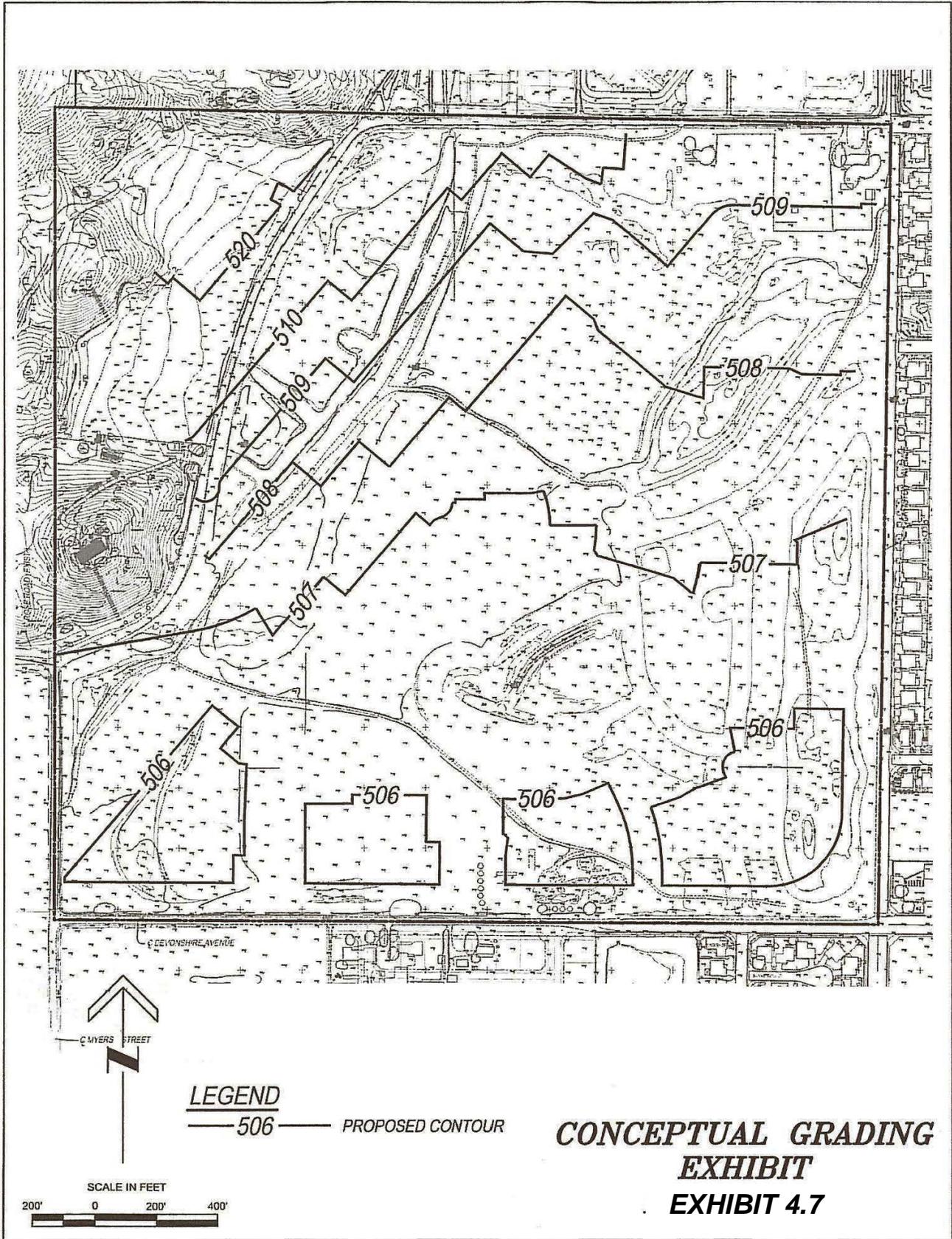
Grading within the Specific Plan project area shall be performed in accordance with the City of Hemet regulations, and per the mitigation measures outlined in the Environmental Impact Report (EIR) and the project-wide criteria below.

(Project-Wide)

Grading within the Specific Plan project area shall be performed in accordance with the following criteria:

1. Where cut and fill slopes are created in excess of 10 feet in vertical height, detailed landscaping and irrigation plans shall be submitted to the Planning Department prior to approval of grading plans. The plans shall be reviewed for type and density of ground cover, shrubs, and trees.
2. The applicant and/or individual developers shall be responsible for the maintenance and upkeep of all planting and irrigation systems within slope areas until such time as those operations become the responsibility of individual homeowners or the homeowners association established specifically for this project. Major slopes and fuel modification zones will be established as separate lots or easements and conveyed to the homeowners association for maintenance responsibilities.
3. Angular forms shall be discouraged. The grading form shall reflect the natural rounded terrain where practical.
4. Graded slopes shall be oriented to minimize visual impacts to surrounding areas.

5. The overall shape and height of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
6. Natural features such as significant rock outcrops shall be protected to the greatest extent feasible in the siting of individual lots and building pads.
7. Dwellings and/or shade structures shall be located a minimum of 5 feet from the toe and tops of all slopes over 10 feet in vertical height.
8. Brow ditches, terrace drains and other minor swales shall be lined with natural erosion control materials or concrete.
9. All driveways and project roadways shall have gradients which do not exceed a maximum grade of fifteen percent (15%).
10. Prior to any development within a phase, an overall conceptual mass-grading plan or Tentative Tract Map for the phase in progress shall be submitted for Planning and Engineering Department approvals. The conceptual grading plan shall be used as a guideline for subsequent detailed grading plans for individual stages of development within the phase and shall include the following:
 - Techniques which will be utilized to prevent erosion and sedimentation during and after the grading process.
 - Approximate time frames for grading, and identification of areas which may be graded during the higher probability rain months of October through March.
 - Preliminary lot pad and roadway elevations.
11. Grading shall not be permitted prior to issuance of a grading permit for the development area in question.
12. All cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal to one (1) vertical.
13. A Storm Water Pollution Prevention Plan a Water Quality Management Plan, and associated Erosion Control Plan will be prepared for each phase of grading.



**CONCEPTUAL GRADING
EXHIBIT
EXHIBIT 4.7**

E. DRAINAGE (Tres Cerritos West PPA):

The Tres Cerritos West project area is generally flat in the central portion of the site, with steep rocky hills surrounding the west, north, and east. The City of Hemet's current Master Drainage Plan (MDP) does not show any backbone facilities within the Tres Cerritos West project area. The MDP does show a detention basin south of Celeste Rd. on adjoining property.

Drainage from and through the Tres Cerritos West PPA will be conveyed through an underground storm drain system, with pipe sizes ranging from 18" to 54". A detention basin located at the north end of the developed area with seasonal flows exiting the Tres Cerritos canyon area and discharge them into the project's eastern storm drain system. Urban flows generated within the developed area will be directed into catchbasin located at the curb and thence into the storm drain. The combined flows will be treated for water quality purposes in a water quality basin at the southeast corner of the project site and discharged, via a pipe under Rose Road into either a level spreader or a drainage channel. Urban flows from the western portion of the project area will be collected in catch basins and conveyed via underground storm drain to a water quality basin located in the southwestern portion of the site and discharged via a pipe under Rose Road into either a level spreader or drainage channel.

Drainage will exit the basins in a pipe under Celeste Rd. and spread in a surface level concrete 'V' ditch trough on the south side of Celeste Rd. within the existing right-of-way. The trough will be designed so that drainage will spill over the edge of the trough in a sheet-flow manner similar to the existing condition. Increased runoff will be detained on site.

DRAINAGE (Tres Cerritos East PPA)

Distribution System

The proposed drainage system for the Tres Cerritos East project accomplishes a couple of desired results on behalf of the City of Hemet and the Resource Agencies. It mitigates a public safety issue for the City and it contributes much needed flows to the vernal pool complex southwesterly of the project.

Because the Seattle Channel does not currently have an outlet, it also acts as a detention basin. Under certain large storms (and because of the lack of an adequate outlet and capacity) the storm water backs up and spills over the channel edges and causes flooding to the existing homes on the south side of Seattle Street and west side of Cawston Avenue. The proposed project will alleviate this existing flooding problem by essentially letting flows move southerly away from existing homes along the Seattle Channel before the overflow problem can occur. The extension of the Seattle Channel retention area is depicted on **Exhibits 4.8 and 4.11**. However, in discussions with the City Engineering Department, the Seattle Channel will continue to serve as a

detention basin facility after this proposed system channel extension is constructed.

The proposed system within TCE receives existing flows from the existing Seattle Channel/Basin at the intersection of Cawston and Seattle and from the north side of Devonshire at Cawston. Both locations are on the eastern boundary of the project. Using a 100-year storm, Seattle Channel carries approximately 825 cfs. TCE will accept approximately 488 cfs while the remaining flows will be temporarily detained in the channel. An additional flow (approximately 360 cfs) will enter the project's channel from the intersection of Devonshire and Cawston.

Approximately 300 cfs will also be collected from the Peppertree Specific Plan watershed to the north. Based on final storm drain design with subsequent improvements plans, these flows may either be collected in a storm drain in public streets within Planning Area 3 and conveyed to the interim detention basin, or collected in a storm drain extending easterly along the northerly project boundary and south along Cawston Avenue to be collected within the proposed channel.

All three of these flows coming into the project (approximately 930 cfs) will be captured and placed into a proposed trapezoidal naturalized channel located along the west side of Cawston and the north side of Devonshire. The channel drains into an interim detention basin shown on **Exhibit 4.8**. The details of the channel are shown in **Exhibit 4.12** with 2:1 side slopes, 10-foot wide bottom and a depth of ten feet. The trapezoidal channel and interim detention basin will also handle approximately 334 cfs from the Tres Cerritos hills and from within the project.

Interim Detention Basin

In the interim condition, prior to drainage facilities being constructed downstream by the Garrett Ranch project, the channel will discharge flows into an interim detention basin constructed on the westerly portion of PA 15, as shown in **Exhibit 4.8**. The basin will be designed to meet storage detention requirements, and the water collected will be mechanically pumped back up to the intersection of Myers and Devonshire and flow southerly to Florida Avenue along the west side of Myers Street in the newly constructed swale system. The channel, in its ultimate condition shown in **Exhibit 4.11**, will connect with and pass approximately 1010 cfs into the proposed drainage system for the Garrett Ranch project located southwesterly of the TCE project and westerly of Myers Street.

The interim detention basin and channel system will be designed to store drainage flows up to a 100-year flood event. The basin will have a depth of 25 feet and will collect typical daily runoff as well as storm waters. Pumping will occur from the basin to direct flows into a roadside ditch along in a southerly direction along either side of Myers Street then further along the north side of Florida Avenue to a local storm drain at Florida Avenue and Warren Road. Once

drainage facilities are constructed south of the PPA within the Garrett Ranch project, the basin area will be reduced to function as a water quality basin and development will be completed within the remaining planning area.

An alternate basin design configuration may be allowed subject of the review and approval by the City Engineer and the Planning Director. Final basin and storm drain sizing will be established as part of the final design for implementing subdivision maps.

Interim Detention Basin Design Criteria

The following provisions shall apply to the design of the interim detention basin, as shown in **Figures 4-9 and 4-10**, to assure a functional and attractive setting at a major entry into the project.

1. The side slopes of the interim detention basin shall be planted with a mix of groundcovers and/or grasses.
2. A tubular steel security fence, with a two (2) foot choker, shall be constructed at the top of slope on all sides of the basin.
3. A three (3) foot high berm shall be constructed on the outside of the tubular steel fence for visual screening. The berm shall have a maximum of 2:1 slope ratio and suitable for landscaping.
4. A combination of trees and shrubs shall be planted on top and sides of the berm.
5. A dual purpose trail system shall be constructed through the adjoining linear park westerly and in proximity to the interim detention basin for use by pedestrians and maintenance vehicles.
6. The dual purpose trail shall be consist of decomposed granite.
7. A curb cut shall be provided on Devonshire Avenue to access the ramp into the interim detention basin for maintenance purposes.
8. Funding to maintain the interim detention basin, adjoining linear park, and the improvements therein shall occur through a Landscape, Lighting, and Maintenance District, (LLMD).
9. A meandering five-foot wide sidewalk shall be provided along Devonshire Avenue
10. A landscape plan for the interim detention basin and adjoining linear park shall accompany the first subdivision map that would create buildable lots.
11. A curb cut shall be provided on 'D' Street for maintenance vehicles to access the linear park.

Acceptance of Drainage from the Peppertree Development

The following improvements shall be constructed at the sole cost of the Tres Cerritos East Specific Plan:

1. Acceptance of Line A Discharge. The Tres Cerritos East development shall be required to accept and transport all storm drain waters discharged from the Line A storm drain.

2. Acceptance of Waters from the Menlo Triangle. The Tres Cerritos East development shall be required to accept all storm waters and run-off from the Menlo Triangle, as depicted on Exhibit A of the William Tate memorandum dated 8/8/11, (see Appendix).
3. Acceptance of Storm Water and Run-off from Menlo Avenue. Following the construction of such improvements required to be performed by PCG-Peppertree, L/P/ and Tres Cerritos East relating to the completion of Menlo Avenue, the Tres Cerritos development shall be required to accept and properly discharge all storm waters and run-off associated with Menlo Avenue.

Drainage System Review

Final detailed design of the drainage system shall be reviewed and approved by the City Engineer. If developer fee credits are to be allowed, an alternate design for the detention basin will be required that features a more shallow depth and side walls that are less steep, in order to support dual usage for recreational uses.

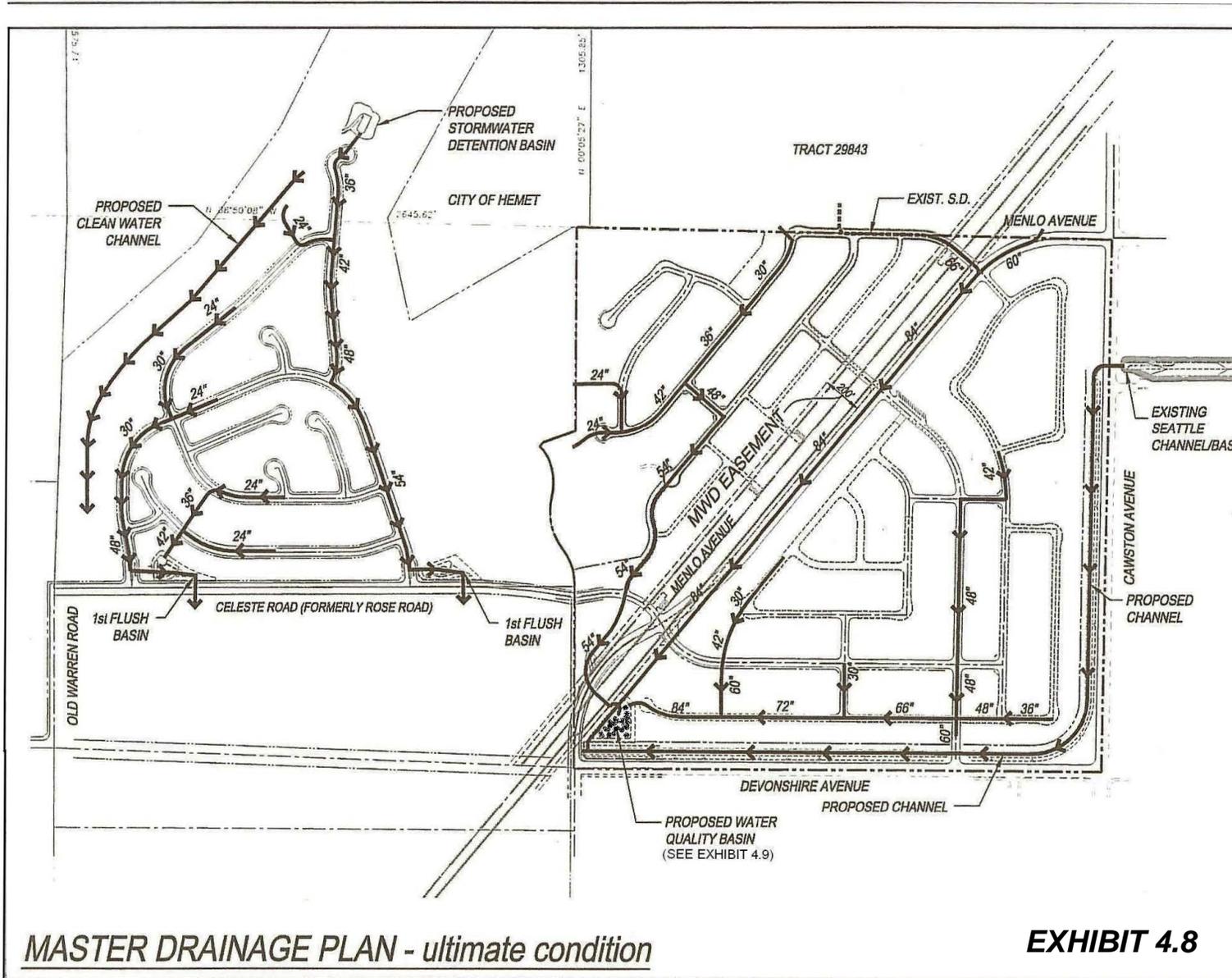
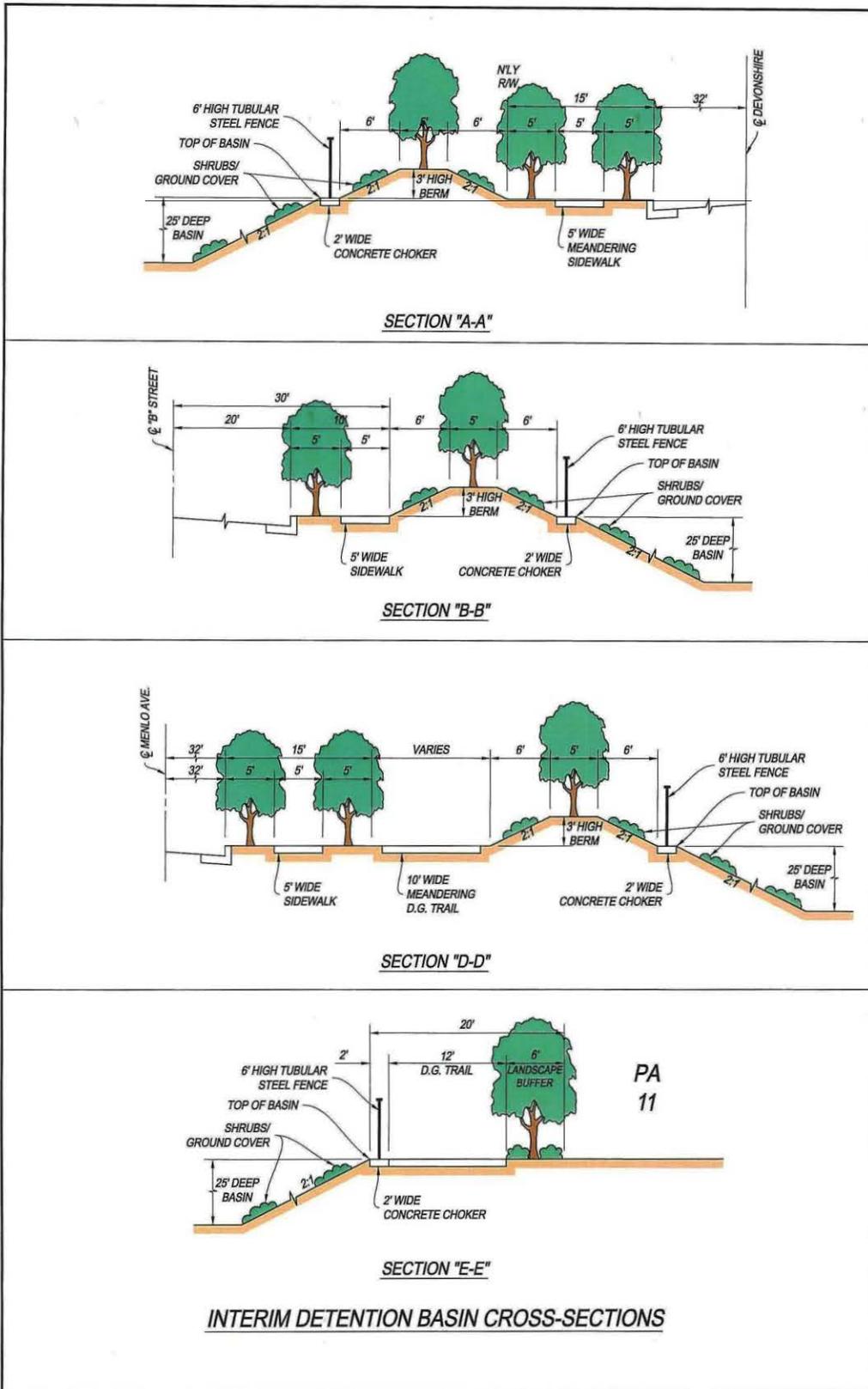
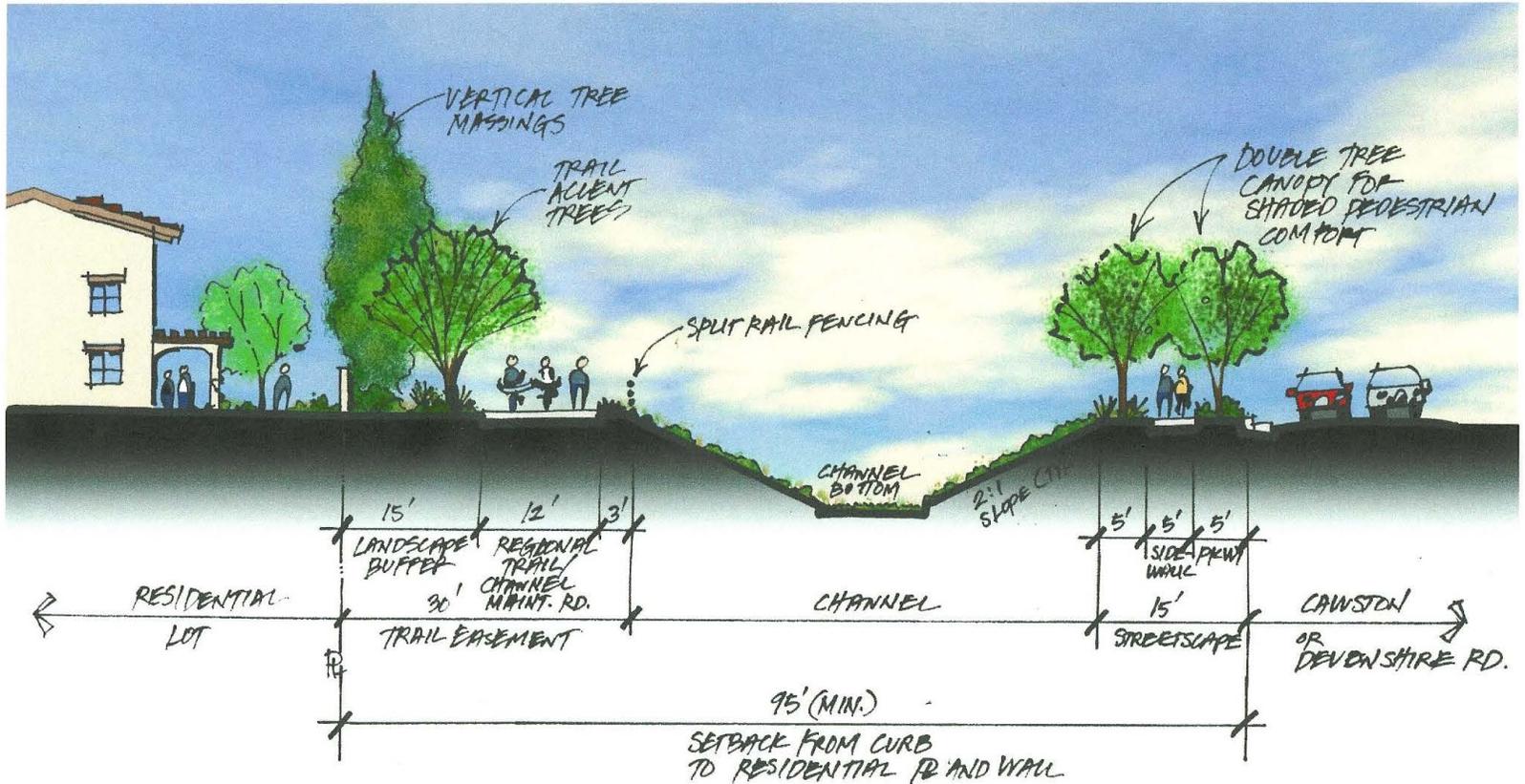


Exhibit 4.10
Interim Detention Basin Cross-Sections





TRES CERRITOS EAST
REGIONAL TRAIL / CHANNEL SECTION

SCALE 1" = 10'



Drainage Channel Cross Section
Exhibit 4.12

F, Water Quality

Two options exist for water quality management. Storm water will be collected within the perimeter drainage channel and discharged into an interim detention basin. The interim basin will be designed with a forebay as referenced in the Riverside County Flood Control District's "Stormwater Water Quality BMP Design Handbook" relative to Detention Facilities. This basin will be eliminated once downstream facilities are in place.

A second option is to use landscaped areas within the project, including parks, paseos, linear park, and parkway landscaping to achieve low impact development standards for water quality treatment instead of a large detention basin. The project will comply with the provisions of the City Municipal Code.

The proposed project includes design options to conform with either of these design considerations.

G. DRY UTILITIES (Project-wide):

Dry utilities to the site will be provided by the following public and private agencies:

- **Electricity: Edison Company**
Electric facilities will extend to the site by underground lines on Myers St., originating at Devonshire Avenue. The electric feed will extend along the Celeste Rd. / Menlo Avenue street extension and stub into the TCE PPA neighborhood entrances for on-site installation with home sites. Edison may need to upsize their facilities to meet project load demands. Standard cobra style street lights on concrete poles will be extended through the development.
- **Gas: Southern California Gas Company**
An underground distribution main exists in Devonshire Avenue that currently feeds homes on Devonshire. Gas distribution lines will extend from the existing mains in Devonshire Avenue to serve the TCE PPE.
- **Telephone/cable TV: Verizon/Time Warner**
Overhead and underground facilities exist east of the intersection of Myers St. and Devonshire Ave. These will be extended to serve development within both PPA's. Verizon may need to upsize their facilities to meet the demand of the the proposed project.

All on-site service conduits, cabling, and piping shall be located underground and within the public R-O.W. , or within private streets via easements, or in recorded easements over private property.

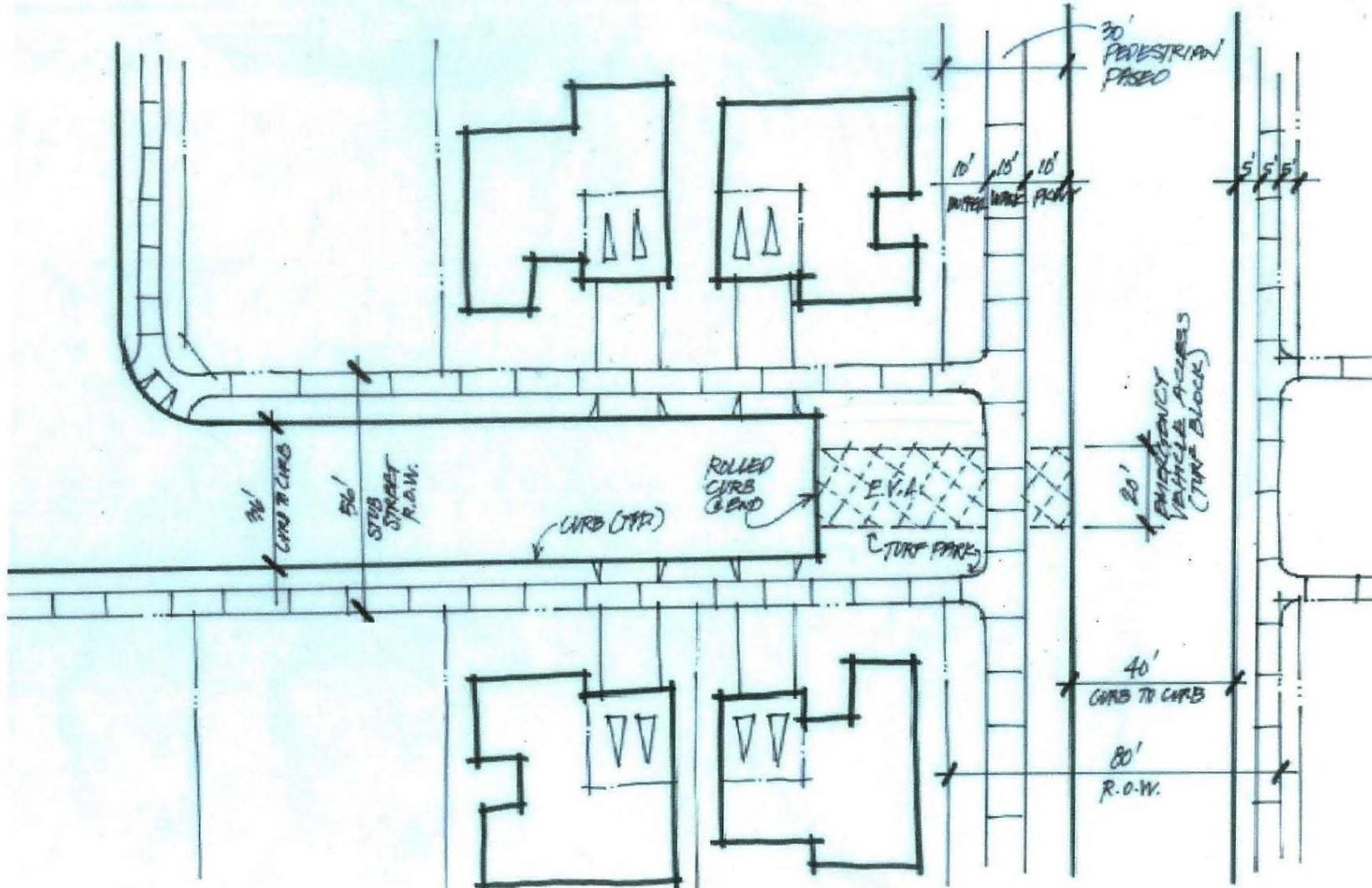
H. PUBLIC FACILITIES & SERVICES (Project-wide):

The City of Hemet and various other agencies provide a variety of services to the project area. The following is a list of those services and the primary providers. Prior to approval of any final map for any phase of the development, the property shall be annexed to a Community Facilities District (“CFD”) 2005-1 established under the Mello-Roos Community Facilities Act of 1982 (Government Code § 53311 et seq.) established by the City of Hemet for the provision of police, fire, and and emergency medical services (collectively “Public Safety Services”) and shall be subject to the special tax approved with the formation of the CFD. The City of Hemet Resolution 3193 establishes mitigation fees for all new development to reduce the impact of development on city services. These fees are due at the time of building permit unless deferred by the City.

Fire Protection City of Hemet Fire Dept. Station #3 located at 4110 W. Devonshire lies well within the 5 minute response time to provide fire suppression services to the project. In addition, California Division of Forestry operates fire suppression tankers out of Hemet Ryan Airport to serve the project for incidents of hillside fires. To protect project structures from possible fires from the northern hillsides it is recommended that structures at the development edge adjoining lands to remain as natural open space:

- for structures at the development edge adjoining lands to remain as natural open space:
 1. vegetation within 100' of a structure to be of a fire retardant nature - see the Landscape Guidelines section of this plan
 2. install dual pane windows along elevations facing open space areas.
 3. open eaves shall be enclosed to prevent potential fire contact with internal building attic spaces.
- A 20-foot-wide emergency vehicle access shall be designed to accommodate up to a 32,000 lb gross weight fire apparatus, applicable from the terminus of any private driveway to a public or private street, as shown in Exhibit 4.13.

Police Protection	City of Hemet Police Dept
Emergency Services	City of Hemet Fire Dept. - paramedic services Hemet Valley Ambulance Service - paramedic and ambulance services
Refuse	CR&R Waste and Recycling
Recreation	Valleywide Recreation & Parks District
Schools	Hemet Unified School District
Medical	Hemet Valley Medical Center



Emergency Vehicle Access Typical Layout

Exhibit 4.13

V. PERMITTED USES & DEVELOPMENT REGULATIONS

A. Permitted Uses – Residential

(Tres Cerritos West PPA):

In the SFD 6000 and SFD 8000 areas, permitted and conditionally permitted uses shall be as listed within the "Land Use Matrix" of Section 90-312, of the Hemet Municipal Code. Whenever a business is conducted, even if it is a home occupation, a city business license is required pursuant to the Hemet Municipal Code.

(Tres Cerritos East PPA):

Permitted uses are listed as follows within each of the Single Family Detached Land Use Designations. This list of permitted uses supercedes and replaces the permitted uses listed in the "Land Use Matrix" of Section 90-312, of the Hemet Municipal Code for uses within the Tres Cerritos East Specific Plan.

Permitted Uses

All Tres Cerritos East Residential Zoning Categories:

- 1. Home Occupations pursuant to Section 90-72 of the Hemet Municipal Code.
- 2. Satellite Dish Antennas pursuant to Section 90-1614 of the Hemet Municipal Code.

SFD 5000, SFD 6000, SFD 8000 Zoning Categories:

- 1. Day Care Facilities for six or fewer individuals.

SFD 8000 Zoning Category:

- 1. Accessory Dwelling pursuant to subsection 90-315 of the Hemet Municipal Code.

B. Conditionally Permitted Uses – Residential

Conditionally Permitted Uses, as shown in Section 90-312 of the Hemet Municipal Code, shall be limited to the following within the Tres Cerritos East Specific Plan.

- 1. Churches
- 2. Schools
- 3. Utility Facilities

C. Development Standards for Residential

Minimum development standards for residential uses within the Tres Cerritos West Specific Plan are presented in Table V-1. Minimum development standards for permitted residential uses within the Tres Cerritos East Specific Plan and presented in Table V-2.

D. Conditional Development Permits

Development proposals seeking the maximum density within the Planning Areas 6 through 11 of the Tres Cerritos East Land Use Plan, shall be processed through a Conditional Development Permit, (CDP). The objectives of any Conditional Development Permit are as follows:

- (1) Provide the developer with greater flexibility in site design, density and housing unit options in order to stimulate variety and innovation within the framework of a quality residential environment.
- (2) Direct new community growth and development in the process of implementing the General Plan.
- (3) Achieve more interest, individuality and design character within and among neighborhoods.
- (4) Provide criteria for the inclusion of compatible uses designed to service the residential developments within the community.
- (5) Encourage the most effective use of a site by providing diversified architectural design, adequate public facilities, and ample open space to achieve a functional, well-balanced community.

No application for a Conditional Development Permit shall be approved that fails to meet any of the following findings:

- (1) The proposed location of the conditional development use is in accord with the land use plans and policies of the Tres Cerritos East Specific Plan and complies with other relevant city regulations, plans, policies and design guidelines.
- (2) The proposed location of the conditional development use, and the conditions under which it would be operated or maintained, will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- (3) The proposed conditional development use will comply with the Design Guidelines of the Tres Cerritos East Specific Plan, including scale, building height, and architectural standards and the City Single Family Design Guidelines adopted by Resolution 3700, and the Multi-Family Design Guidelines adopted by Resolution 3677.
- (4) The proposed conditional development use will provide recreational facilities in conformance with City of Hemet standards and design guidelines.
- (5) The proposed conditional development use will mitigate impacts upon local services and facilities through the payment of fees to mitigate school impaction, parks facilities, police and fire protection, and utility providers.

(6) The proposed conditional development use will participate in funding mechanisms for infrastructure, municipal services, and maintenance of private recreational facilities as set forth in the Tres Cerritos East Specific Plan.

(7) The proposed Conditional Development Permit will result in a project having superior design and amenities as compared conventional development.

**TABLE V-1
RESIDENTIAL AREA MINIMUM DEVELOPMENT STANDARDS
TRES CERRITOS WEST**

Residential Lot Area	SFD 6000	SFD 8000
1. Unit square footage range.	1800-2400	2500-3400
2. Min. lot area	6000 sf	8000 sf
3. Lot width	60 feet	74 feet
a. Standard	60-feet	74-feet
b. Cul-de-sac/Knuckle	50-feet	50-feet
4. Lot depth	100-feet	100-feet
5. Front yard setback to living area		
a. One Story	Min.15-feet/avg.17-feet	Min.15-feet/avg.17-feet
b. Two Story	20 feet min./avg.22-feet	Min.20 feet min./avg.22-feet
6. Front yard setback to garage		
4. Front entry	Min.20 feet/avg.22-feet	Min.20 feet/avg.22-feet.
5. Swing-in entry	Min.15 feet/avg. 17-feet	Min.15-feet/avg.17feet
7. Rear yard setback to dwelling and/or patio/room addition.		
F. One Story	20 feet	20 feet
G. Two Story	20 feet	20 feet
H. Covered Patio setback	5 feet	10 feet
8. Side yard setback (1 and 2 story)		
a. Interior side	5/7-feet*	10-feet
b. Street. Side	10-feet	10-feet
9. Lot coverage (ten percent of the remaining area shall be in live landscaping).	60%	60%
10. Height above grade	35-feet (2 stories)	35-feet (2 stories)
11. <u>Parking required (see Article XL of the Hemet Municipal code)¹</u>		
12. <u>Signing permitted (see Article XXXVI of the Hemet Municipal Code)</u>		

*Side yards may alternate between 5 feet and 7 feet provided that a minimum building separation is maintained at 12 feet.

¹CC & R's for the entire development shall prohibit the storage of recreational vehicles onsite unless within an enclosed garage.

**TABLE V-2
RESIDENTIAL AREA MINIMUM DEVELOPMENT STANDARDS
TRES CERRITOS EAST**

	SFD 4000	SFD 4000- Rear Load	SFD 5000	SFD 6000- Rear Load	SFD 6000	SFD 7000	SFD 8000	Estate Residence
Development Standards Location Reference by Exhibit(s)	Exh. 5.3	Exh. 5.4	Exh. 5.5	Exh. 5.6	Exh. 5.7	Exh. 5.8	Exh. 5.9	See Hemet Municipal Code Section 90-311(f)
Development Standards Location Reference by Table	n/a	Table VII-1	Table VII-2	Table VII-3	n/a	n/a	n/a	n/a

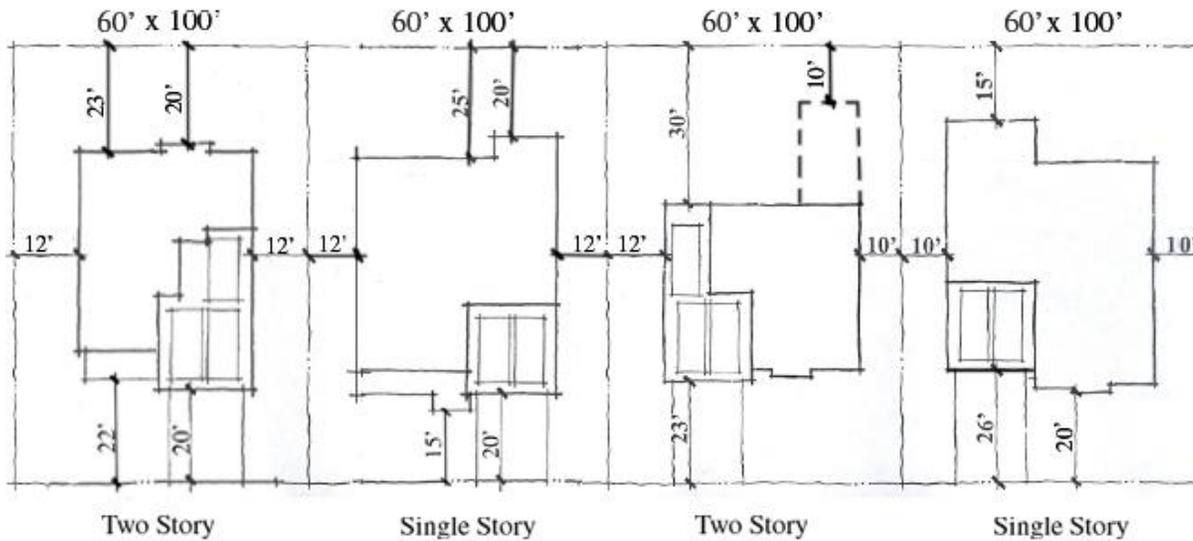
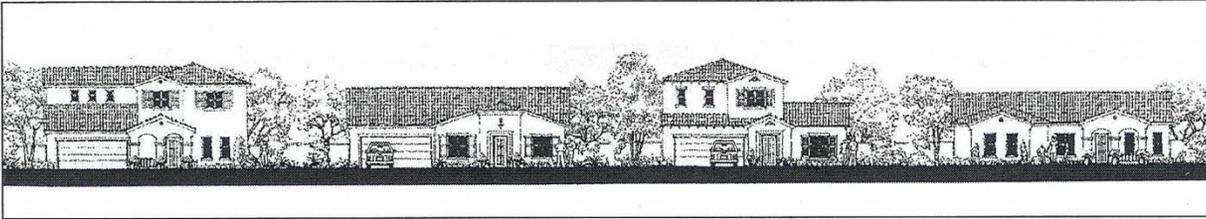
¹CC & R's for the entire development shall prohibit the storage of recreational vehicles.

Tres Cerritos West

SFD 6000

(6,000 S.F. min.)

60' X 90' depth



Product Criteria

Plan SF range 1800 — 2400 SF

Option SF increase 200 — 300 SF

Garage setback

Front	Min 20'
Side-on	Min 15'

Front setback

Porch	15'
Living (single story)	15'
Living (two story)	20'

Sidyard setback

Living (all units)	10' & 10' (20' total)
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Living	20'
Patio	10'

Second Story Setback

Per City Resolution 3700

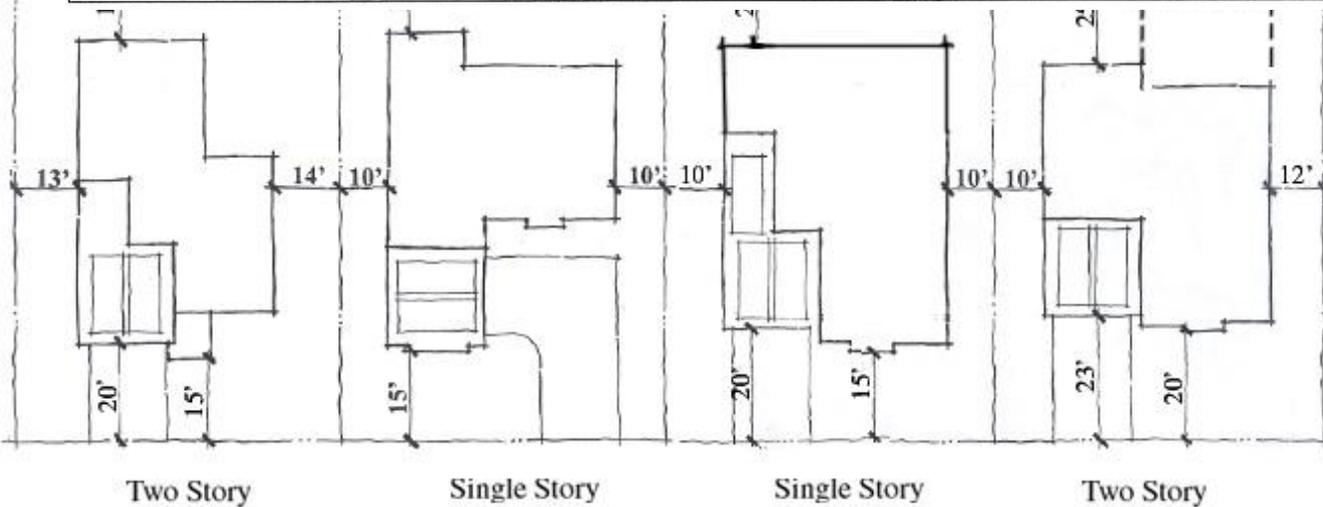
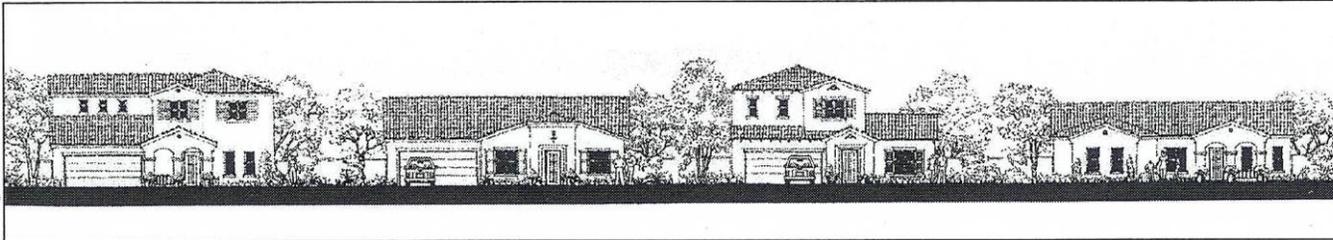
Exhibit 5.1

Tres Cerritos West

SFD 8000

(8,000 S.F. min)

80' width x 100' depth



Product Criteria

Plan SF range	2500-3400 SF
Option SF increase	200-300 SF

Front setback

Porch	10'
Living (single story)	15' min/18' avg
Living (two story)	20' min/22' avg

Garage setback

Front	Min 20' / Avg 22'
Swing-in	Min 15' / Avg 17'

Sideyard setback

Living (single story)	10' & 10' (20' max)
Living (two story)	10' & 10' (20' max)

Rear Setback

Living (single story)	15'
Patio	10'

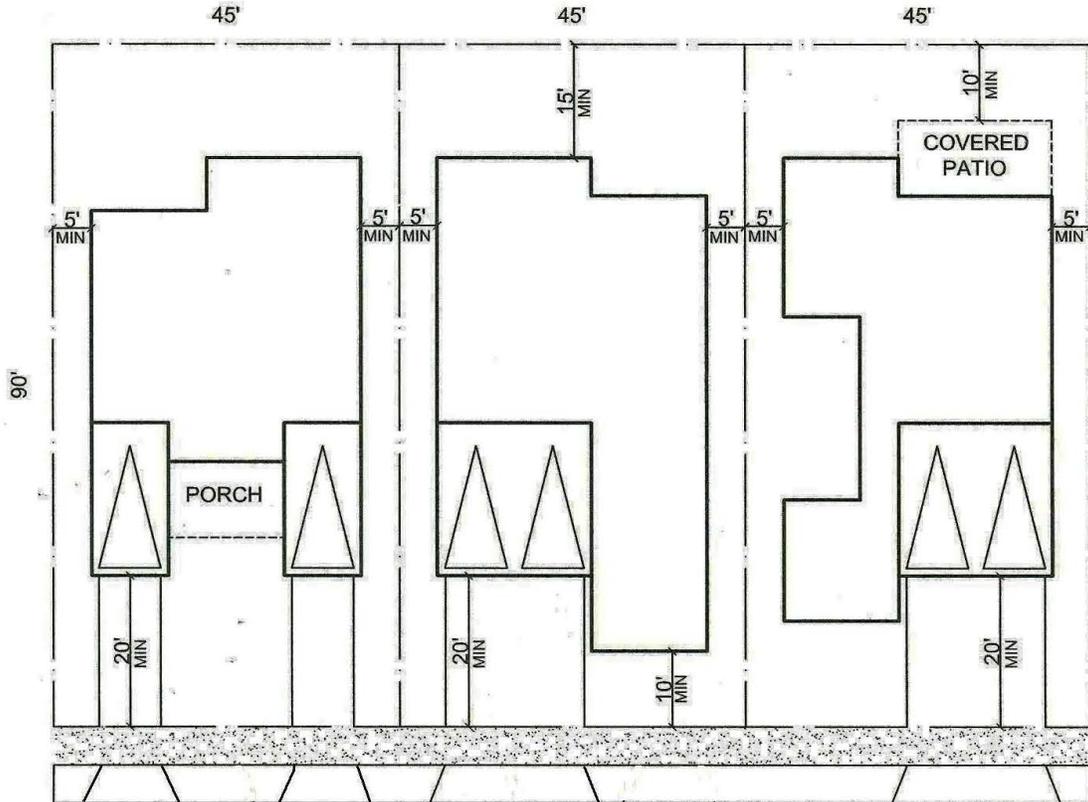
Second Story Setback

Per City Resolution 3700

Exhibit 5.2

TRES CERRITOS EAST

ARCHITECTURAL PRODUCT: 4,000 SF LOTS



SITE REQUIREMENTS

4,000 SF LOTS PA 8 & 10

BUILDING HEIGHT	35' MAX
ALLOWED BLDG STORIES	2 STORIES MAX
TOTAL LOT AREA	4,000 SF MIN
MINIMUM LOT WIDTH/DEPTH	45'/90' MIN
ONE STORY HOME AREA	10% OF BLDG FOOTPRINT MIN
FRONT SETBACK LIVING AREA/PORCH	10' MIN
GARAGE SETBACK	20' MIN
REAR SET BACK LIVING AREA/COVERED PATIO	15' MIN /10' MIN
SIDE YARD SETBACK/SIDEYARD TO STREET SETBACK	5'/10' MIN
MAXIMUM PAVEMENT RATIO IN FRONT SETBACK	50%
SECOND STORY SIDE SETBACK/STREET SETBACK	5'/10' MIN
MAXIMUM LOT COVERAGE	65%

Exhibit 5.3

TRES CERRITOS EAST

ARCHITECTURAL PRODUCT: 4000 SF ALLEY LOAD LOTS

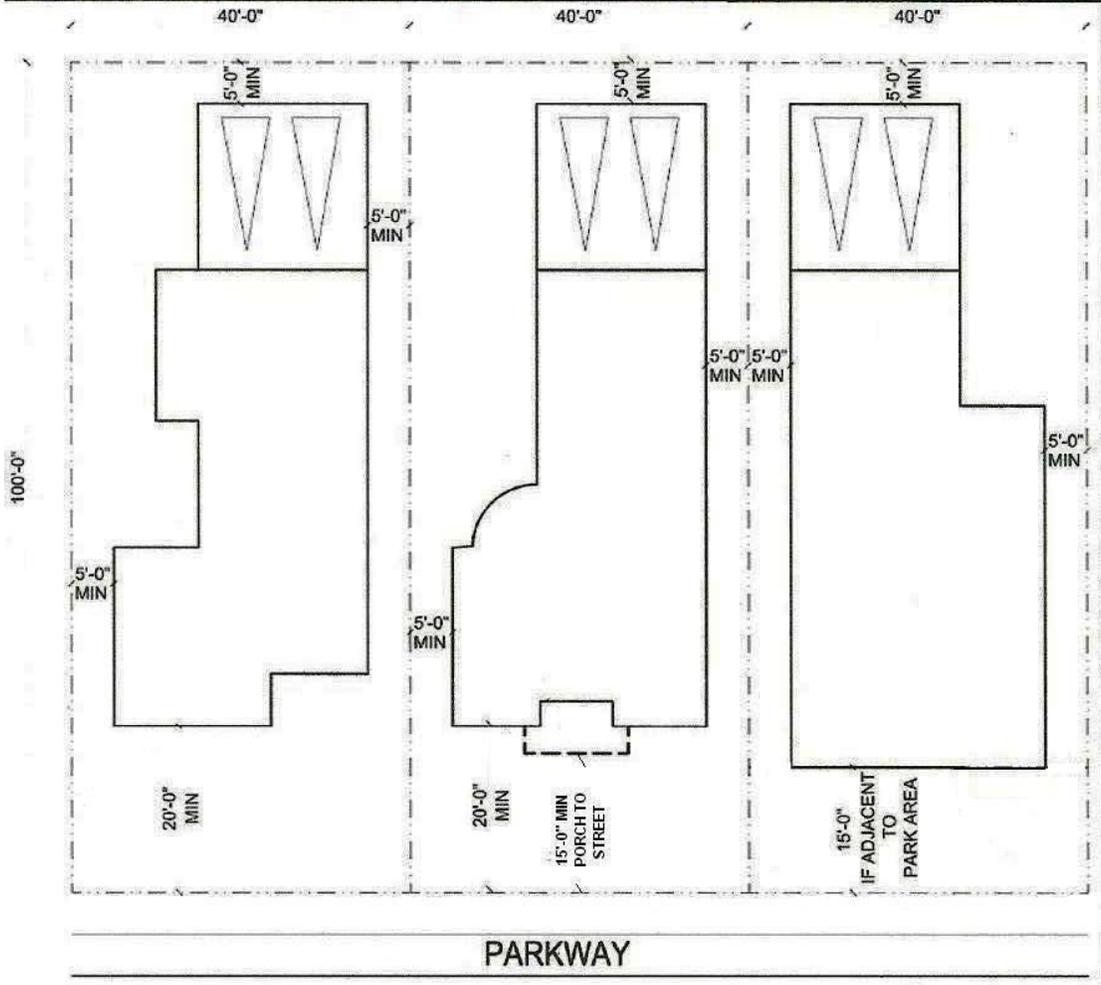


Exhibit 5.4

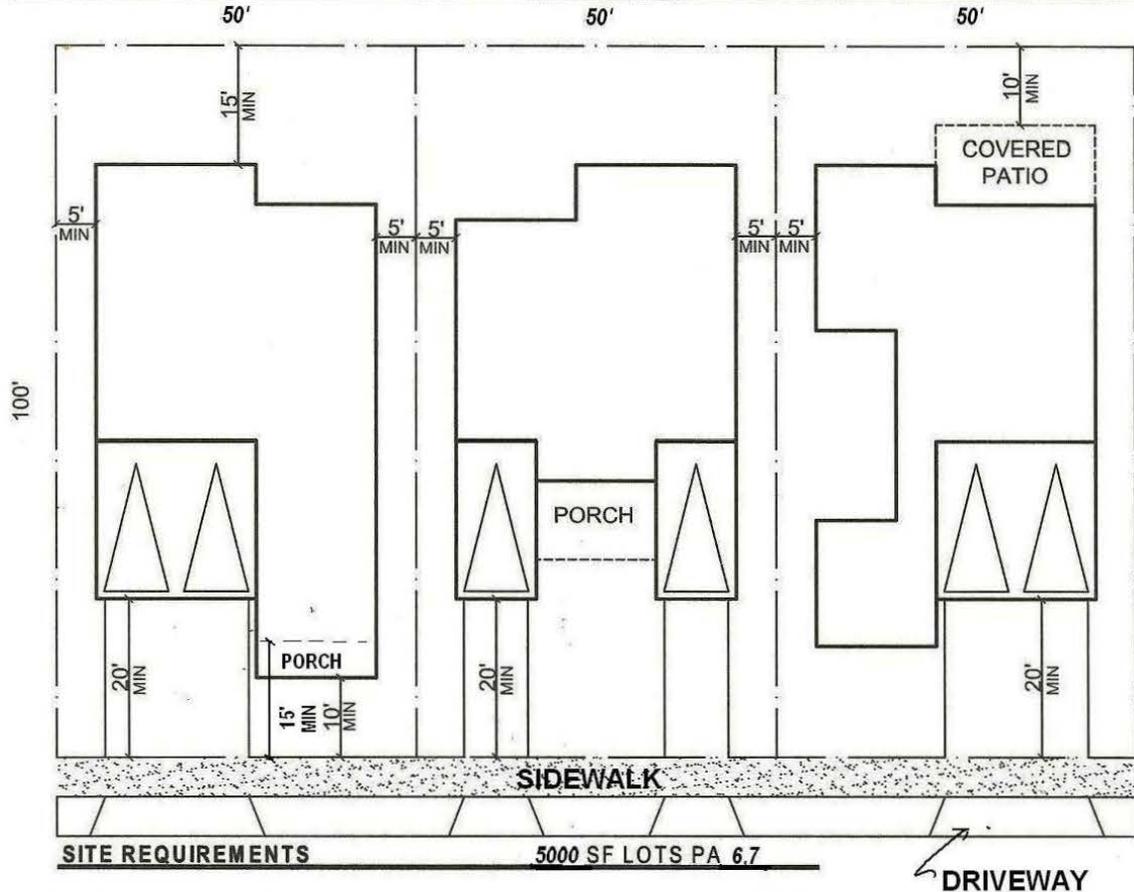
Table VII-1

SITE REQUIREMENTS 4000 SQUARE FOOT ALLEY LOAD LOTS - PA 9

BUILDING HEIGHT	35' MAX
ALLOWED BUILDING STORIES	2 STORIES MAX
TOTAL LOT AREA	4,000 SQUARE FEET
MINIMUM LOT WIDTH	40' MIN
MINIMUM LOT DEPTH	100' MIN
ONE STORY HOME RATIO	25%
FRONT SETBACK LIVING AREA/PORCH ON STREET	20'/15' MIN.
GARAGE SETBACK FROM REAR	5' MIN
REAR SETBACK LIVING AREA/COVERED PATIO AREA	10' MIN
SIDE YARD SETBACK	5' MIN'
MAXIMUM PAVEMENT RATIO IN FRONT SETBACK	50%
SECOND STORY SIDE SETBACK	5' MIN.
STREET SIDE YARD SETBACK	10' MIN
MAXIMUM LOT COVERAGE	65%

TRES CERRITOS EAST

ARCHITECTURAL PRODUCT: 5000 SF LOTS



BUILDING HEIGHT	35' MAX
ALLOWED BUILDING STORIES	2 STORIES MAX
TOTAL LOT AREA	5000 SF MIN
MINIMUM LOT WIDTH	50' MIN
ONE STORY HOME AREA	10% OF BLDG FOOTPRINT MIN
FRONT SETBACK LIVING AREA/PORCH	15' / 10' MIN
GARAGE SETBACK	20' MIN
REAR SET BACK LIVING AREA/COVERED PATIO	15' / 10' MIN
SIDE YARD SETBACK	5' MIN
MAXIMUM PAVEMENT RATIO IN FRONT SETBACK	50%
SECOND STORY SIDE SETBACK	10' MIN

Exhibit 5.5

Table VII-2

SITE REQUIREMENTS

5000 SQUARE FOOT LOTS - PA 6 & 7

BUILDING HEIGHT	35' MAX
ALLOWED BUILDING STORIES	2 STORIES MAX
TOTAL LOT AREA	5,000 SQUARE FEET
MINIMUM LOT WIDTH	50' MIN
MINIMUM LOT DEPTH	100' MIN
ONE STORY HOME RATIO	25%
FRONT SETBACK LIVING AREA/PORCH ON STREET	20'/15' MIN
FRONT SETBACK LIVING AREA/PORCH ON PARK	15'/10' MIN
GARAGE SETBACK FROM REAR	5' MIN
REAR SETBACK LIVING AREA/COVERED AREA	10' MIN
SIDE YARD SETBACK/SIDE TO STREET SETBACK	5' /15' MIN
MAXIMUM PAVEMENT RATIO IN FRONT SETBACK	25%
MAXIMUM LOT COVERAGE ONE STORY/TWO STORY	65%/50%

TRES CERRITOS EAST

ARCHITECTURAL PRODUCT: 6000 SF Alley Loads Lots



PLAN 2
American Country

PLAN 1
Spanish Bungalow

PLAN 3
Monterey

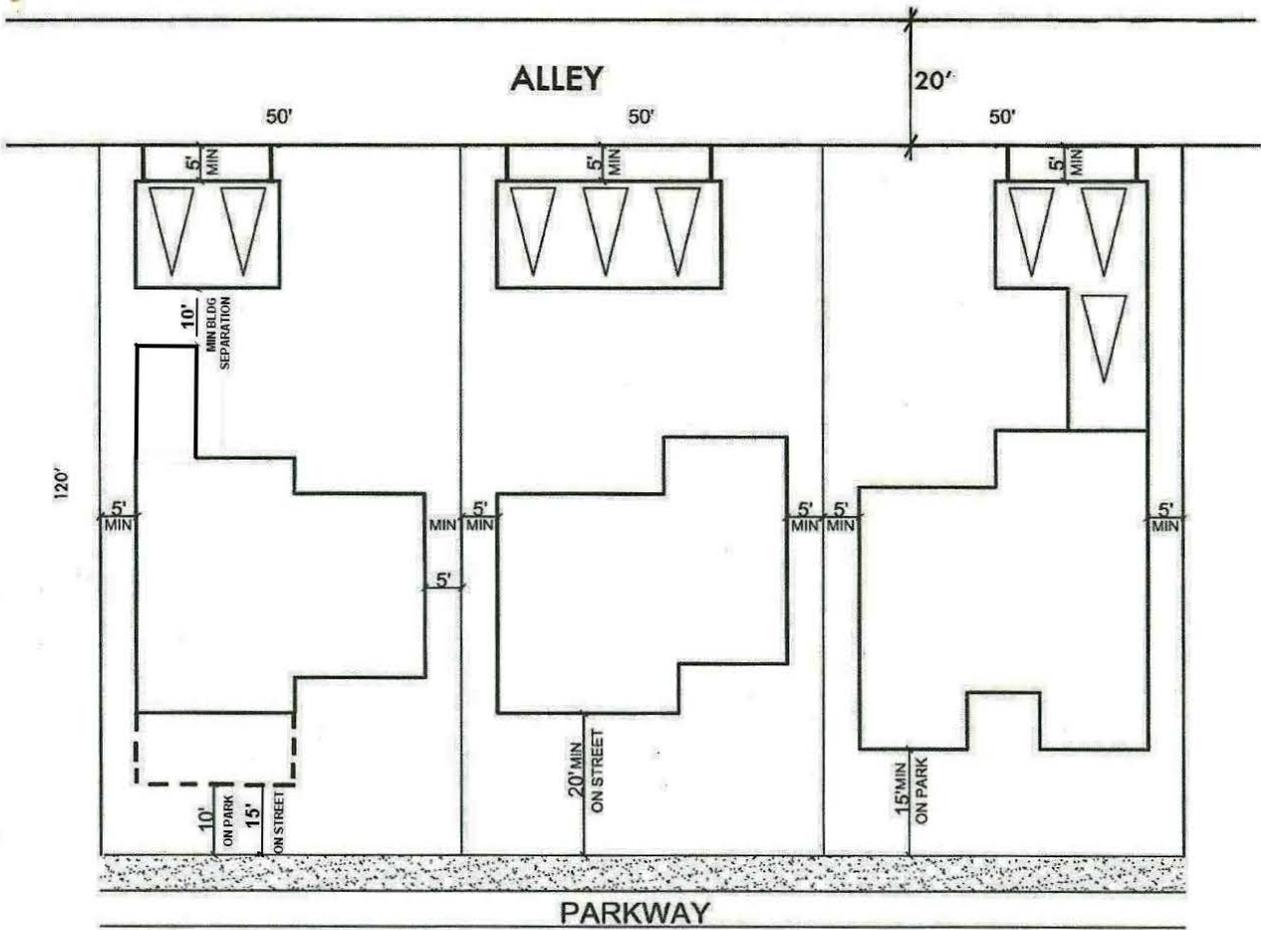


Exhibit 5.6

Table VII-3

SITE REQUIREMENTS 6000 SQUARE FOOT ALLEY LOAD LOTS - LDR PA 5

BUILDING HEIGHT	35' MAX
ALLOWED BUILDING STORIES	2 STORIES MAX
TOTAL LOT AREA	6,000 SQUARE FEET
MINIMUM LOT WIDTH	50' MIN
MINIMUM LOT DEPTH	120' MIN
ONE STORY HOME RATIO	25%
SINGLE STORY ELEMENT AREA	10% MIN
FRONT SETBACK LIVING AREA/PORCH ON STREET	20'/15' MIN
FRONT SETBACK LIVING AREA/PORCH ON PARK	15'/10' MIN
GARAGE SETBACK FROM REAR	5' MIN
REAR SETBACK LIVING AREA/COVERED AREA	15'/10' MIN
SIDE YARD SETBACK/SIDE TO STREET SETBACK	5' /10' MIN
MAXIMUM PAVEMENT RATIO IN FRONT SETBACK	25%
MAXIMUM LOT COVERAGE ONE STORY/TWO STORY	65%/50%

TRES CERRITOS EAST

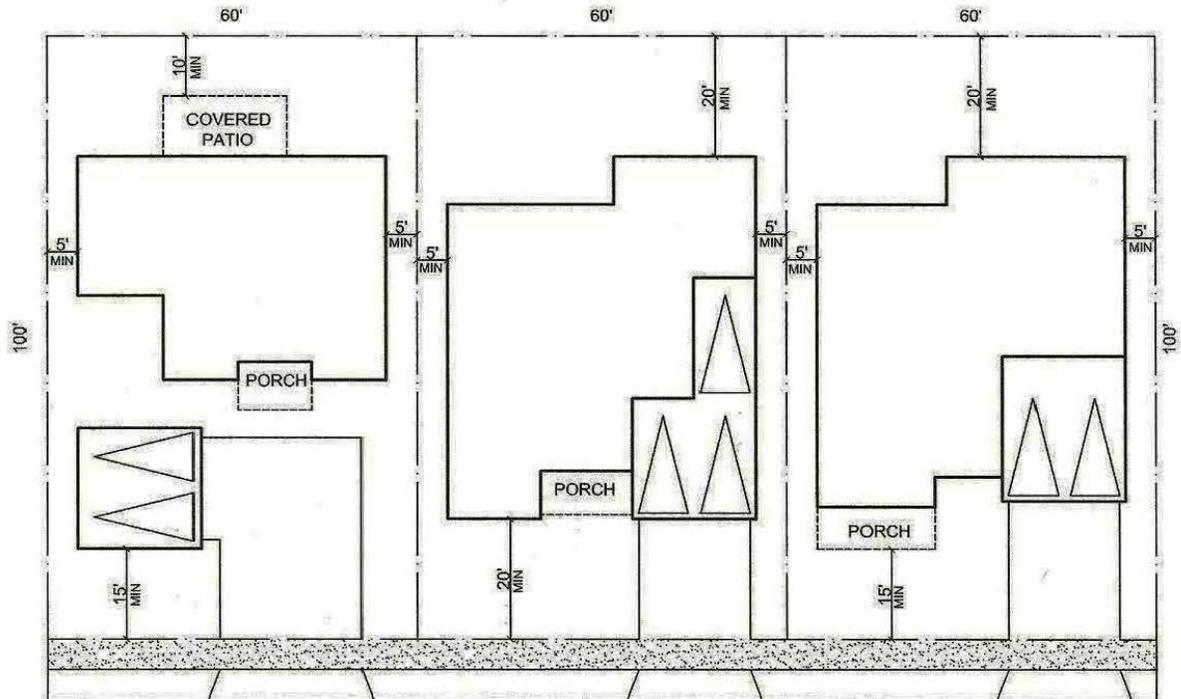
ARCHITECTURAL PRODUCT: 6,000 SF LOTS



PLAN 2
French Country

PLAN 1
American County

PLAN 3
Spanish Bungalow



SITE REQUIREMENTS

6,000 SF LOTS PA 3 & 4

BUILDING HEIGHT	35' MAX
ALLOWED BULDING STORIES	2 STORIES MAX
TOTAL LOT AREA	6,000 SF
MINIMUM LOT WIDTH/DEPTH	60'/100' MIN
ONE STORY HOME RATIO	25% MIN
FRONT SETBACK LIVING AREA/PORCH	18' MIN-20' AVG/15' MIN
GARAGE SET BACK FRONT/SWING IN	20'/15' MIN
MAXIMUM NUMBER OF SWING IN GARAGE UNITS	25% MAX
REAR SET BACK LIVING AREA/COVERED PATIO	20'/10' MIN
SIDE YARD SETBACK/SIDEYARD TO STREET	5'/10' MIN
MAXIMUM PAVEMENT RATIO IN FRONT SETBACK	50%
SECOND STORY SIDE SETBACK/SETBACK TO STREET	5'/10' MIN
MAXIMUM LOT COVERAGE ONE STORY/TWO STORY	65%/55%
SINGLE STORY ELEMENT AREA	10% MIN

Exhibit 5.7

TRES CERRITOS EAST

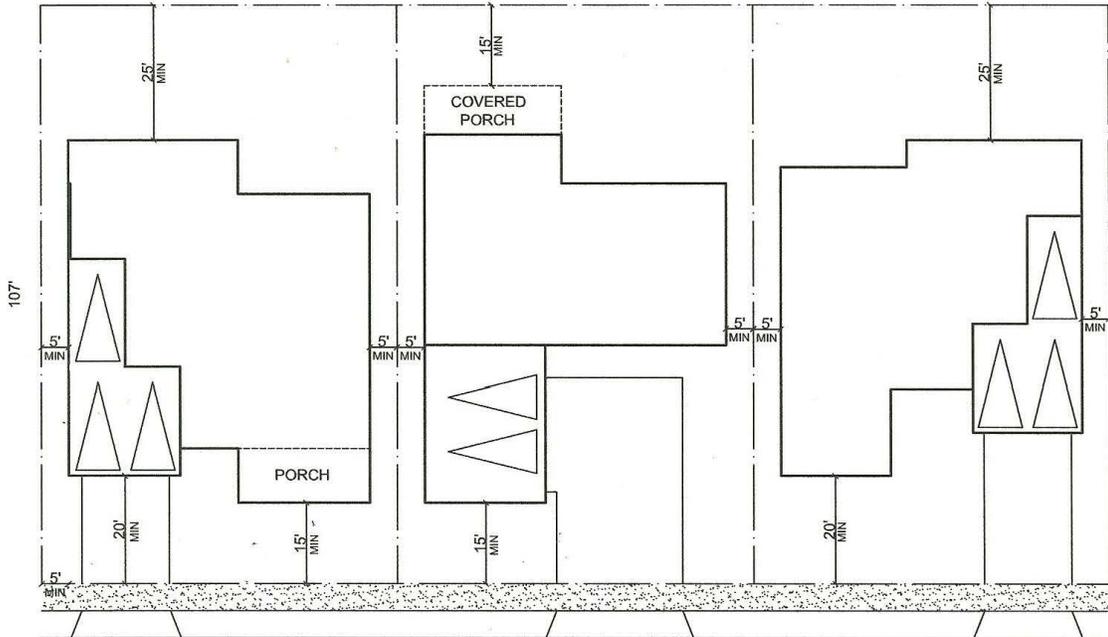
ARCHITECTURAL PRODUCT: 7000 SF LOTS - LDR



PLAN 1
Americana
65'

PLAN 2
Spanish Revival
65'

PLAN 3
Tuscan
65'



SITE REQUIREMENTS

7,000 SF LOTS PA 3 LDR

BUILDING HEIGHT	35' MAX
ALLOWED BULDING STORIES	2 STORIES MAX
TOTAL LOT AREA	7,000 SF MIN
MINIMUM LOT WIDTH/DEPTH	65'/100' MIN
ONE STORY HOME RATIO	25% MIN
FRONT SETBACK LIVING AREA/PORCH	20'/15' MIN
GARAGE SET BACK FRONT/SWING IN	20'/15' MIN
REAR SET BACK LIVING AREA/COVERED PATIO	25'/15' MIN
SIDE YARD SETBACK/SIDEYARD TO STREET ONE STORY	5'/10' MIN
SIDE YARD SETBACK/SIDEYARD TO STREET TWO STORY	7.5'/10'
MAXIMUM PAVEMENT RATIO IN FRONT SETBACK	50%
MAXIMUM LOT COVERAGE ONE STORY/TWO STORY	65%/45%

Exhibit 5.8

TRES CERRITOS EAST

ARCHITECTURAL PRODUCT: TOWNHOMES



Santa Barbara



American Country

SITE REQUIREMENTS

TWO STORY TOWNHOMES

BUILDING HEIGHT	40' MAX
ALLOWED BUILDING STORIES	2 STORIES MAX
USABLE PATIO AREA	8' x 12' MIN
GARAGE SETBACK FROM COMMON DRIVEWAY	3' MIN/5' MAX TO ALLEY
FRONT YARD PATIO WALL/FENCE HEIGHT	4' MAX
ONE STORY ELEMENT	10% OF FRONT ELEVATION
BLDG. SETBACK FRONT TO FRONT	25' MIN
BLDG. TO BLDG. SIDE SETBACK	12' MIN
BLDG. SETBACK FROM STREET	15' MIN
BLDG. SETBACK FROM COMMON DRIVEWAY	30' MIN
PATIO SETBACK FRONT TO FRONT	12' MIN
PERIMETER SETBACK	20' MIN
GUEST PARKING RATIO	1 SPACE/4 UNITS

Exhibit 5.10

TRES CERRITOS EAST

ARCHITECTURAL PRODUCT: TOWNHOMES

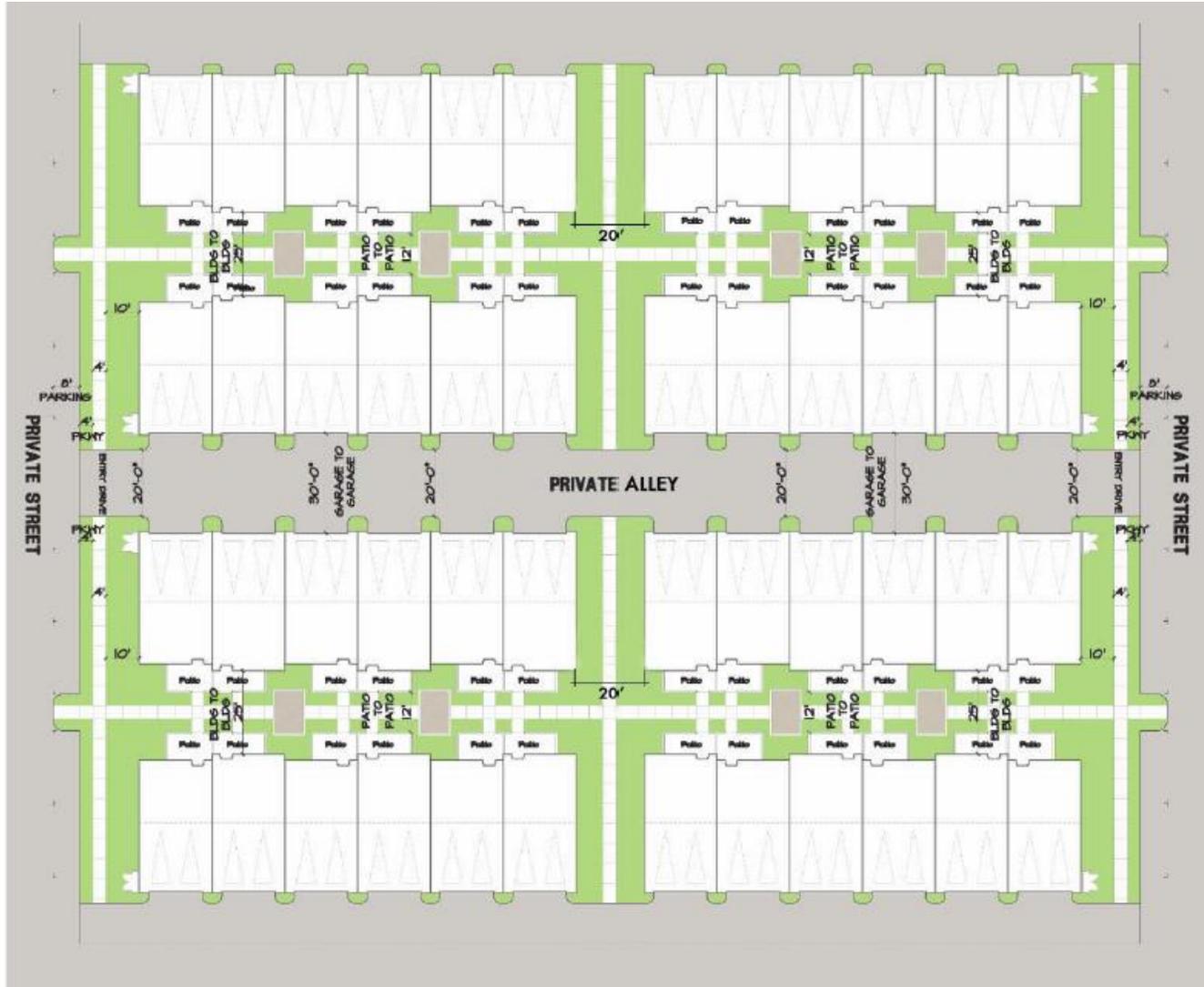


Exhibit 5.11

TRES CERRITOS EAST

ARCHITECTURAL PRODUCT: TOWNHOMES



Exhibit 5.12

C. Sustainable Design

Tres Cerritos East incorporates the following provisions to maximize the efficient use of resources.

Water Resources

- Surface water will be collected and treated in a water quality basin to reduce or eliminate urban pollutants before being released into the storm drain system.
- The project will use reclaimed water for landscape irrigation as required by EMWD. If reclaimed water is not available is not in the vicinity of the site, the landscape irrigation system will still be designed to allow connection to reclaimed water when it does become available.
- Turf, wherever practical, shall be minimized in favor of groundcover to reduce watering.
- Drip and bubbler irrigation will be utilized, wherever practical.
- Smart controllers will be utilized to manage irrigation cycles, with rain shut off devices to interrupt irrigation cycles when it rains.
- California-friendly drought tolerant landscaping will be used into the overall planting concept. Native and drought tolerant plant species will be utilized.
- Hardscape boulders and crushed rock will be used to minimize the use of groundcover and eliminate the need for irrigation to some areas.
- A Storm Water Pollution Prevention Plan will be prepared to identify best management practices to eliminate impacts created by sediments and other construction-related pollutants on downstream properties and any sensitive water bodies.

Energy Efficiency

- Project architecture will incorporate extended roof overhangs to reduce heat gain.
- Separate and recycle construction debris.
- Shade windows based on building orientation.
- Maximize use of non-incandescent light bulbs
- Apply heat-resistant roof coatings to reduce heat gain.
- Use high efficiency heating and cooling systems.
- Use low consumption plumbing fixtures.
- The project will conform to the current Building Code regulations.
- Pedestrian amenities will be provided throughout the project to encourage walking to reduce vehicle trips.

VI. IMPLEMENTATION & MAINTENANCE

A. ADJUSTMENTS TO THE TRES CERRITOS WEST SPECIFIC PLAN 03-02:

In the event adjustments to the Plan are deemed necessary to meet changes in State or Local standards or market demands for revised housing product or type or lot size, or commercial needs, adjustments in the Plan may be made as follows:

- 1. Adjustments in residential land use to reduce the number of units by increasing lot sizes and reducing the total number of lots, may be made without a public hearing upon approval of the Planning Director.
- 2. Density transfers for up to 10% increase/decrease in residential units and/or product type from one planning area to another without increase in total project unit count of 710 units, subject to Planning Director approval.
- 3. Decreases in open space acreage of up to ten (10) percent shall be permitted upon the approval of the Planning Director.

Adjustments to the alignment, location and sizing of utilities and facilities serving the site or adjacent areas are not subject to Specific Plan approval provided they are approved and meet the standards of the applicable utility provider.

All alterations to the Plan, whether subject to amendment to the Specific Plan, Planning Director approval or utility agency approval shall be documented in writing and where applicable graphic form and shall become part of the Specific Plan.

B. ADJUSTMENTS TO THE TRES CERRITOS EAST SPECIFIC PLAN 06-001:

1. Administrative Changes

The following changes in the Specific Plan may be made with the approval of the Planning Director and without amending the plan.

- 1.1 The addition of new information to the Specific Plan maps or text for the purpose of clarification that does not change the effect or intent of any regulation.
- 1.2 Changes to the Specific Plan area infrastructure such as drainage systems, roads, water and sewer systems, etc, which do not have the effect of significantly increasing or decreasing capacity in the Specific Plan area beyond the specific plan density range, and do not otherwise change the intent of any provision of this plan.
- 1.3 The Planning Director shall have the duty to interpret the provisions of this Specific Plan. All such interpretations shall be reduced to written form and

be permanently maintained. Any person adversely effected by such an interpretation may request that such interpretation be reviewed by the Planning Commission.

- 1.4 In approving or conditionally approving a minor adjustment, the Planning Director shall find that because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of development standards contained herein deprives such property of privileges enjoyed by other properties in the vicinity. In addition, the Planning Director shall find:
 - a. There are practical reasons or benefits of improved design which justify a deviation from prescribed development standards.
 - b. The adjustment, with any conditions imposed, will provide equal or greater benefit to adjacent property.
 - c. The adjustment is no in conflict with the objectives of the General Plan or the general intent of this Specific Plan.
 - d. The Planning Director is authorized to adjust 10% of the number of units allowed in a Planning Area achieved through transfer or deletion. The Planning Director may increase or decrease the land area of a Planning Area by 10%. No allowable units, exceeding the total number of units allowed in the Specific Plan, may be allowed without a Specific Plan Amendment.
- 1.5 Upon appeal to the Planning Commission of any decision of the Planning Director made pursuant to this Section, the Planning Commission shall set the matter for hearing in a manner prescribed in the Hemet Municipal Code Zoning Ordinance.

2. Amendments

The following changes to the Specific Plan shall require an amendment to the Specific Plan.

- a. Changes in the text or maps of the Specific Plan other than the addition of new information which does not change the effect or intent of any regulation or is otherwise permitted as described within this Specific Plan.
- b. Changes in the overall Specific Plan area boundaries.
- c. Changes in infrastructure, such as drainage systems, roads, water and sewer, etc, which have the effect of significantly increasing or decreasing capacity beyond the specific density range in the Specific Plan are pending Public Works and Planning Director review.

- d. Major changes in the designated alignment or location of the backbone infrastructure system.
- e. Any other additions or deletions which deemed by the Planning Director would change the effect or intent on any regulation.

3. Amendment Procedures

The following procedures, as outlined in California Government Code Section 65500, are required to be followed when adoption of an amendment to a Specific Plan is desired.

An application, with any necessary supporting documentation along with the required fee, shall be submitted to the Planning Department stating in detail the reasons for, and nature of, the proposed amendment.

- a. Before taking action on a proposed amendment to the Specific Plan, the Planning Commission must hold at least one public hearing. Notice for this hearing shall be given at least ten (10) days in advance and must be published at least once in a newspaper of general circulation.
- b. The recommendation of an amendment to the Specific Plan shall be approved by a resolution carried by a majority of the total voting members of the Planning Commission.
- c. The recommendation of the Planning Commission, together with additional related documents and information, shall be transmitted to the City Council. The transmittal may also include any pertinent information with regard to the reasons for the Planning Commission decision.
- d. The City Council shall hold at least one public hearing for each proposed amendment pursuant to the provisions of the California Government Code. The action of the City Council shall be to approve, disapprove, or conditionally approve the proposed Specific Plan and to adopt the necessary resolution or ordinance, as appropriate
- e. An amendment to the Specific Plan may be initiated by the City of Henet. The City Council shall first refer such proposal to the Planning Commission for report. The Planning Commission shall report back to the City Council within forty (40) days after the request by the City Council. Before adopting the proposed plan or amendment, the City Council shall hold at least one public hearing. Notice of the time and place of the hearing held pursuant to this section shall be given in the time and manner provided for the giving of notice of hearings by the Planning Commission as specified above.

- f. Amendments to the Specific Plan can also be requested by a property owner of record within the project area. Such amendments require that actual development be proposed by the applicant, (in order to minimize speculation), and submitted to the Planning Director, unless the Planning Director determines that certain materials are not required. The Planning Director shall review all requests for amendments and prepare a report and recommendation to the Planning Commission, and thereafter to the City Council.
- g. All proposed amendments to the Specific Plan shall be processed and acted upon pursuant to the Zone Change amendment provisions contained in the City of Hemet Municipal Code Zoning Ordinance.

4. Amendment Findings

- a. The Plan or amendment systematically implements and is consistent with the General Plan.
- b. The Plan or amendment provides for the development of a comprehensively planned project that is superior to development otherwise allowed under the conventional zoning classifications.
- c. The Plan or amendment provides for the construction, improvement, or extension of transportation facilities, public utilities, and public services required by long-term needs of the project and/or other residents, and compliments the orderly development of the City beyond the project's boundaries.

C. IMPLEMENTATION PROJECT-WIDE

The Tres Cerritos West Specific Plan area and the Tres Cerritos East Specific Plan area shall be implemented through the processing and review of tract maps, parcel maps, and site plans, ensuring development consistency with their respective Specific Plan objectives. Maintenance of all improvements within major public rights-of-way shall be performed through City of Hemet Lighting and Landscaping Maintenance District annual assessments. All public improvements shall be built to City of Hemet Standards, and upon completion, shall be deeded to the City. Additional landscaped areas shall be maintained by a Homeowners Association, or as approved by the City Council.

1. Applicability

All development within the Tres Cerritos Specific Plan shall be subject to the implementation procedures described herein.

2. Development Review Process

Tentative Tract/Parcel Maps and Site Development plan for development within a Specific Plan area shall be submitted to the Planning Department for review and processing. Tentative Maps and Site Development Plans shall be prepared and submitted in accordance with City Municipal Codes. They will be reviewed by the City for consistency with the Land Use Plan Map, with the Infrastructure Plan, (Chapter IV), and with the Permitted Uses and Development Regulations, (Chapter V), that are set forth in this document.

D. REVIEW PROCEDURES

The Specific Plan may be implemented through the tentative tract map review process.

1. Substantial Conformance

- 1.1. The Planning Director shall authorize site plan, architectural, or landscape design changes of 10% of the total units without exceeding the total number of units that are allowed within the Specific Plan.
- 1.2. Interim onsite drainage facilities, as proposed, may be removed pending the formation of a Community Facilities District, (CFD) or Infrastructure Facilities District, (IFD), and collaborative approval with the Public Works Director.
- 1.3. The locations and configurations of proposed landscaping are conceptual and subject to change. They are intended only to illustrate character for the Tres Cerritos East Specific Plan site plan. Final planting species, locations, sizes, and configurations of landscaping will be determined in a landscape plan prepared by a professional Landscape Architect for administrative review.

2. Parcel/Tentative Tract Map

A tentative tract map or parcel map, as applicable, shall be filed subject to the provisions as stipulated in Chapter 70, Subdivisions, Article V, Tentative Maps, Sections 70-131 through 70-134 of the City of Hemet Municipal Code Subdivisions Ordinance. After map approval, the final map may be recorded and building permits issued.

3. Site Plan, Architectural, and Landscape Design Review Requirements

The architecture and site plans for future development within the project shall be subject to Planning Commission review and approval. When an administrative design decision to the Specific Plan is being proposed that may significantly affect the aesthetics of the original Specific Plan requirements, the Planning Director may initiate

a review by the Planning Commission to make a determination of Specific Plan consistency. Site plan and design reviews are subject to Chapter 90, Article XLI, Site Development Plan Review in the City of Hemet Municipal Code Zoning Ordinance.

E. PARCEL/TENTATIVE TRACT MAP REVIEW REQUIREMENTS

Parcel/Tentative tract maps shall comply with the review requirements established in titles of City of Hemet Municipal Codes entitled “Subdivisions” (Chapter 70).

The exact format, content, and order of project data for parcel maps and tentative tract map submittals shall be determined in consultation with the City of Hemet Planning Department pursuant to Chapter 70, Subdivisions, Article V, Tentative Maps, in the City of Hemet Municipal Code.

F. ENFORCEMENT

The Tres Cerritos East Specific Plan serves as both a planning and regulatory function. The provisions of this section are set forth to properly relate the Specific Plan to the provisions within the City’s Municipal Code. If there is a conflict or inconsistency between this Specific Plan and the City’s Municipal Code, the contents of this Specific Plan shall prevail. In cases where this Specific Plan does not address specific development standards, the provisions of the appropriate sections of the Municipal Code shall govern. Enforcement of the provisions for the Specific Plan shall be as follows.

1. The Planning Director shall have the duty to enforce the provisions of this Specific Plan.
2. The Planning Director shall have the duty to interpret the provisions of the Tres Cerritos East Specific Plan area. All such interpretations shall be reduced to written form and be permanently maintained. Any person aggrieved by such interpretation may request that such interpretation be reviewed by the Planning Commission.
3. Upon adoption of the Tres Cerritos East Specific Plan Amendment, the development standards and procedures established herein will become the governing zoning regulations and standards for land uses within the Tres Cerritos East Specific Plan area.
4. All construction within the boundaries of this Specific Plan shall comply with all provisions of the California Building Code and various mechanical, electrical, plumbing, fire, and security codes adopted by the City of Hemet.

G. PHASING PLAN

Tres Cerritos West:

Phase 1: The Tres Cerritos West PPA area shall constitute Phase 1. All public improvements, utilities, drainage devices, fuel modification, parks, paseos, and entry

features associated with this phase shall be constructed as outlined in this document subject to a phasing plan approval by City staff.

Sequencing of development phases is depended upon logical extension of utilities and emergency and construction access and egress, and construction of infrastructure improvements, as required by the City of Hemet to adequately serve each Phase.

TABLE IV-3 PHASE ONE ANTICIPATED CONSTRUCTION SCHEDULE FOR TCW*		
HOUSING TYPE	NUMBER OF UNITS	LOCATION
SFD 6000	88	NORTH OF CELESTE RD. AT PROJECT ENTRIES, AS INDICATED ON EXHIBIT 4
SFD 8000	89	GENERALLY NORTH OF STREET A AS INDICATED ON EXHIBIT 4 AND TRACT 31513

*Location for Phase I for any housing type is subject to change based on requirements imposed by the Developers Lender, or market conditions.

Recreational amenities consisting of parks and paseos will be constructed as part of the tract maps that contain these features. It is anticipated that overall build-out will occur over a period of 5 to 8 years.

Tres Cerritos East:

Phasing, as in most development projects, will be driven by market conditions and the availability of utilities to serve the various phases within the development. The following is a preliminary and brief phasing plan description of the development areas and utility improvements and access needed to implement the phase. Each phase will have two separate points of ingress/egress as shown on the **Exhibit 6.1**, as well as sewer lines, water lines, utilities, and traffic controls in accordance with utility and traffic mitigation plans.

Development within individual planning areas may occur in sequences provided that two separate points of ingress/egress as well as sewer lines, water lines, utilities, and traffic controls are provided in accordance with the traffic mitigation and utility plans.

Parcel maps shall be permitted to establish parcels for the purpose of sale or financing, and may create multiple parcels within a designated planning area provided that two separate points of ingress/egress as well as sewer lines, water lines, utilities, and traffic controls are provided in accordance with the traffic mitigation and utility plans.

Phase 1

Phase 1 consists of PA 9, PA 10, PA 11, the Sports Park, the recreation center, and three neighborhood parks. The private recreational center will

be constructed prior to the issuance of the 200th building permit within the Phase.

Phase 1 extends from the intersection of Myers Street and Devonshire Avenue, where access and an existing sewer connection are available to serve the project, to the south and west side of Street 'A' and the southeast side of Menlo Avenue to Celeste Road. The following street improvements will be constructed as part of Phase 1:

- Construct the westerly half-width of Cawston Avenue from Devonshire Avenue to Menlo Avenue.
- Construct the northerly half-width of Devonshire Avenue from Myers Street to Cawston Avenue.
- Construct full-width of Menlo Avenue from Devonshire to Celeste Street.
- Construct full-width of Celeste Street from Menlo to the western project boundary.
- Construct Menlo with 32 feet of paving from Celeste Street to Cawston Avenue.
- Construct half-width of 'A' Street, plus twelve (12) feet, from Menlo Avenue to Devonshire Avenue.

These improvements will assure two points of access to Phase 1 at any given time.

Phase 1 would also include the construction of the City's master planned drainage channel from Seattle Street and Cawston Avenue southerly along the west side of Cawston then west along the north side of Devonshire Avenue to Myers Street.

With the construction of offsite downstream drainage facilities all of the selected residential product in PA 11 can be constructed at any time during the construction of the overall project. If downstream facilities are not constructed prior to or concurrently with Phase 1, an interim detention basin would be constructed in a portion of Planning Area 11 as shown in **Exhibit 6.1** and as described in the Drainage section. Final development of Planning Area 11, can only occur after downstream facilities are constructed and the interim detention basin is no longer needed.

Phase 2

Phase 2 consists of two construction phases (PA 1, PA 4 and PA 5). An access lane will be constructed from the local street serving Planning Area 5 to Celeste St. Street and utility connections will be extended to the boundary of Phase 5 for future extension.

The linear park and the remaining public street improvements on Menlo Avenue will be constructed and dedicated to the City concurrently with the Final Tract Map recordation for that portion of Planning Area 5, contiguous to the linear park contained therein.

Phase 3

Phase 3 will consist of two construction phases (PA 6 and PA 7) with access and utility connections in Menlo Avenue and Street "A". Portions of Street 'A' and Menlo Avenue, adjacent to this phase, would be completed with this phase. A neighborhood park will be constructed concurrently with residential development within Planning Area 6.

Phase 4

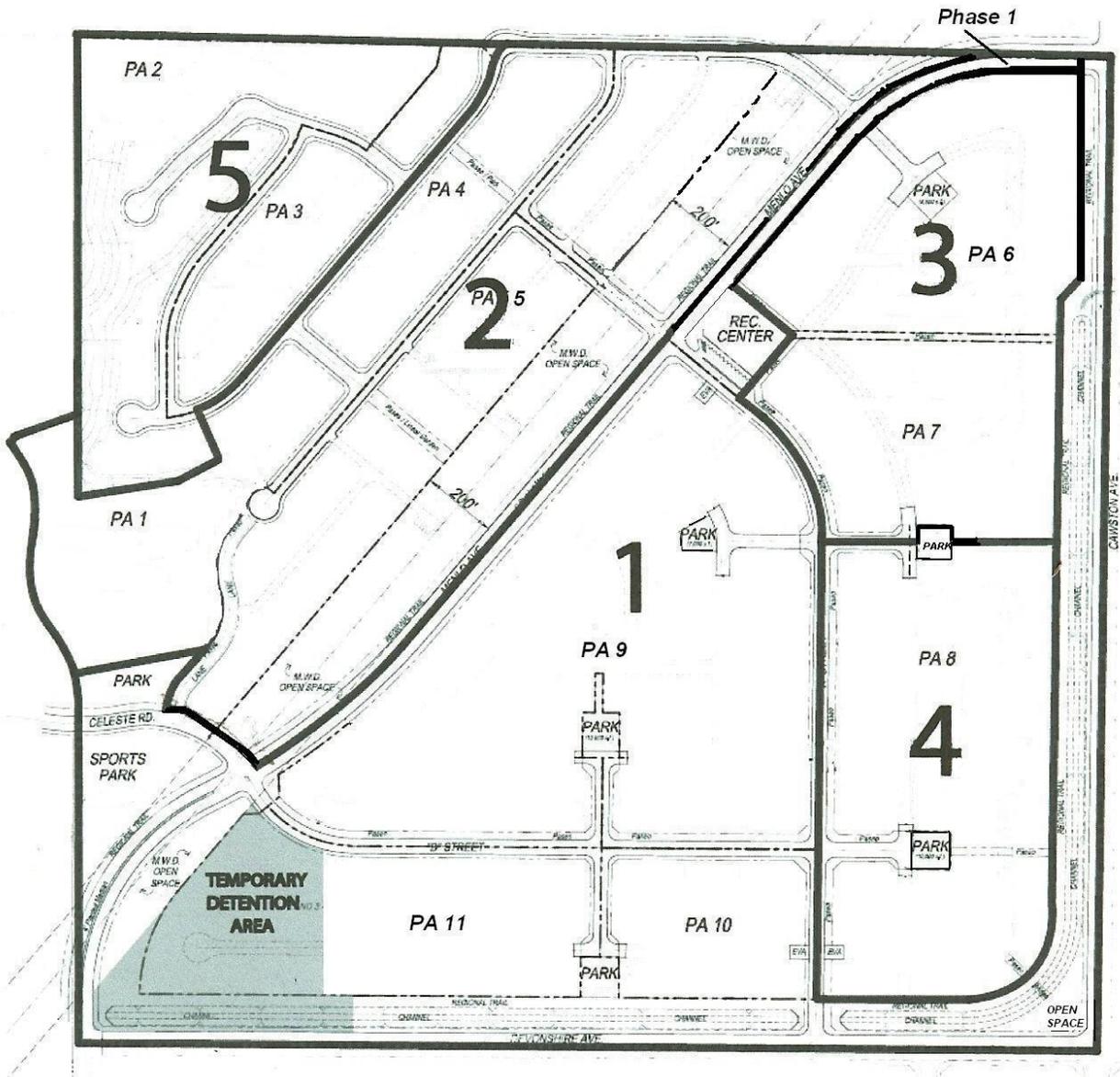
Phase 4 will consist of PA 8 with access and utility connections coming from two points along Street "A". Two neighborhood parks will be constructed concurrently with the initial development within this planning area.

Phase 5

PA 2 and PA 3 will comprise Phase 5. The circulation system and utility connections will be extended from two points within Phase 2.

Phasing Plan Amendments

Changes to the Phasing Plan will be subject to an administrative review and approval by the City Planning Department and the Public Works Director.



Note:

This preliminary phasing plan is subject to change based on market demands and utility availability, subject to an administrative review by the City.

Note:

Construction may occur in multiple phases simultaneously with the extension of adequate infrastructure.

**PRELIMINARY PHASING PLAN
EXHIBIT 6.1**

H. MAINTENANCE PLAN (PROJECT-WIDE)

Following the construction of each phase, maintenance responsibility for public streets, major street parkways, public parks, and infrastructure improvements, shall become the responsibility of the City of Hemet, EMWD, or other responsible agency with lighting and landscape maintenance born by a Lighting and Landscaping Maintenance District established through the City of Hemet. Maintenance of private open space, private parks, paseos, entry monuments and landscaping at the project entry gates, shall be borne by the respective property owners through an area-wide Homeowner's Association, or sub-area home owners' association who shall have the responsibility and authority to set monthly fees and assessments.

Tres Cerritos East:

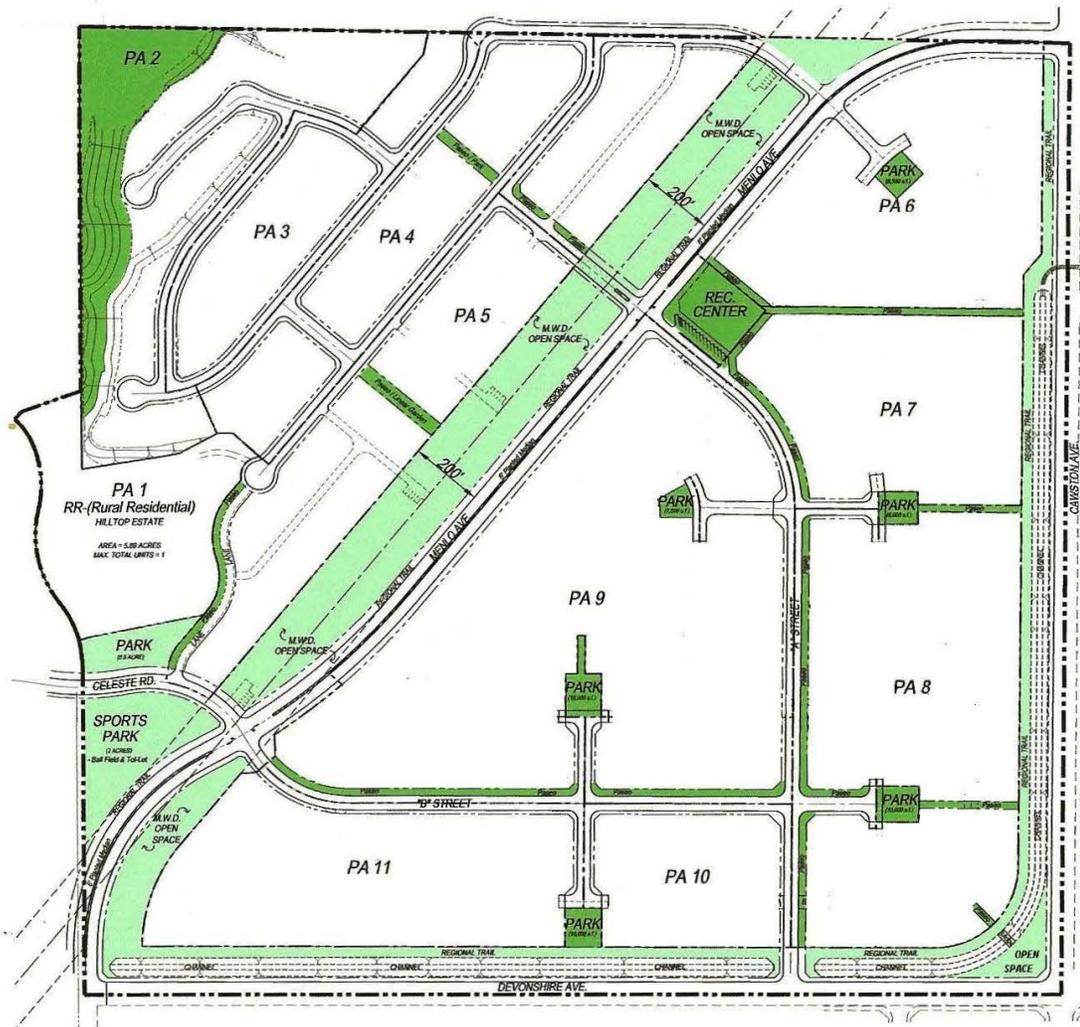
Maintenance of all private facilities shall be by neighborhood homeowners associations, which shall collect monthly fees from homeowners to maintain common areas and private parks. There will also be neighborhood associations to maintain private facilities within the PRD and Townhome neighborhoods.

**Table VI-1
TRES CERRITOS EAST MAINTENANCE RESPONSIBILITIES**

Facility	LLMD	City	HOA
Perimeter drainage channel and Landscaping	X		
Basins: Temporary and Permanent	X		
Major public street parkways*, medians, and spine road parkways, and rear-oriented access.	X		
Linear park (MWD), public parks, and trails.	X		
Neighborhood parks			X
Paseos			X
Recreation Center			X
Private roadways and driveways			X

The project will be annexed into a Landscape Lighting and Maintenance District (LLMD) to establish City maintenance for public streets, the linear park, the drainage facility, and regional trail. Other facilities may also be included as determined in the future.

* Devonshire, Cawston, and Menlo Avenues



PARK AND OPEN SPACE TABULATION

OPEN SPACE AND ACTIVE PARK AREA MAINTAINED BY AREA H.O.A.

HILLSIDE OPEN SPACE
 CENTRAL RECREATION AREA
 NEIGHBORHOOD PARKS
 NEIGHBORHOOD PASEOS

PA	APROX SIZE
2	3.5 Acs
6,7	1.0 Acs
6,8,10,13	1.5 Acs
	4.1 Acs
	10.1 Acs

OPEN SPACE AND PARK/TRAIL AREA MAINTAINED BY LLM D

LINEAR PARK AND TRAIL SYSTEM
 PERIMETER TRAIL SYSTEM
 ACTIVE PARK AREAS

8.4 Acs
4.1 Acs
2.5 Acs
15.0 Acs

Park Maintenance Responsibility EXHIBIT 6.2

VII. DESIGN GUIDELINES

A. DESIGN INTENT

The objective of the specific plan design guidelines is to insure the long term quality of the project through architectural controls which reinforce the original concept of an upscale community and maintain the unique character of the neighborhoods of Tres Cerritos West and Tres Cerritos East, while complementing the existing surrounding community. The architectural design criteria are not intended to be restrictive, but are meant to assist in the design direction with the architectural designs as set forth in the Specific Plan.

B. PURPOSE

The goal of these guidelines is to provide general design criteria and guidance for the development of the various neighborhoods within Tres Cerritos Specific Plan in compliance with the City's Single Family Residential Design Guidelines under City Council Resolution 3700 and Multi-Family Design Guidelines under City Council Resolution 3677. The guidelines do not propose rigid adherence to a single or limited number of styles. Rather, the goal is to promote both visual compatibility and a heritage of architectural styles.

3. Architectural Design Character

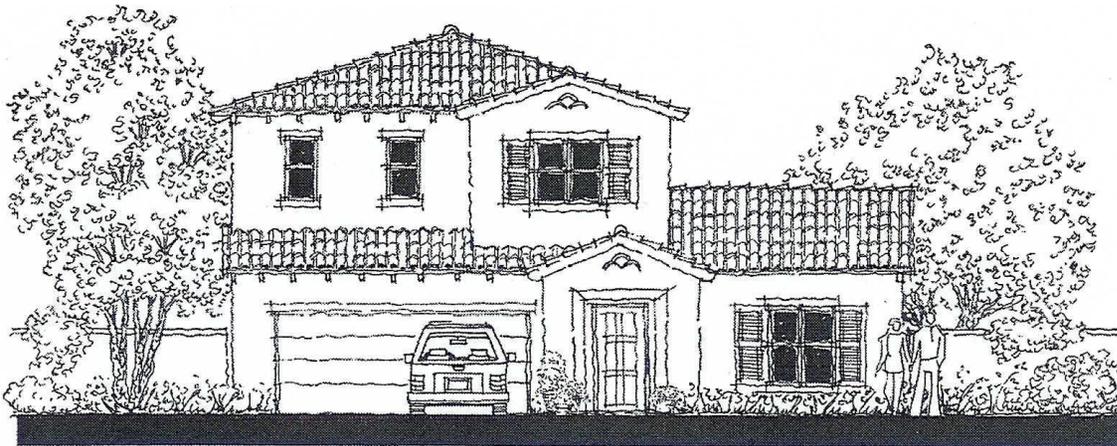
Architectural Design Criteria – Project-Wide

Single Story Massing

The single story element introduces the transition element that is necessary for variation of the streetscene and to minimize building massing. Single story units conform to the City Design Guidelines by utilizing variable wall planes to define the front porch, window pop-outs, and recessed garages. Each elevation will have window treatments and variation in surface textures that articulate the building design.

Second Story Massing

Understated entries, low-pitched roofs, and stepping of second story massing shall be used to comply with City Resolution 3700. The second story will be recessed in relation to the bottom floor footprint, by incorporating porches or stepping the second floor back 10 feet behind the first floor façade.



Rear Articulation

A minimum one-third of all units adjoining a perimeter street shall be one story. All two story structures shall have a minimum 10% single story element. Corner plotted units shall provide a single story element adjacent to the exterior side yard. and walls around homes, proper articulation of the second floor are the primary concern.

Rows of homes seen from a distance on elevated lots are generally perceived by their contrast against the background or skyline. Ridge lines shall vary with particular attention given to avoiding repetitious elements such as continuous gable-ends and similar building massing.

Front Articulation

A minimum of three (3) building planes shall be provided in order to avoid large flat planes and lack of detail.

A minimum 25% of any front façade should be of a different building material to provide contrast for appropriate architectural styles, except for the Spanish style.

Architectural Design Criteria – Project-Wide

Roof Forms

Roof forms are critical to the visual impact of the home. Provide roof framing which creates a variety of roof designs along the streetscene. Asphalt or wood shingles are prohibited.

Rear Lot - Public View

At rear lots, provide window moldings, recessed windows, shutters, or similar treatments (second floor only) where visible from public view.

Corner Lot - Public View

At corner lots, provide window moldings, recessed windows, shutters, or similar treatments (second floor only) where visible from public view, and recess second floor facades, 10 feet behind the front facade as typically shown for the two-story unit below.

The second floor shall be setback between four (4) feet and ten (10) feet, (average six feet), from the bottom floor in the front and streetside yard.



Architectural Design Criteria – Project-Wide

Garage Treatments

Garages should be integrated into overall house design, and should not dominate the front façade. Garage treatments conform to the Specific Plan by recessing them behind front facades, varying setbacks at a minimum of 20'-0" and 15'-20' (17' average) for two car swing-in garages, and incorporating that no more than three front loading garages may be placed in a row.

Three car front facing garages shall be prohibited. Only three car garages with split and tandem garages will be allowed. Garages shall not exceed 40% of the first story building façade, except that units on lots less than 6000 SF may exceed 40% provided that they are recessed behind the front façade of the habitable living space.

Tandem

The tandem garage layout de-emphasizes garage massing by concealing a third parking space behind another parking space within the garage. The space may also be used as living space while serving as a two car garage.

Swing - In

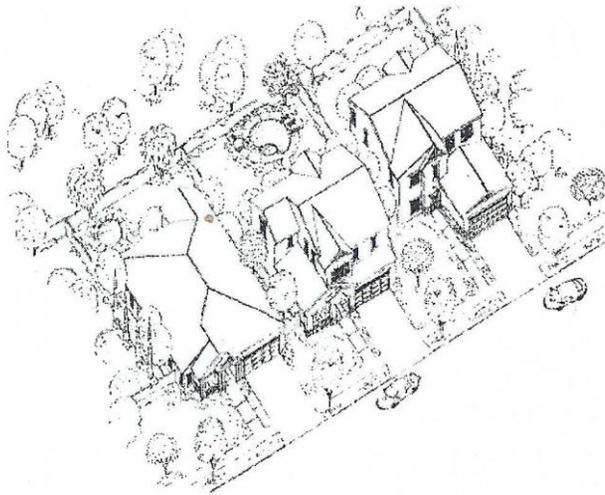
The use of swing-in garages on lots 6000 SF or larger, except Rear-loaded lots, avoids the continuous view of garage doors along the street. This garage condition also allows for reduction in the required front setback which in turn provides for greater variation in the streetscene. Note: Provide for a minimum of 26' back-up space for swing-in garages with windows facing the street.

Split

One car garage and two car garages can be split to provide a variation in the appearance, and flexibility of the home. The single car garage elements in this split condition may option into living space. If the split garage configuration includes a swing-in design, the swing-in garage shall be allowed a reduction of the front yard setback per Table V-2.



Architectural Styles – Project-Wide



Diversity of Style

The architectural styles for Tres Cerritos West and East have their roots in California from the turn of the century through the 1930's. Borrowing from the elements of architectural heritage, specific interpretation of styles shall be encouraged.

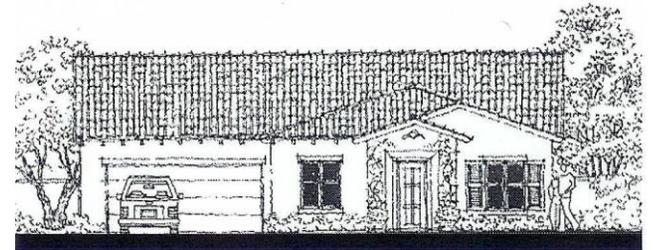
These include French Country, Santa Barbara, American Country, Spanish Bungalow, Monterey, California Ranch, Craftsman, and Prairie styles. See Section VII C, Architectural Styles and Elements for the allocation of the styles among the various residential land use categories.

The following section provides a description of the architectural details for each style that characteristically make them unique.

Materials and Colors

The materials and colors used should reflect the general architectural theme for each style. The use of natural appearing materials and colors reflecting the local environment, such as earth tones is desirable. However, the earth tones should be augmented with consumer interest of lighter colors.

A variety of natural materials and earth based colors, in conformance with Ordinance 3700, will provide the diversity needed for visual interest while unifying the buildings with their setting and creating a timeless appeal.



Tres Cerritos West

- Architectural Styles and Elements

Six architectural styles which have been chosen, evolved in California since the turn of the century. Their inherent informality, and heritage have enabled these styles to remain popular over a long period of time.

Specifically the design criteria are:

- Visually compatible with each other
- Possess general market appeal and community acceptance
- Can be successfully expressed in a modern merchant-built home
- Have historic background and precedence
- Use color tones, texture, and materials that compliment the adjoining natural open space.
- Provide a minimum of 25% of any front or side façade having a differing building material to provide contrast for appropriate architectural styles. This provision shall not apply to Spanish architectural facades.

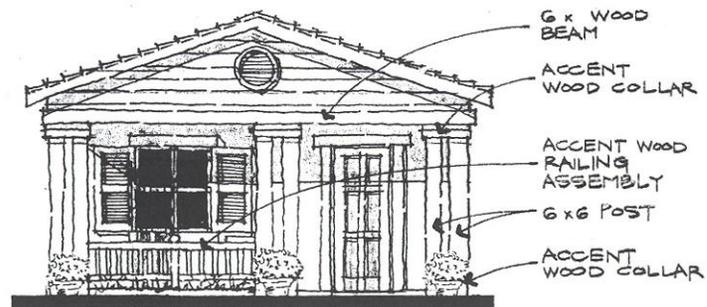
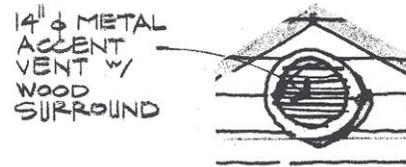
Architectural Style

American Country

Historical Characteristics

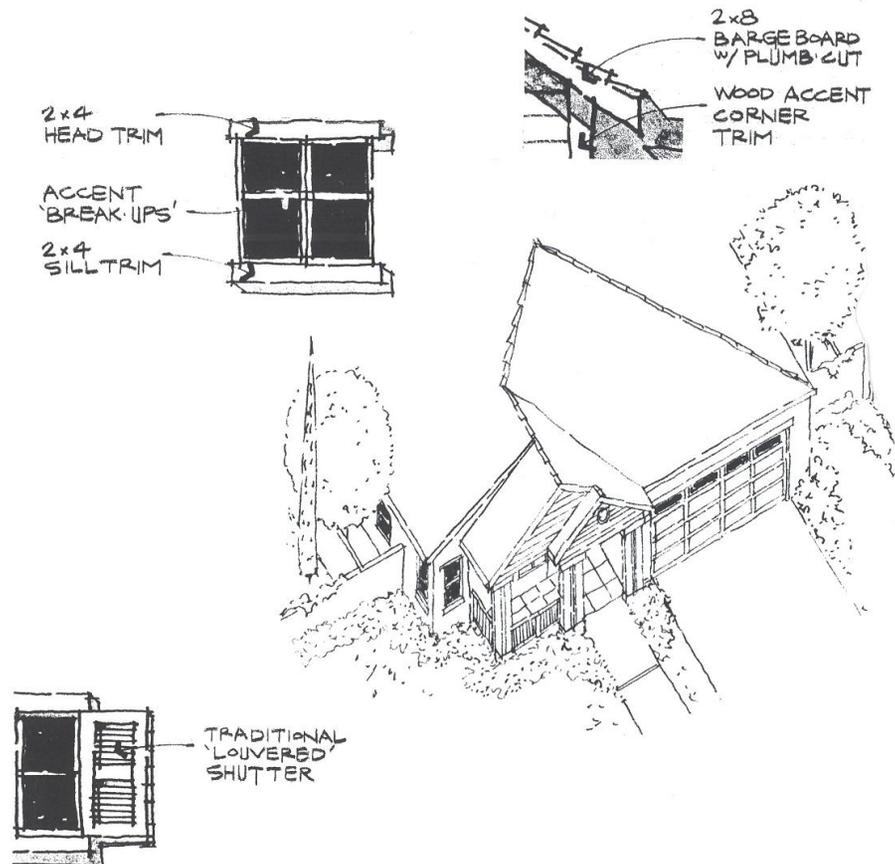
The American Country style is a combination of Traditional and California Ranch styles.

This style is usually one or two stories with multiple gables and little or no decorative details. The use of siding as an accent in gable end conditions, along with a front porch and shutters, round out the details in this picture of Americana.



Architectural Style

American Country



Design Elements

- Theme window at architectural projection
- Window accent per style
- Traditional shutter accent
- Accent wood siding
- Accent metal vent at gable end
- Covered entry with wood accent columns and railings

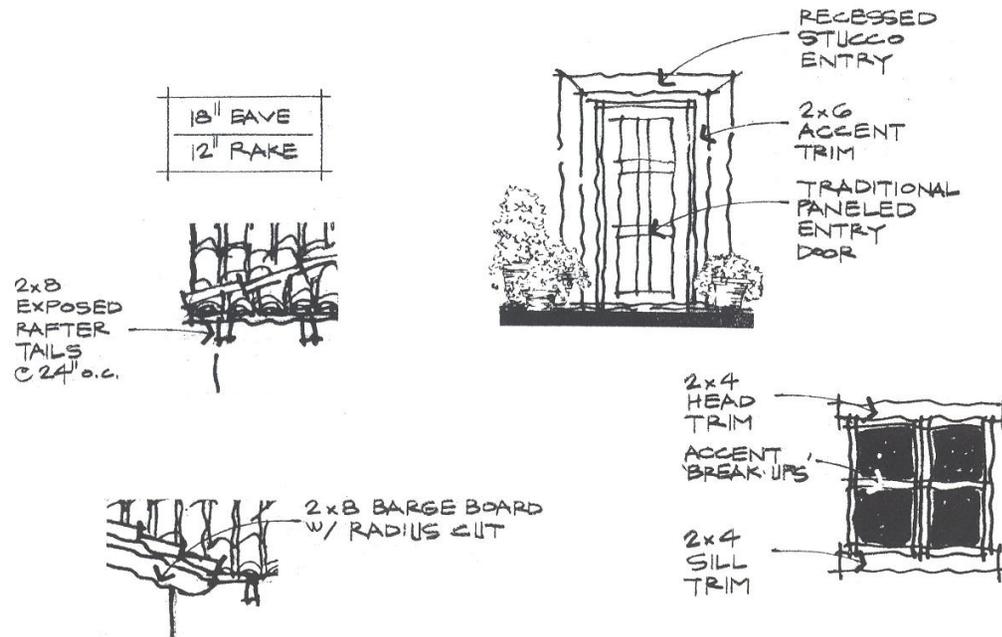
- 'Flat' concrete tile
- Roof pitch - 5:12
- 2 x 8 Fascia with 12" eave and 6" rake
- 2 x Wood trim
- Plumb - Cut rake Ends

Architectural Style

California Ranch

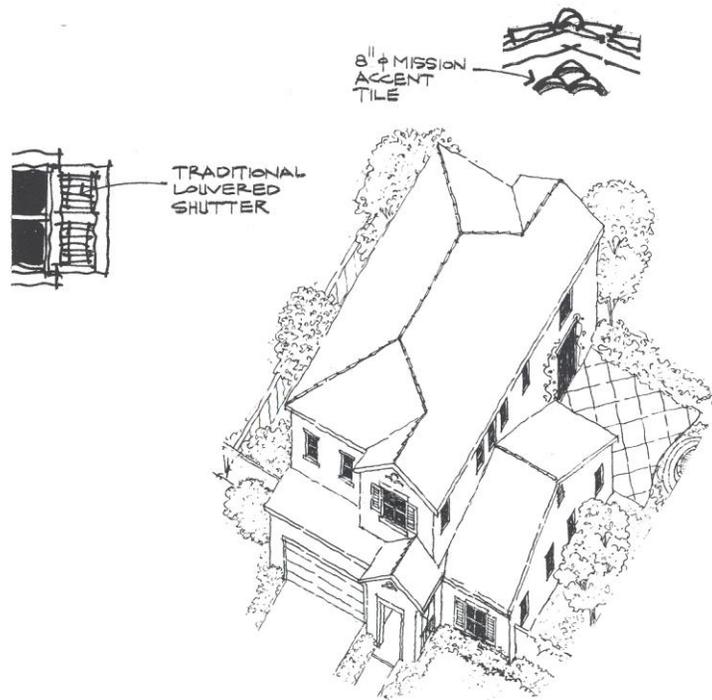
Historical Characteristics

The Ranch house was the primary focus of the cattle ranches developed by the early Californians. Over a period of time, the California Ranch was developed naturally from native materials. The houses were generally simple and straight forward while using barrel tiles, stucco walls and exposed rafter tails.



Architectural Style

California Ranch



Design Elements

- Recessed entry or architectural projection
- Window accent per style
- Traditional shutter accent
- 3 x 6 Wood exposed rafter tails Accent tile at gable end
- ' S ' concrete tile
- Roof pitch - 4:12
- 2 x 8 Fascia with 18" eave and 12" rake
- Radius cut rafter tails
- 2 x Wood trim
- Paneled garage door per style accent lighting

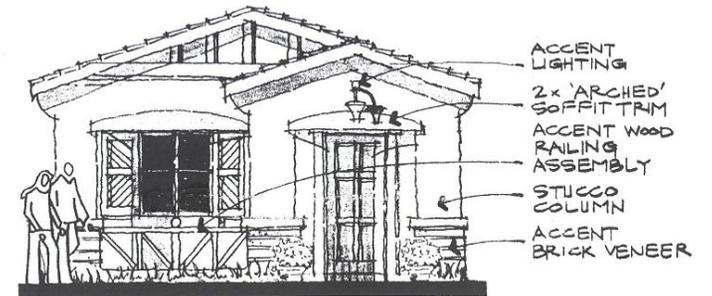
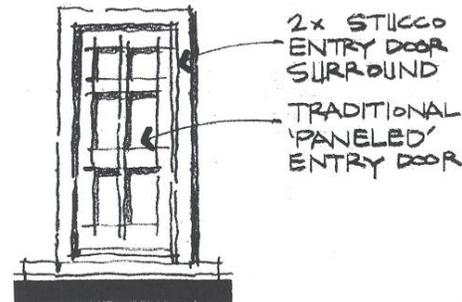
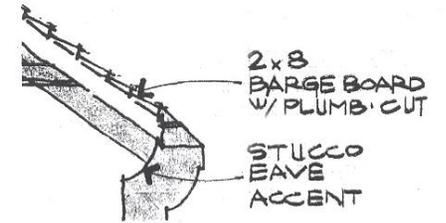
Architectural Style

English Country

Historical Characteristics

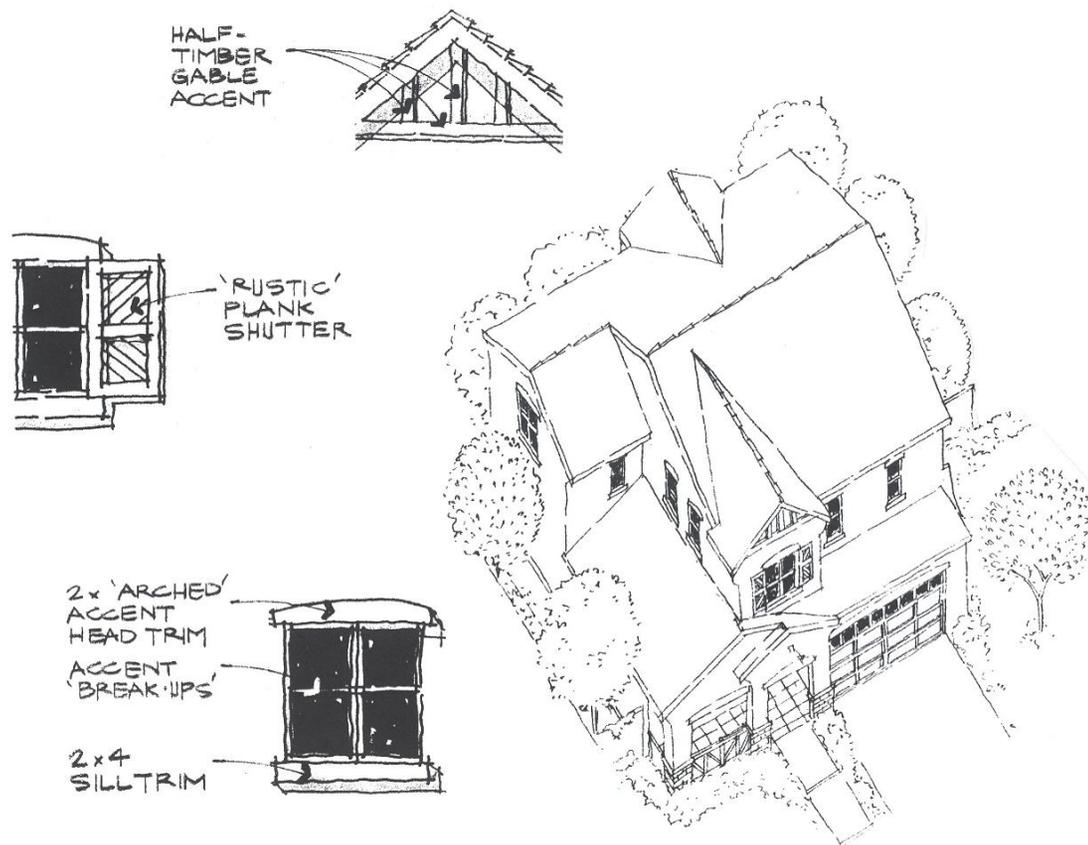
The English Country is a style derived from Norman and Tudor architecture. The resulting English "cottage look" became extremely popular nationwide in the 1920's.

Select roof pitches are typically steeper than the traditional homes and comprised of gable roof condition. The overhangs are minimal with a fascia board. The primary material is stucco with the use of brick and half-timbering as an occasional accent.



Architectural Style

English Country



Design Elements

- Theme windows at architectural projections
- Half - Timber gable accent
- Stucco eave accent at gable end Window accent per style
- Shutter accents
- Covered entry with accent columns and wood railings
- Brick veneer accent
- Stone veneer accent
- 'Flat' concrete tile
- Roof pitch - 5:12
- 2 x 8 Fascia with 12" eave and 6" rake
- 2 x Wood trim
- Plumb - Cut rake Ends

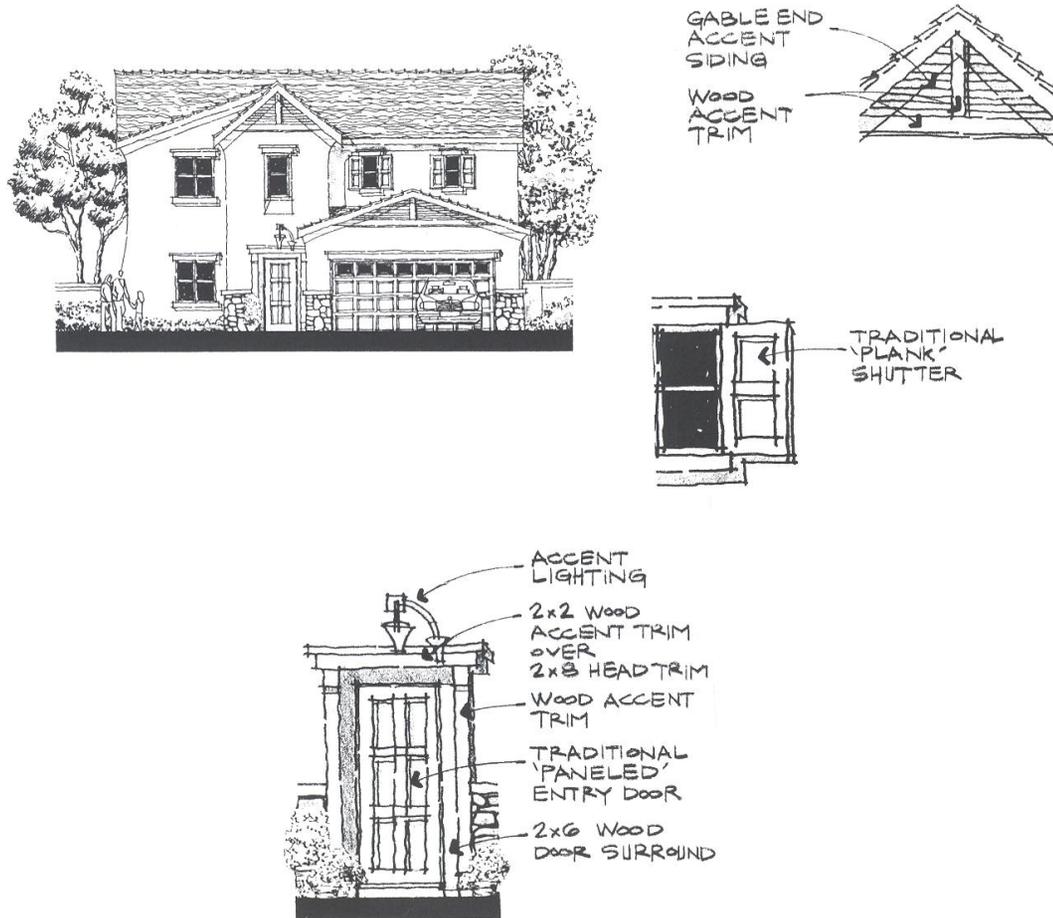
Architectural Style

French Country

Historical Characteristics

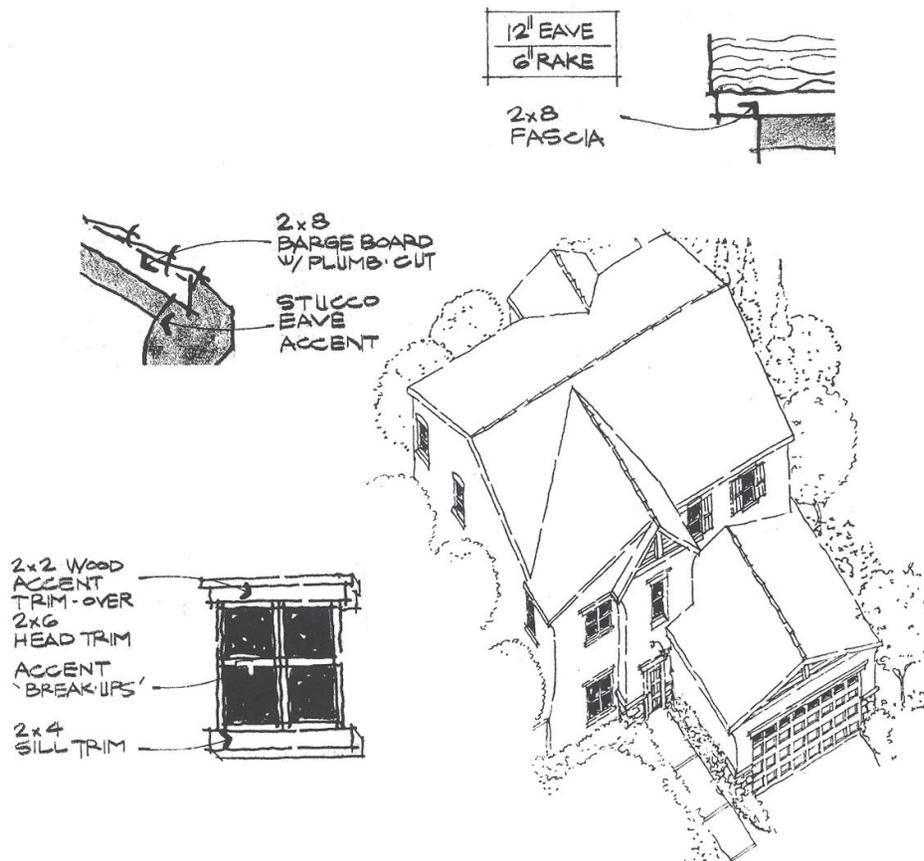
The French Country style was inspired by the Norman and Tudor picturesque styles. The style stressed the importance of having exterior elements receive "artful" attention.

The design of the home was reflected in the rural setting that the French Country styles sprouted up in, along with the charm and character that depicted the unpretentious style.



Architectural Style

French Country



Design Elements

- Theme window at architectural projection
 - Stucco eave accent at gable end Window
 - accent per style
 - Rustic shutter accent
 - Siding accent at gable end
 - Half - Timber gable accent
 - Covered entry with wood accents and trim
 - Stone veneer accent - bluffstone
-
- 'Flat' concrete tile with 'S' tiles on hips and ridges
 - Roof pitch - 5:12
 - 2 x 8 Fascia with 12" eave and 6" rake 2 x Stucco trim
 - Plumb - Cut rake Ends
 - Paneled garage door per style
 - Accent lighting
 - Wrought iron trim

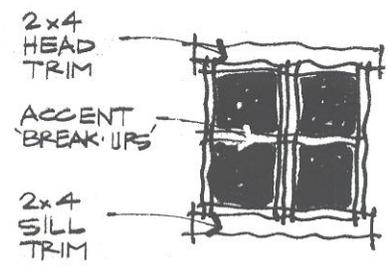
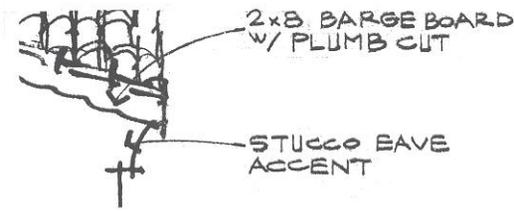
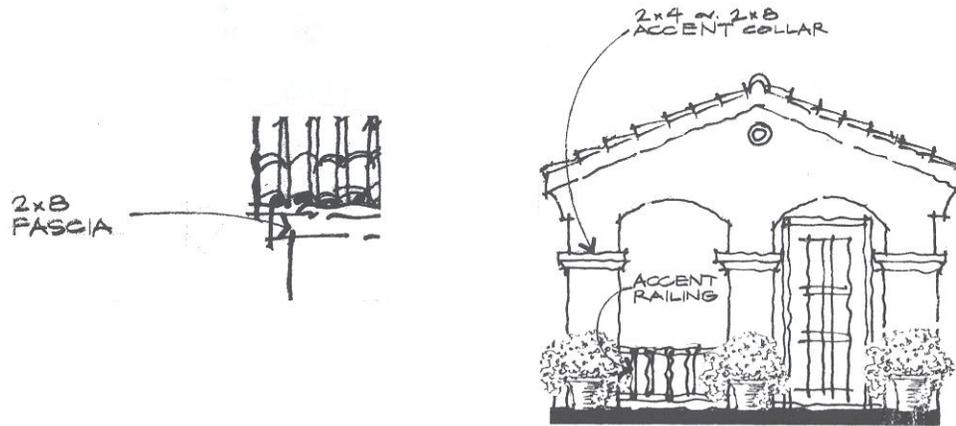
Architectural Style

Santa Barbara

Historical Characteristics

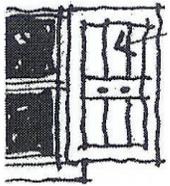
The Santa Barbara style is an adaptation of the original Spanish Colonial.

The style was popularized by the use of simple building forms. Roof framing features gable or hip conditions, along with shutters integral to the character. Windows feature wrought iron trim.



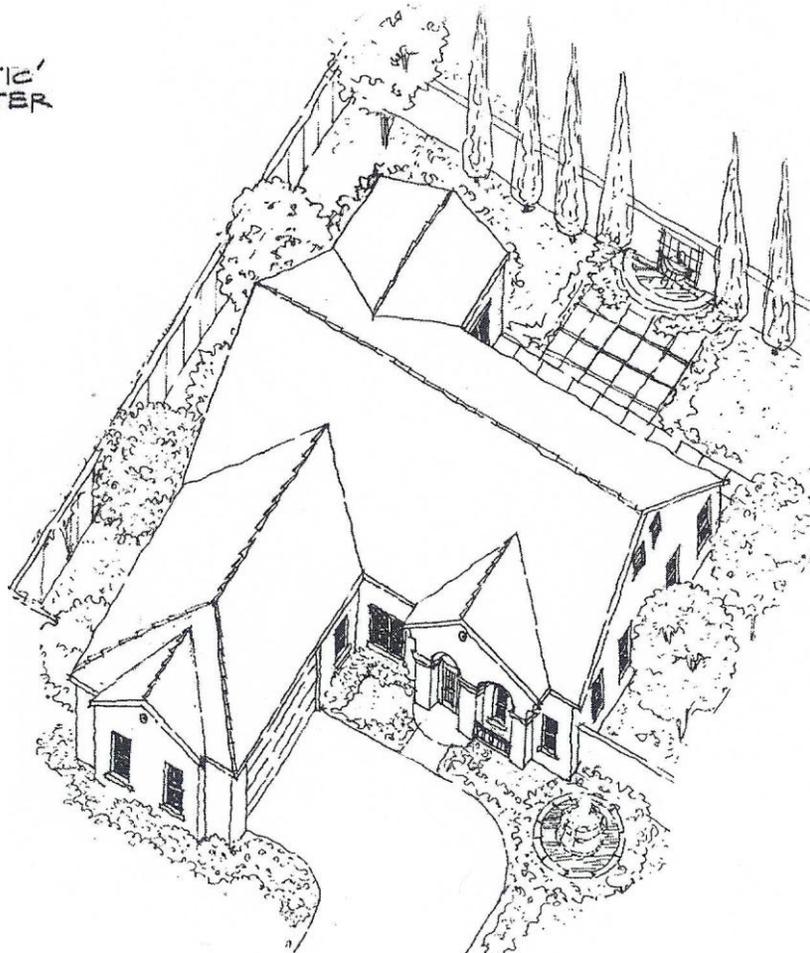
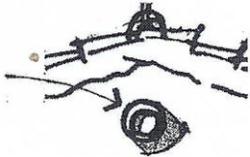
Architectural Style

Santa Barbara



'RUSTIC'
SHUTTER

6" Ø BARREL
ACCENT
TILE



Design Elements

- Arched entry or architectural projection
- Recessed arched windows
- Window accent per style
- Wrought iron railing accents
- Stucco eave accent at gable end Accent tile at gable end
- 'S' concrete tile
- Roof pitch - 4:12
- 2 x 8 Fascia with 18" eave and 12" rake
- 2 x Wood trim
- Plumb - Cut rake Ends
- Paneled garage door per style
- Accent lighting

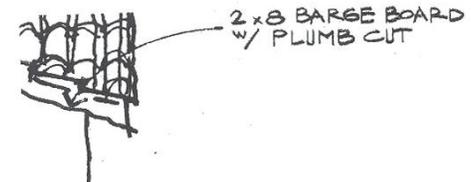
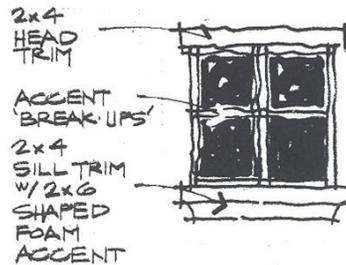
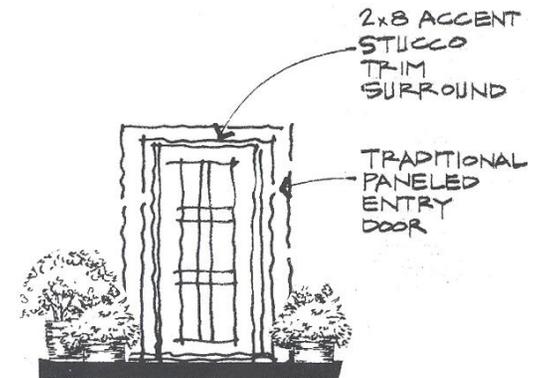
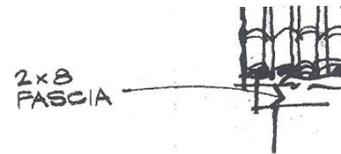
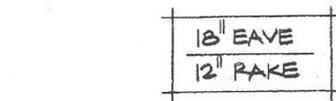
Architectural Style

Spanish Bungalow

Historical Characteristics

Spanish Bungalow is an adaptation of Spanish Eclectic. The style attained widespread popularity after its use in the Panama-California Exposition of 1915.

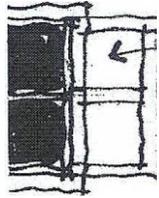
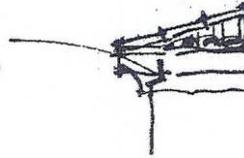
Architectural distinction was established through the use of lower profile tile roofs, stucco walls, simplicity and contrast of materials and textures.



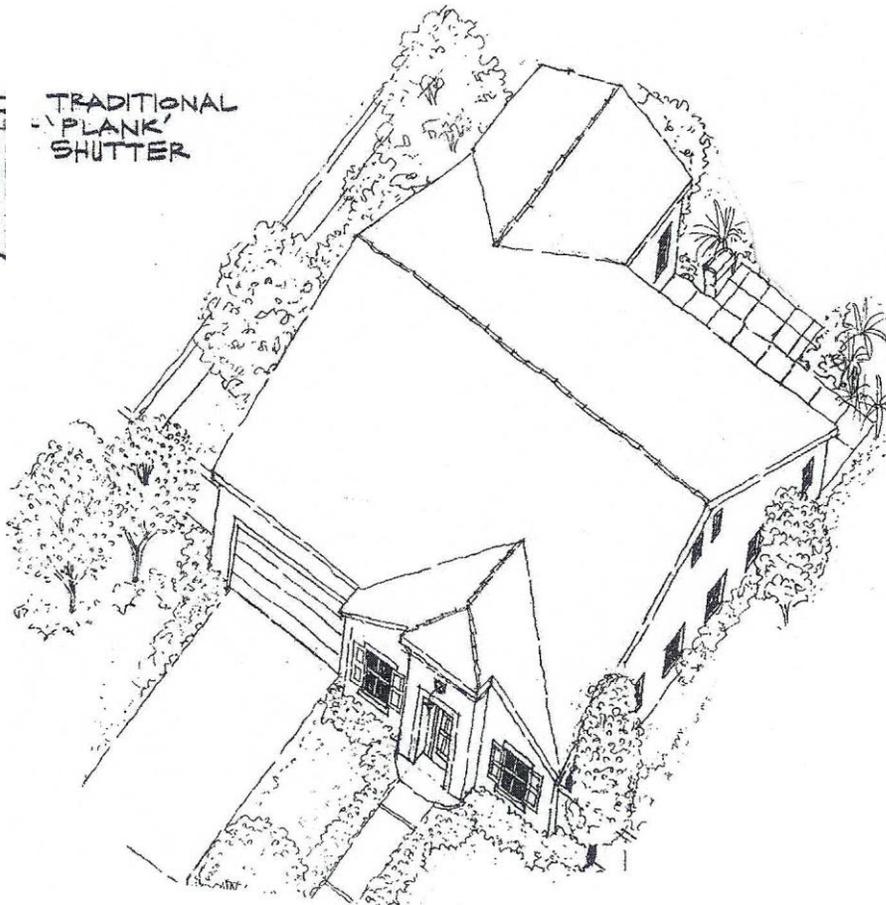
Architectural Style

Spanish Bungalow

2x8 FASCIA
OVER
2x8 SHAPED
FOAM TRIM
ACCENT



TRADITIONAL
'PLANK'
SHUTTER



Design Elements

- Theme window at architectural projection
- Recessed entry accent
- Window accent per style
- Traditional 'plank' shutter accent
- Accent tile at gable end

- 'S' low profile - concrete tile
Roof pitch - 4:12
2 x 8 Fascia with 18" eave and 12" rake
2 x Stucco trim
Plumb - Cut rake Ends
Paneled garage door per style
Accent lighting

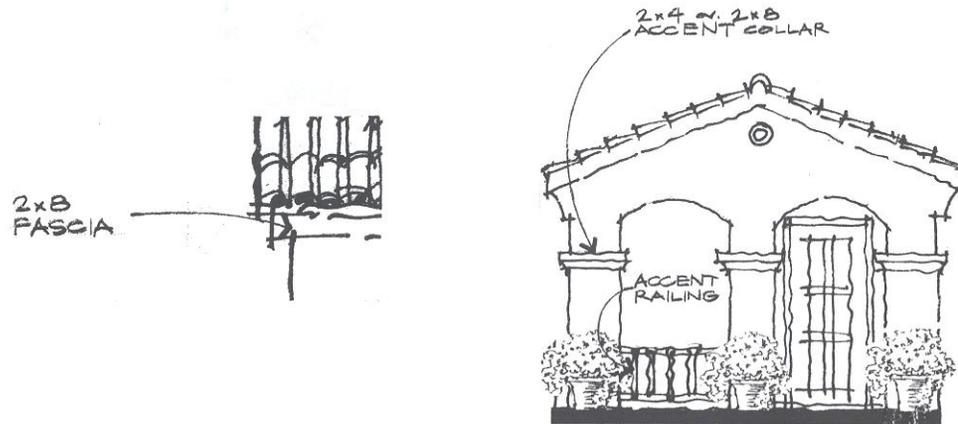
Architectural Style

Santa Barbara

Historical Characteristics

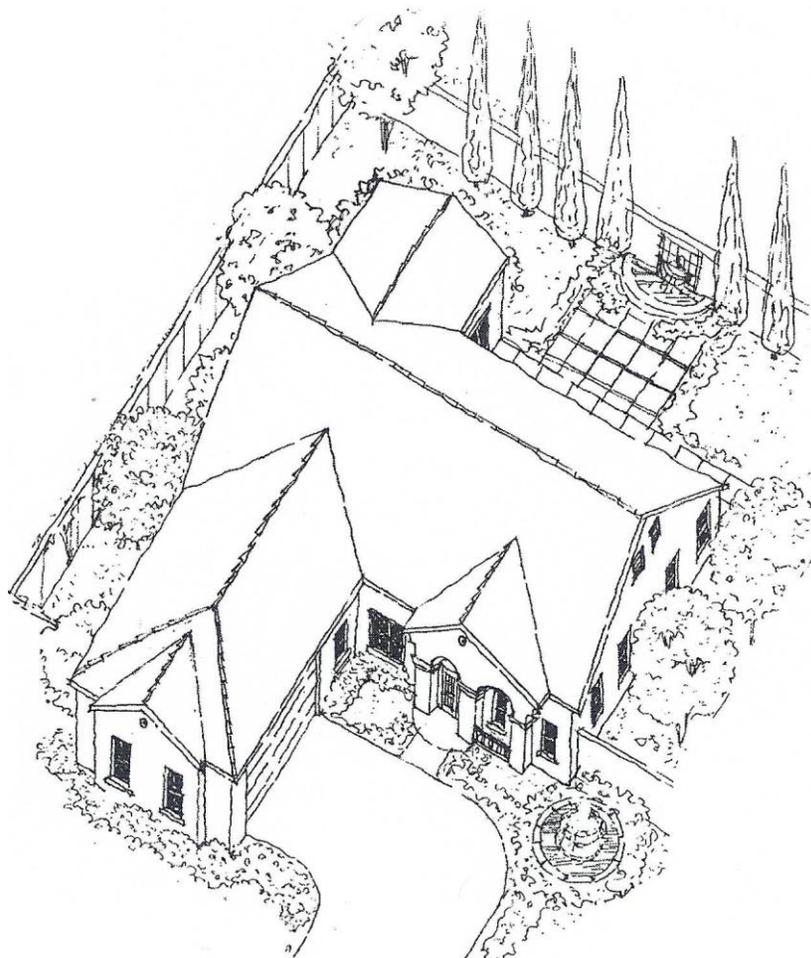
The Santa Barbara style is an adaptation of the original Spanish Colonial.

The style was popularized by the use of simple building forms. Roof framing features gable or hip conditions, along with shutters integral to the character. Windows feature wrought iron trim.



Architectural Style

Santa Barbara



Design Elements

Arched entry or architectural projection
Recessed arched windows
Window accent per style
Wrought iron railing accents
Stucco eave accent at gable end Accent
tile at gable end

'S' concrete tile
Roof pitch - 4:12
2 x 8 Fascia with 18" eave and 12" rake
2 x Wood trim
Paneled garage door per style
Accent lighting

Architectural Design Criteria

Accessory Structures

Any additional structure space shall conform to the design standards of the primary dwelling on the lot. Accessory structures shall meet the lot coverage and setback requirements for the appropriate zone.

Awnings

Fabric and / or metal awnings are prohibited.

Light Fixtures

Selection of light fixtures for highly visible locations (ie: entry areas, corner lots) shall be reviewed by the project design review committee for design standards and approval.

Address Fixtures

All address fixtures shall be of a size as approved by the Fire Department and shall be lit by photo-cell as standard features

Gutters / Downspouts

Exposed gutters will be colored to match the roof or wall material. Exposed downspouts will be colored to match the surfaces to which they are attached.

Mailboxes

The type of box shall be submitted to the project design review committee and US Postal Service for review and approval.

Utility Meters

Both gas and electric meters and cable panels shall be screened from view on garage wall.

Mechanical Equipment

All air conditioning/heating equipment, soft water tanks, pool and spa equipment, and electric self-timer boxes for sprinklers or exterior landscape/lighting shall be screened.

Patio Structures/Gazebos

The use of patio structures is encouraged. They shall be integrated into the building form to add articulation to otherwise large unbroken wall masses. The details shall be submitted to the project design review committee and shall conform to setback requirements.

Roof Framing / Vents

All flashing and vents shall be colored to match the material to which it is attached.

Trash Containment

Space shall be provided in an adjacent sideyard or interior portion of garage to handle the size of at least two recycling containers.

Skylights

Skylights are prohibited

With the Tres Cerritos Hills as a backdrop, the project site is an infill property located at the west end of the Valley. The surrounding residential developments are designed along a grid street pattern. To break up the monotony of rigid angular forms, the Specific Plan has incorporated these Design Guidelines. In addition to architectural design, these guidelines also address provisions for walking trails, internal recreational facilities, and project entry features. The Design Guidelines of Tres Cerritos East are intended as an expression of those guidelines to promote sustainable development.

- **Architectural Styles and Elements**

To be consistent with the Design Guidelines, and the original objectives of the development, a variety of architectural styles have been selected for each neighborhood product style that collectively form a broad selection of design options for the consumer. The selected styles for each product type are:

Tres Cerritos West:

SFD 6000: French Country
English Country
American Country
SFD 8000: Spanish Bungalow
California Ranch
Santa Barbara

Tres Cerritos East:

SFD 4000: French Country, Monterey, & American Country
SFD 4000 Rear-Loaded: French Country, Spanish Bungalow, American Country
SFD 5000: French Country, Americana, Monterey
SFD 5000 Rear-Loaded: French Country, American Country, Americana
SFD 6000: French Country, Spanish Bungalow, & American Country
SFD 6000 Rear-Loaded: American Country, Spanish Bungalow, & Monterey
SFD 7000: Americana, Tuscan, & Spanish Revival
SFD 8000: Americana, Tuscan, & Spanish Revival
Townhomes: Spanish Revival, French Country, Americana

Should single family units be used as an alternate housing type in PA 11, the SFD 5000 architectural styles shall apply. Other architectural styles will be allowed provided they conform with the City's Design Guidelines.

From entry statements, to paving materials, to architecture the style of the project will emulate these design characteristics. These standards will outline the important and accepted design elements identified with the selected architectural styles. These elements include roof treatments, scale, materials, textures, color palettes, and significant architectural features indicative of each style.

D. LANDSCAPE DESIGN CHARACTER

- **Landscape Master Plans**

Tres Cerritos West

Tres Cerritos West is unique in the amount of open space retained within the development in the form of hillsides and vernal pools. Development will be restricted from slopes in excess of 25% that form the Tres Cerritos Hills in order to retain this highly visible resource from the west end of the valley. Additional open space is provided in the forms of paseo walking trails, that include two pocket parks, and a neighborhood park facility. The plan also features an expanded parkway to accommodate a meandering trail along the interior loop road. These features are presented in **Exhibit 7.1**

Tres Cerritos East

Tres Cerritos East will provide enriched landscaped treatments beyond the level typically found in the region as reflected in **Exhibit 7.2** (Master Landscape Coverage Plan). The components of this landscape program are as follows:

Linear Park

The 200'-wide Metropolitan Water District (MWD) easement will be developed in part as a linear park to create a promenade effect and a visual experience for those driving along Menlo Avenue. The Linear Park is approximately 7.91 acres and is bordered predominately by the proposed Menlo Avenue alignment traversing through the project. The Linear Park will also be bordered by "Rear-Load" single-family detached homes (Planning Area 5), where only front facades of adjoining homes will be visible from the Linear Park. Garages will be located at the rear of these homes. Guest parking areas are located within limited areas of the Linear Park to serve Planning Area 5.

A portion of the Linear Park, located between the northbound side of proposed Menlo Avenue and Planning Area 15, will be designed to act as a landscaped gateway to the Tres Cerritos East community. This portion of the Linear Park could be designed to integrate passive recreational use with the temporary detention basin (Planning Area 15). Usable landscaped open space, with benches for a viewing area overlooking the basin, would be constructed at the intersection of Devonshire Avenue and Myers Street to perpetuate access into the adjoining public park and soften the appearance of the basin from this intersection. A tubular steel fence will be erected around the interim detention basin. A twelve-foot-wide pedestrian trail would be constructed outside of the fence. Landscaping will be provided to blend the appearance of the basin with the adjoining park area. The channels, interim detention basin, and associated landscaping will be constructed by the developer and maintained by the City.

The linear park will be landscaped with California-friendly, drought tolerant plant material. It will include an intermittent use of shrubs and tree clusters designed to enrich pedestrian use along this easement. Some limited play amenities, such as two playground nodes, as conceptually depicted in **Exhibit 7.3** and scattered picnic areas linked by a series of trails, subject to Metropolitan Water District approval. The extent of any improvements within the linear park must conform to the requirements and restrictions of MWD to assure protection of their pipeline facility. **Exhibit 7.4** provides photographic examples of a desert-themed landscape design.

The Linear park is part of a Tres Cerritos East community-wide system of pedestrian trails, bike paths, and neighborhood parks that serve the community. Linear park users will be able to park their vehicles along the southbound side of Menlo Avenue where there is parking designated. The Linear Park would be maintained and owned by the City of Hemet, through a Landscape and Lighting Maintenance District.

Recreation Center

The Tres Cerritos East Recreation Center is centrally located to serve as a focal point of the community for recreation and community events. The one-acre Recreation Center is planned to include a 4,000 square foot community center building, a junior-olympic size pool, a childrens' pool, and a spa. The facility could be a venue for swim meets. The facility is planned to include lounge and seating areas, limited grass areas and shade structures. The community center building will be designed to reflect the architectural theme of the community. It is intended that the Tres Cerritos East Master Homeowners' Association will own and maintain the Recreation Center for the private use of project residents and their guests. The system of pedestrian trails and paseos connect the Recreation Center to all areas within the project. Parking is provided along the "A" Street collector road as well as off-street parking within the one acre. **Exhibits 7.5** and **7.6** depict a conceptual site plan of the Recreation Center as well as pictorial examples of the building, and recreation area.

Active Public Sports Parks

A two-acre Sports Park is planned at the corner of Menlo Road (southbound side) and Celeste Road. The Sports Park is planned to accommodate a baseball field, a soccer field overlay, a tot lot and parking for the park. The park is designed to eventually be part of a larger regional sports park to be located in the neighboring property adjacent to the two-acre park, as approved by the City. In addition, is one other half acre public park planned on Celeste Road along the westerly project boundary.

Neighborhood Parks , Paseo Trails, Paseo Parks, and Paseo Linear Garden

A series of neighborhood parks are provided within residential planning areas as shown in **Exhibit 7.2** (Master Landscape Coverage Plan). In addition, a broad paseo park and paseo linear garden are planned within Planning Areas 4 and 5. The concept behind these localized parks is to place recreational amenities in close proximity to the home to promote pedestrian activity. These parks further serve the purpose of providing

recreational facilities for residential development with lots having less than 7200 square feet as required by the City. Each neighborhood park will include thematic uses that include tot lots, lawn games, and passive turf play areas.

Neighborhood Trails

A network of trails and paseos are planned throughout the project area to provide pedestrian access to the sports park, recreation center, neighborhood parks, the linear park, and the regional trail as part of a comprehensive system. Trails and paseos will be landscaped with appropriate pathway lighting. Elevated lights will be provided where paths intersect.

Regional Trails

Twelve foot-wide regional trails will be provided within the project along the naturalized drainage channel that extends along the east and west perimeters of the project and along the southbound side of Menlo Avenue, adjacent to the linear park. The trail adjoining the drainage channel will have a dual purpose as a maintenance road to service the drainage channel. The regional trail system will be accessible from areas outside of the project for community-level use and constructed of decomposed granite. **Exhibits 7.20** illustrates the cross sections of the regional trails. One half-acre of open space is planned at the corner of Devonshire Avenue and Cawston Avenue.

Parkway Landscaping

Landscape setbacks will be provided along Devonshire Avenue and Cawston Avenue in accordance with City standards to accommodate pedestrian traffic. An approximate one-half acre landscape area will be provided at the corner of Devonshire Avenue and Cawston Avenue.

Tres Cerritos East carries on the design concept of Tres Cerritos West by providing attractive active recreation and a system of trails to encourage interaction among residents and ease of access within the neighborhoods. The Master Landscape Coverage Plan is depicted in **Exhibit 7.2**.

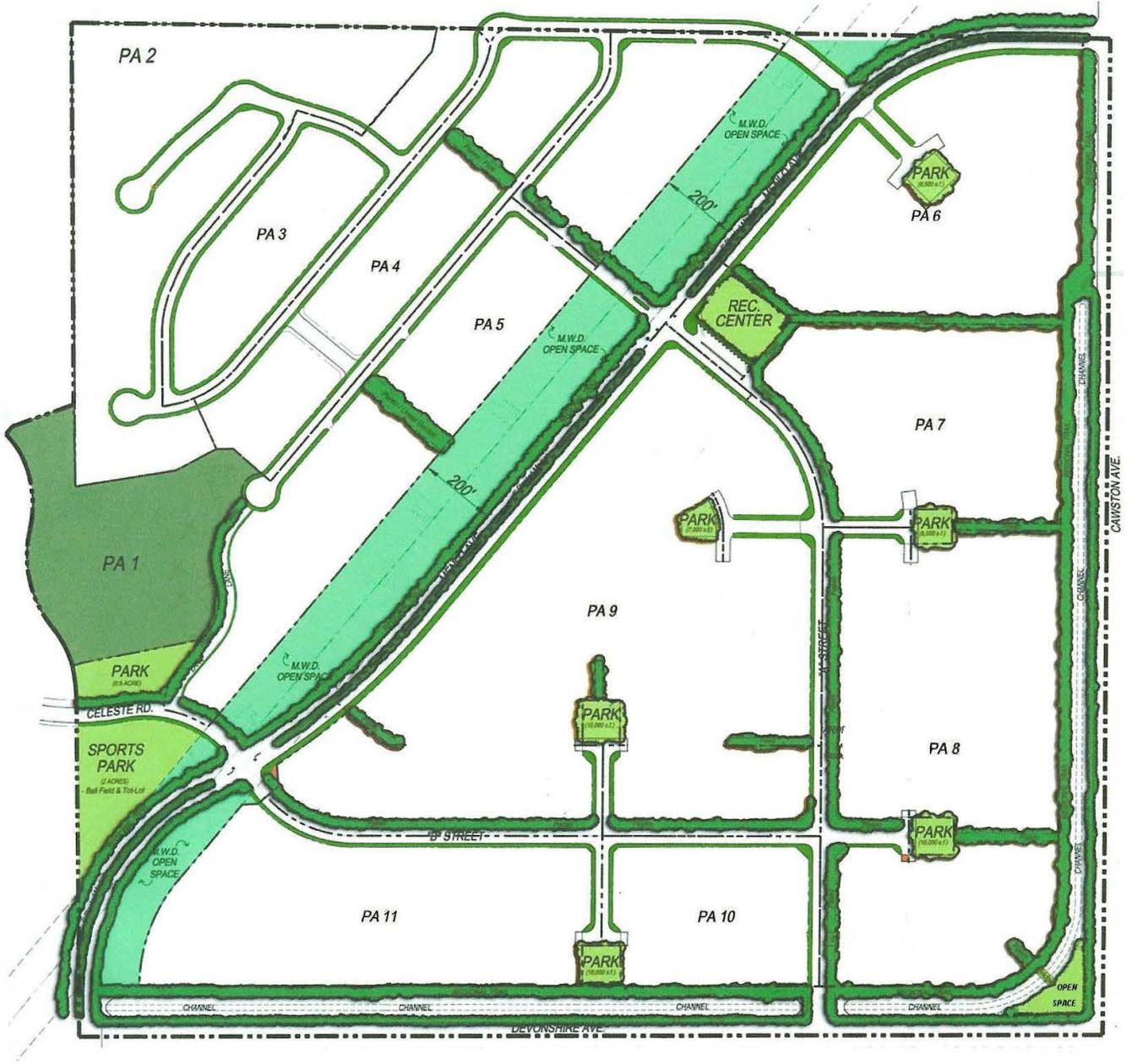
- PLANNING AREA 1
6,000 S.F. LOT SIZE
- PLANNING AREA 2
8,000 S.F. LOT SIZE
- PLANNING AREA 3
OPEN SPACE/RECREATION AREA/PASEO
- PLANNING AREA 4
VERNAL POOL OPEN SPACE
- PLANNING AREA 5
NATURAL OPEN SPACE



**TRES CERRITOS WEST
MASTER LANDSCAPE PLAN**

ROSE ROAD

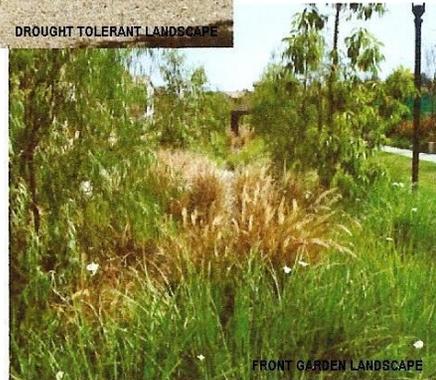
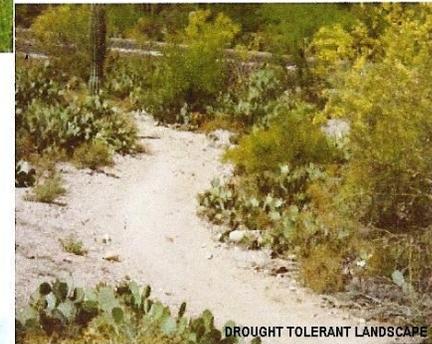
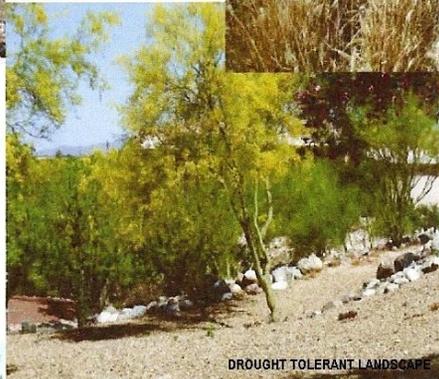
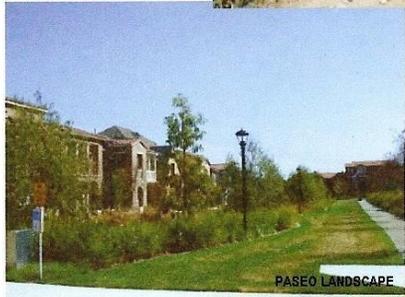
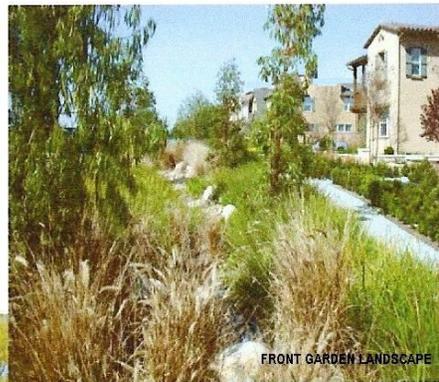
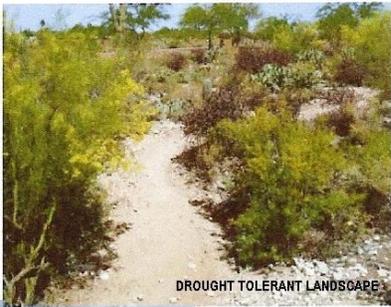
EXHIBIT 7.1



Master Landscape Coverage Plan
Tres Cerritos East **Exhibit 7.2**



**Linear Park Perspective
Exhibit 7.3**



**Tres Cerritos East Linear Park
EXHIBIT 7.4**



REC CENTER SITE SUMMARY:

AREA: 1.0 ACRES
 CLUB HOUSE BLDG: APPROX. 4,000 s.f.

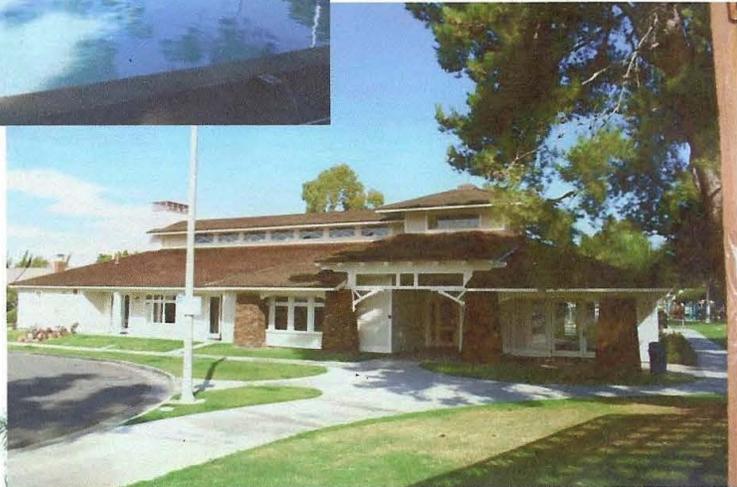
PARKING SUMMARY:

14 DIAGONAL SPACES
 22 "A"-STREET SPACES
 36 PARKING SPACES TOTAL

ILLUSTRATIVE RECREATION CENTER PLAN
Tres Cerritos East **EXHIBIT 7.5**

CONCEPTUAL CLUBHOUSE AND POOL AREA

- Articulated building design
- Mix of building materials
- Typical landscaping
- Typical fencing



IMAGES OF RECREATION CENTER CONCEPT
Tres Cerritos East **EXHIBIT 7.6**

- **Design Elements**

Tres Cerritos West

The Tres Cerritos Hills are preserved undeveloped and in natural vegetation in order to promote this resource that is highly visible from the west entry of the valley. To that end, many of the design elements within Tres Cerritos West have been developed to emulate the ‘three hills’ of Tres Cerritos.

Tres Cerritos East

Landscaping serves to unify a number of diverse features that include a major drainage facility that extends along two of the project boundaries, an easement in favor of Metropolitan Water District that contains regional water transmission pipes, and several distinctive neighborhoods that form the Tres Cerritos East portion of the project area.

The following exhibits, and their descriptive text, identify the landscape and recreational components proposed within the project that create a sense of arrival and promote neighborhood identity.

- **Project Entries**

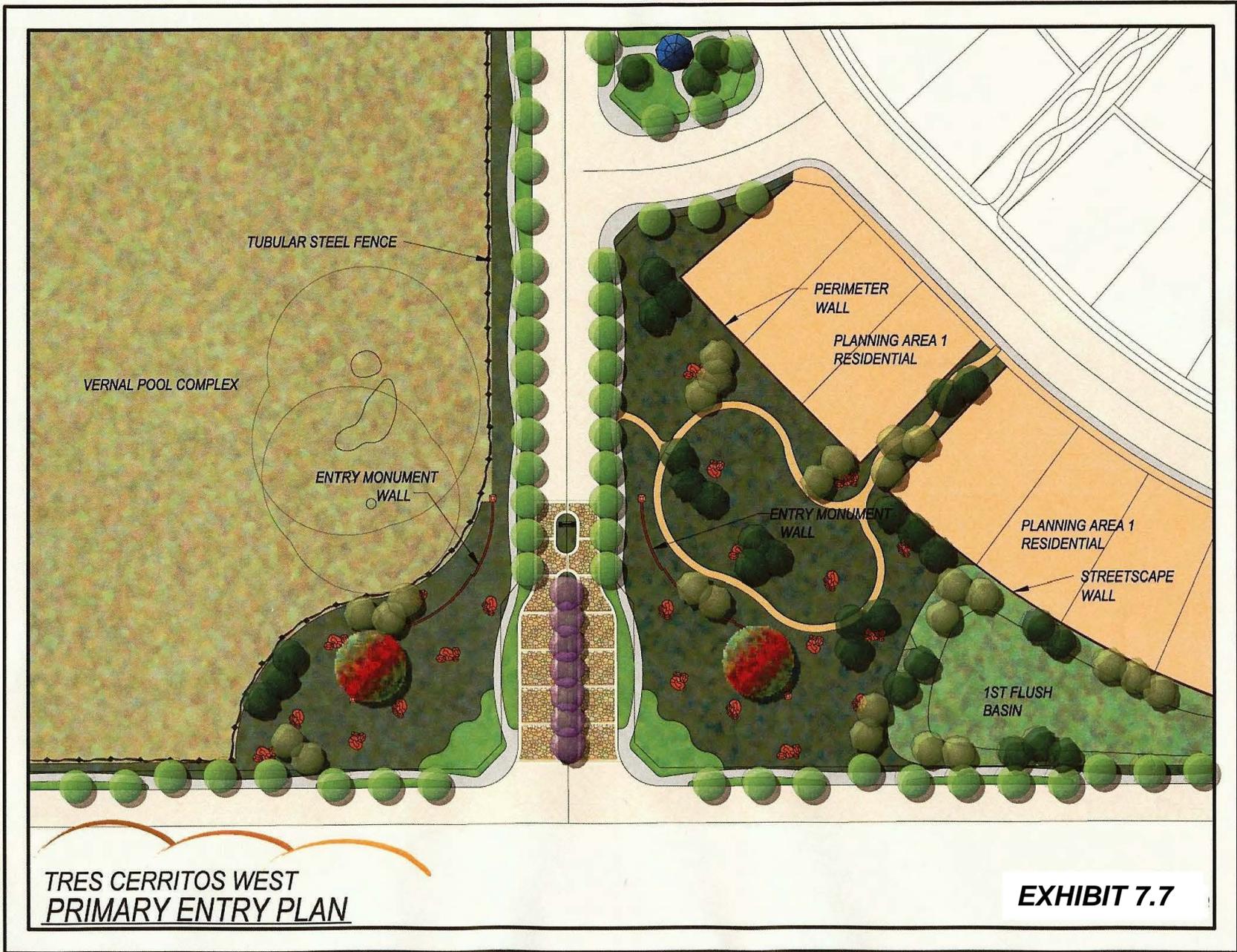
Tres Cerritos West

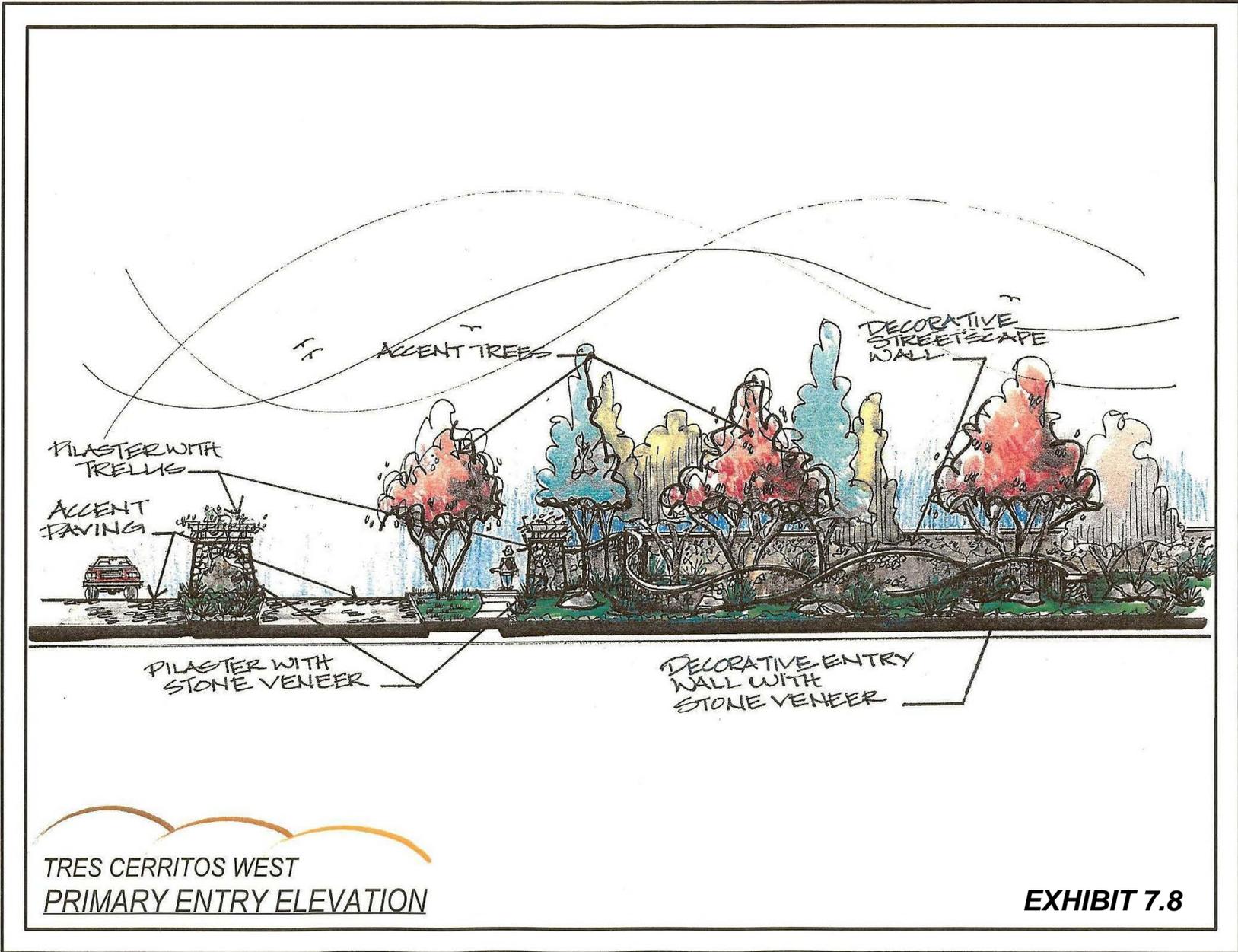
The main entries into Tres Cerritos West are indicated in **Exhibits 7.7, 7.8, and 7.9**. The primary entry incorporates broad expanded parkways along Celeste Road to define the project identity and to relate thematically to the conditions at the entry. Tres Cerritos West is designed so that the throats of both entries increase significantly beyond the expanded parkways and introduce large theme walls designed to resemble the “three hills” of the Tres Cerritos theme. The entries again incorporate a loose and flowing plant palette, complete with boulder outcroppings and natural materials for driveway pavements, walkways, and entry pilasters. At the primary entry, the monument walls assist in protecting and screening the vernal pool areas from unwanted intrusions.

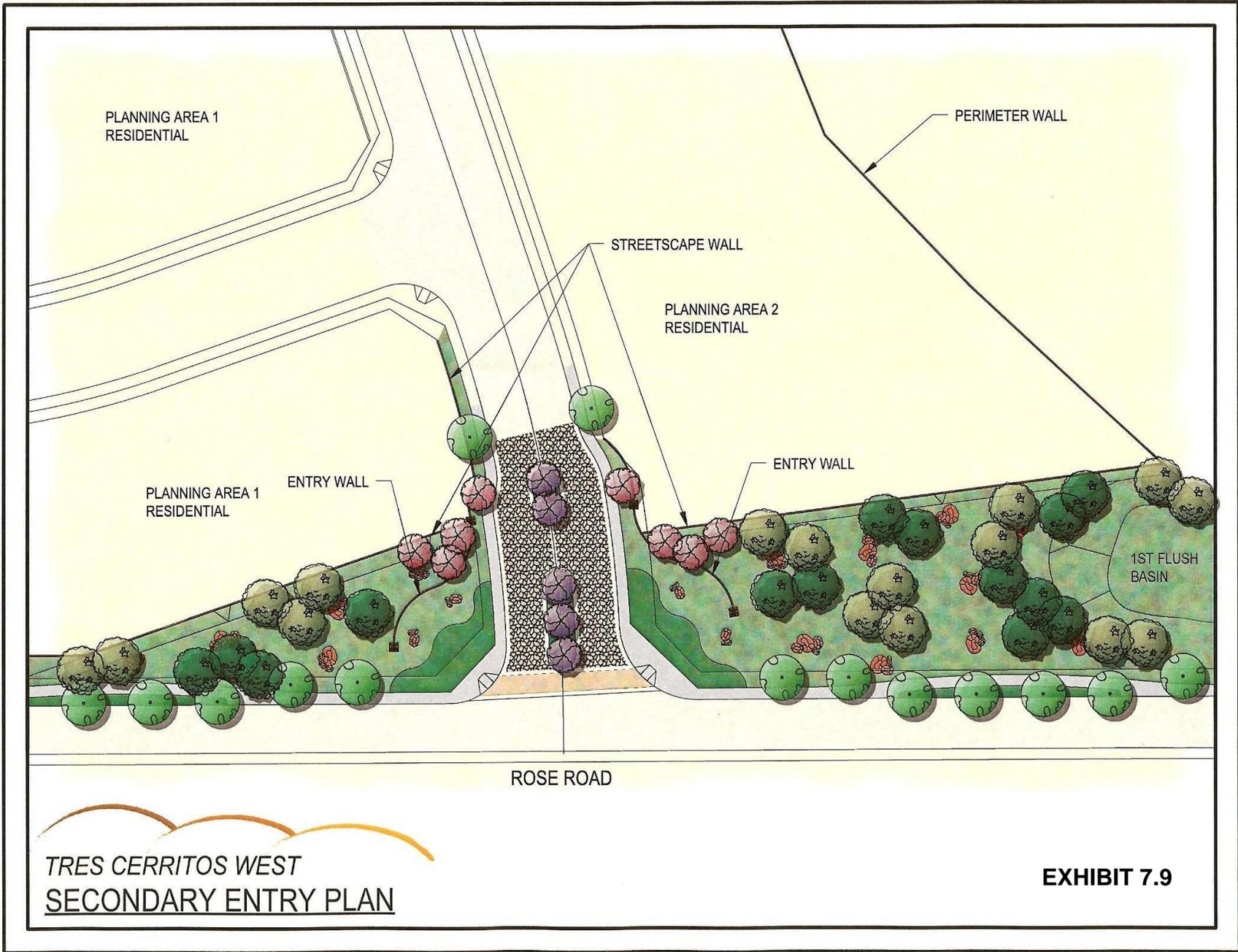
Tres Cerritos East

The project entries for Tres Cerritos East off of Devonshire Avenue address several conditions which converge that include bridges that cross the drainage channel for vehicular and non-vehicular traffic, a regional trail, entry monuments, and a rich landscaping palette to tie these elements together.

The primary project entry is located at Menlo and Devonshire Avenues. Conceptual design for the entry monument is illustrated in **Exhibit 7.10**. The secondary project entry is located along Devonshire Avenue at proposed Street ‘A’, as shown in **Exhibit 7.11**. Access is gained over a bridge that crosses the drainage channel. The drainage channel is flanked by a combination maintenance road and regional trail on the north, and a standard city sidewalk along the south, adjacent to Devonshire Avenue. Extensive landscaping is provided along both pedestrian facilities. Pedestrian access is provided along both sides of Street ‘A’ over the theme bridge.



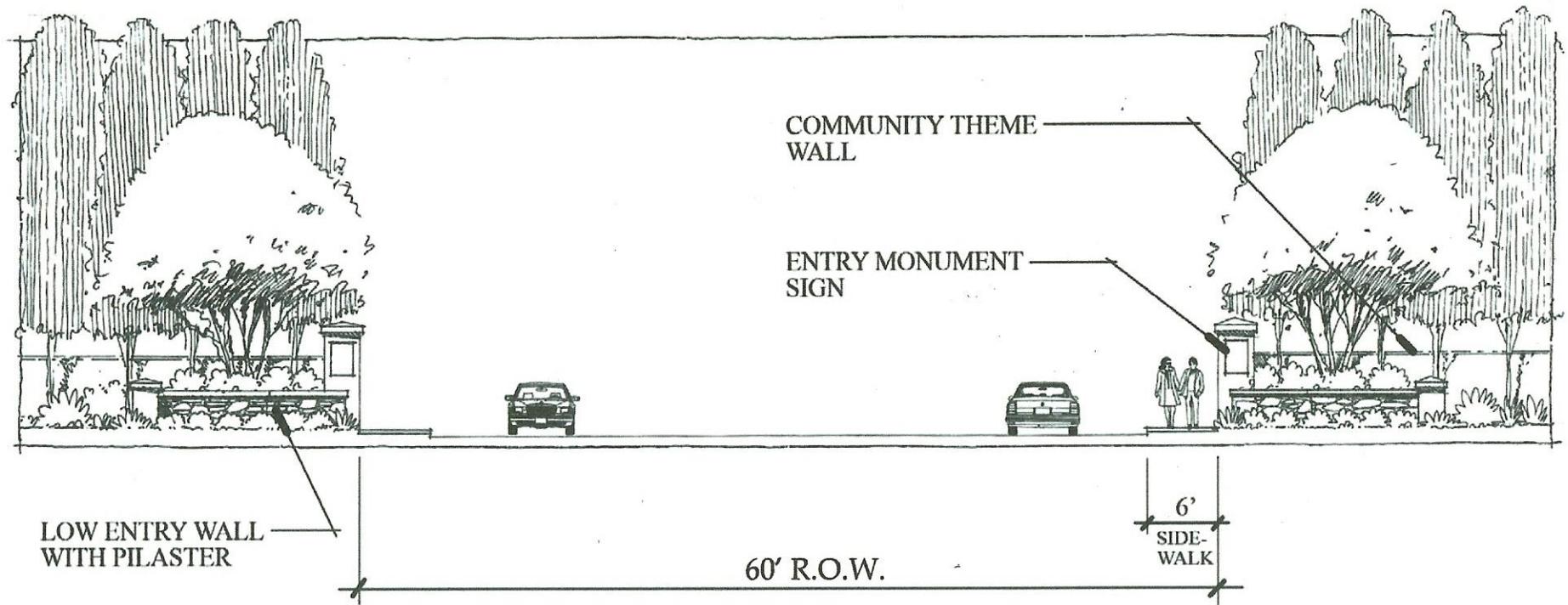






STACKED ROCK WALL . STACKED ROCK PILASTERS AT 6 AND 8 FEET HIGH. WOOD OR SIMULATED WOOD ACCENTS

**Tres Cerritos East
Menlo Avenue Primary Entry Elevation
Exhibit 7.10**



Entry Elevation
"A" Street

Tres Cerritos East
Devonshire Entry at 'A' Street Elevation
Exhibit 7.11

Park Plans

Tres Cerritos West

One other key element of continuing and expanding the open space theme is the park presented in **Exhibits 7.12 and 7.13**. The park incorporates a unique water play environment, tot lot, child play areas, recreation center, and turf play areas connected to a paseo system which incorporates a dry stream bed/drainage swale.

Tres Cerritos East

Tres Cerritos East contains over 25.6 acres of park facilities composed of public parks, private recreational facilities, and a linear park over the MWD easement. Parks are provided throughout the project area. They will be improved by the developer as part of any adjoining residential development, and could include basketball courts, picnic facilities, playground equipment, tot lot, and turf areas. The parks are located throughout the project for ease of access by project residents. There will be no restrictions on public access and use for public and linear parks. These parks would be maintained under a Landscape, Lighting and Maintenance District. **Exhibits 7.14 through 7.15** depict park images and amenities

Private recreational facilities are located within the Townhome area, (Planning Area 15). These facilities would each include a common area, restrooms, showers, pool, spa, and sunning area. These facilities will be owned and operated by a homeowners association for the exclusive use of residents and their guests.

The linear public park facility provides linkage to all areas with the project. It will include at least two playground nodes, as conceptually depicted in **Exhibit 7.3**, and scattered picnic areas linked by a series of trails. Landscaping shall be predominantly drought tolerant with turf used to create a central fairway through the park. The extent of improvements over the linear park must conform to the requirements and restrictions of Metropolitan Water District to assure protection of their pipeline facility. The linear park would be accessible by the public and maintained through a Landscape, Lighting and Maintenance District. **Exhibit 7.4** illustrates landscape concepts for the linear park .

Exhibit 7.16 (Master Parks and Open Space Plan) provides an illustration and table outlining public and private park and opens spaces within the combined Tres Cerritos West and Tres Cerritos East Primary Planning Areas.



TRES CERRITOS WEST
PARK PLAN

EXHIBIT 7.12



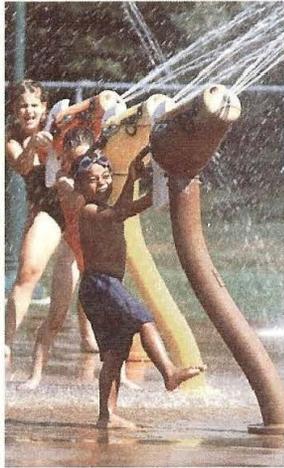
WATER PLAY AREA



WATER PLAY EQUIPMENT



TOT PLAY AREA EQUIPMENT



WATER PLAY EQUIPMENT



PLAY AREAS

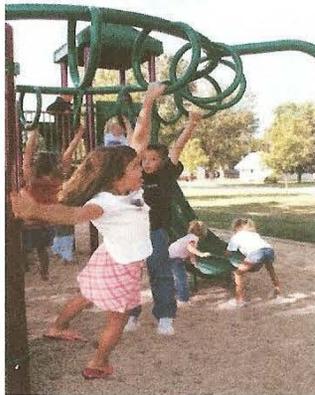
***TRES CERRITOS WEST
PARK EQUIPMENT***

EXHIBIT 7.13



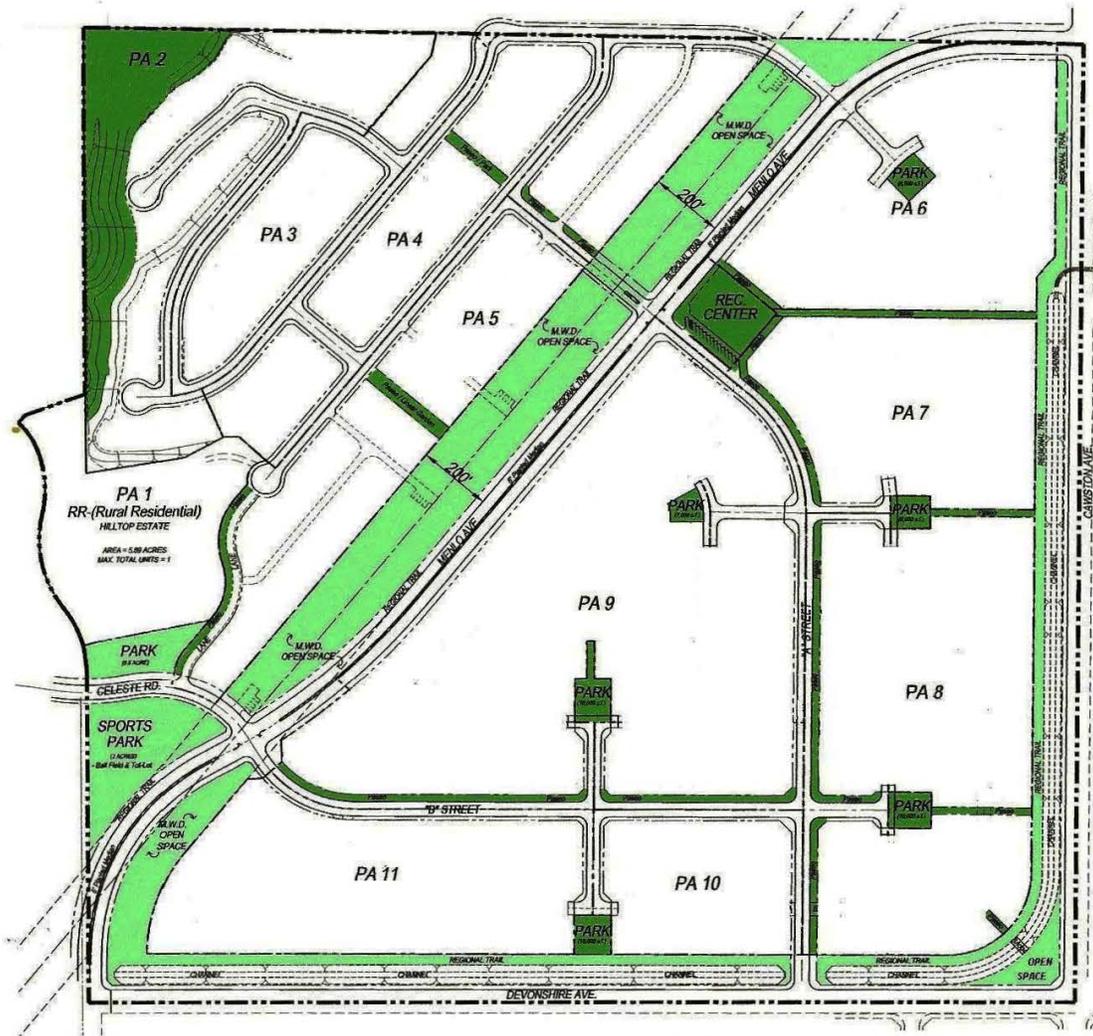
Neighborhood Recreation Area
Tres Cerritos

EXHIBIT 7.14



Park Equipment
Tres Cerritos

EXHIBIT 7.15



PARK AND OPEN SPACE TABULATION

OPEN SPACE AND ACTIVE PARK AREA MAINTAINED BY AREA H.O.A.

HILLSIDE OPEN SPACE
 RECREATION CENTER
 PRIVATE NEIGHBORHOOD PARKS
 NEIGHBORHOOD PASEOS

PA	APROX SIZE
2	3.5 Acs
6,7	1.0 Acs
6,7,8,9,10	5.6 Acs
ALL	4.1 Acs
	14.2 Acs

OPEN SPACE AND PARK/TRAIL AREA MAINTAINED BY LLMD

DRAINAGE CHANNEL AND REGIONAL TRAIL
 LINEAR PARK
 ACTIVE PARK AREAS

9.2 Acs
7.9 Acs
2.5 Acs
19.6 Acs

Master Parks and Open Space Plan

EXHIBIT 7.16

Pedestrian Amenities

Streetscapes

The landscape design guidelines for Tres Cerritos West and Tres Cerritos East are intended to enhance the natural environmental characteristics of the area. One such characteristic is the introduction of extensive common open space areas and streetscenes.

Streetscenes will incorporate natural flowing forms of native style vegetation. An expanded parkway incorporates a meandering sidewalk, berms, seating areas, low level lighting, and free flowing natural plant pallettes.

Paseos

Tres Cerritos West

The open space continues beyond the expanded street parkways to form paseos. The paseo system offers walking, exercize, picnicking, and social spaces throughout the project, and ties the complete development together both visually and physically. The paseos continue the theme of meandering sidewalks, seating areas, gardens, low level lighting, and flowing planting pallettes. Images of the streetscene and paseo system are shown in **Exhibits 7.17 and 7.18.**

Tres Cerritos East

Tres Cerritos East is a walking-oriented development composed of paseos, regional trails, and sidewalks. The paseo system offers walking, exercize, and social spaces throughout the project, and ties the complete development together both visually and physically. The paseos continue the theme of meandering sidewalks, seating areas, gardens, low level lighting, and flowing planting pallettes. A Paseo System Plan an Images of the paseo system are shown in **Exhibit 7.19 and 7.20.**

The paseo walkway system is designed to be accessable from residences throughout the project area. Paseos count toward the project open space requirement without dominating the overall square footage of the project open space component. Fences along paseos utilize a decorative block wall in order to retain privacy. Units within Planning Area 4 will face the paseo and no fencing is required.

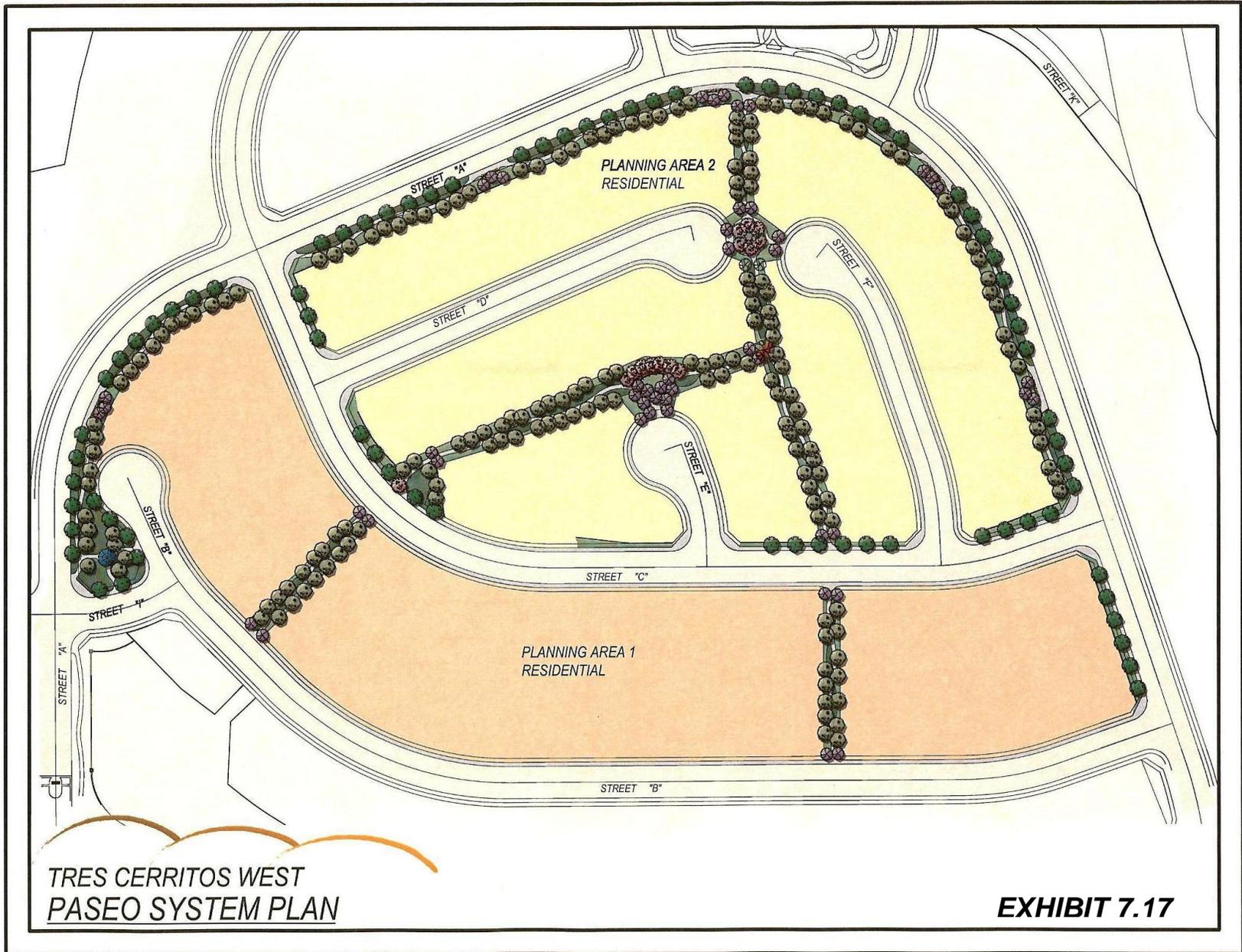
Paseos are designed to promote visibility, safety, and access. To that end, low profile pedestrian lights are provided to enhance pedestrian safety. Paseo sytems will be maintained by a homeowners association.

Regional Trails are associated with the drainage system along Devonshire Avenue and Cawston Avenue, and along the linear park within the MWD easement. These trails will offer linkage to areas beyond the project and have more of a community context. The

trails will be constructed for all-weather access while retaining a rustic charm. The trails will be designed to meander. The trail along the drainage course will meander to the extent feasible and practical as a joint trail and maintenance access road. Regional trails are also designed to promote visibility, safety, and access. See **Exhibit 7.21** for further illustrations of the regional trail system.

Concrete sidewalks will be constructed along both sides of all public streets to complete the system of pedestrian access. Sidewalks along public streets will be placed at the property line to enable a landscaped parkway buffer between pedestrians and vehicles, and to enhance the aesthetic quality of the project. Images of sidewalks are shown in **Exhibit 7.22**.

As shown on Table VI-1, sidewalks and adjoining parkways will be maintained under a Landscape, Lighting, and Maintenance District. The paseos and regional trails will be owned and maintained by the Master Homeowners Association.





PASEO BETWEEN LOTS



PASEO-FRONT YARD INTERFACE



EXPANDED PARKWAY



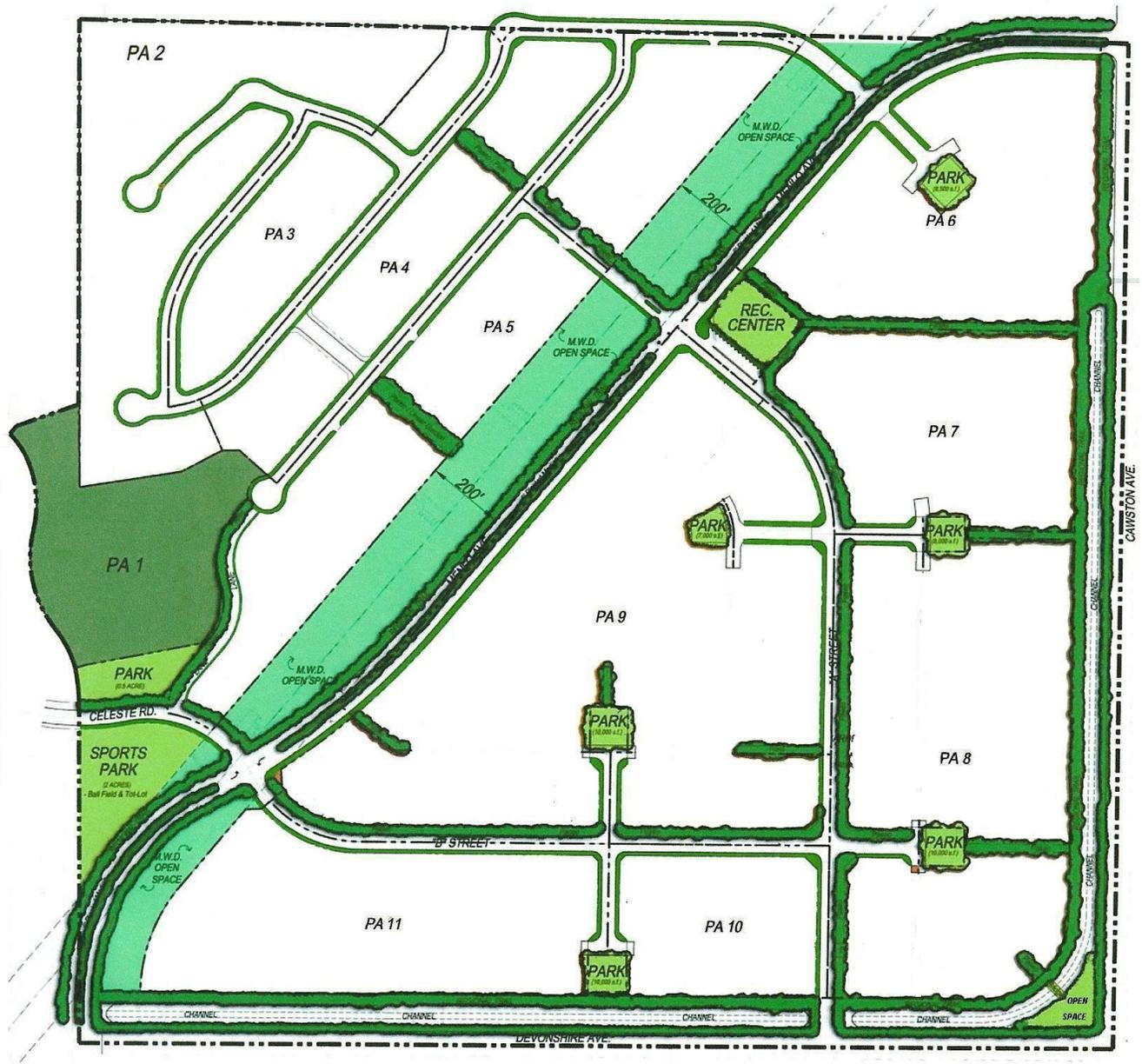
PASEO-STREET INTERFACE



EXPANDED PARKWAY

**TRES CERRITOS WEST
PASEO IMAGES**

EXHIBIT 7.18



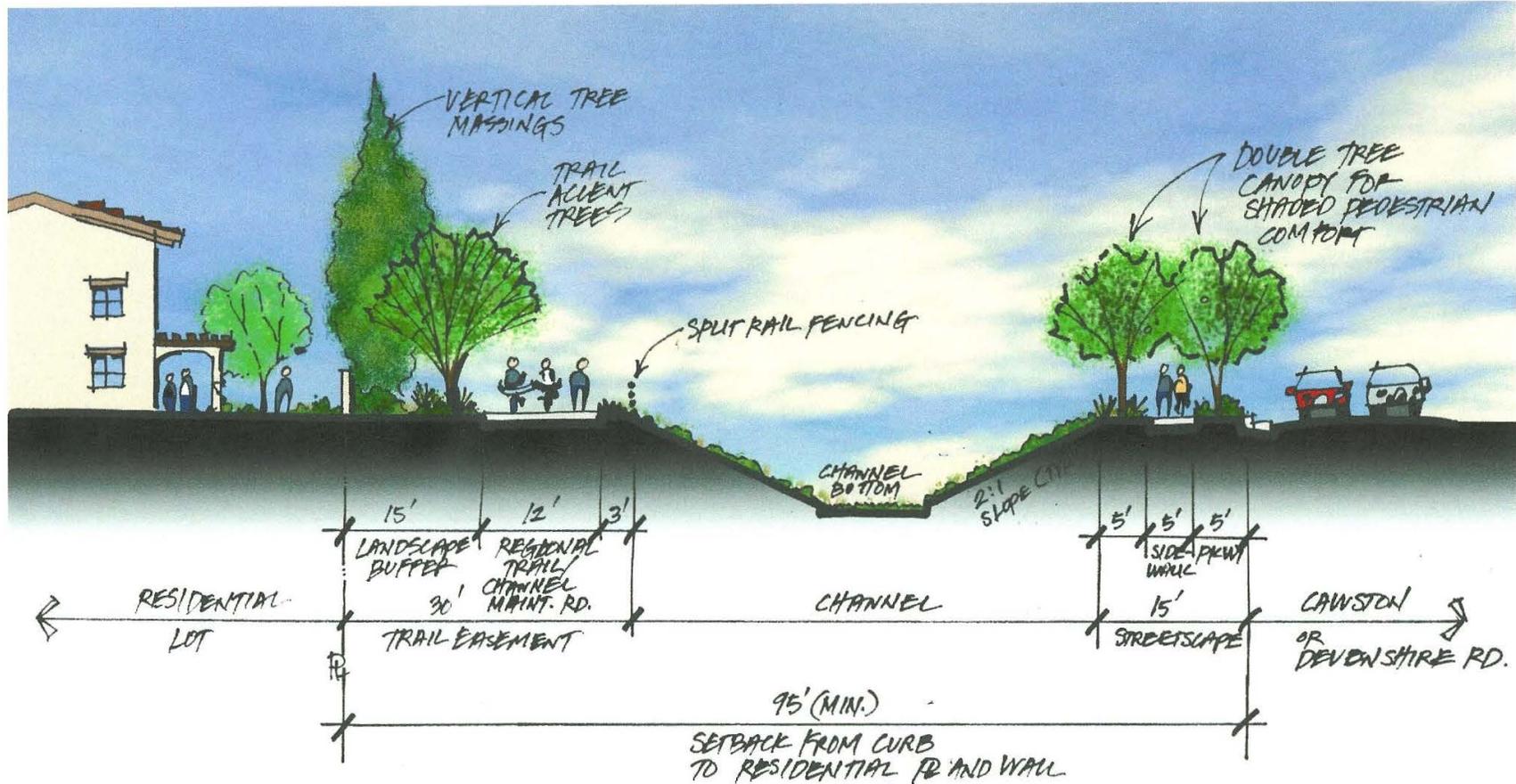
PEDESTRIAN CIRCULATION PLAN
Tres Cerritos East
Exhibit 7.19

PEDESTRIAN CIRCULATION PLAN



Paseo / Streetscape
Tres Cerritos

EXHIBIT 7.20



TRES CERRITOS EAST
REGIONAL TRAIL / CHANNEL SECTION

SCALE 1"=10'



EXHIBIT 7.21

- **Fencing and Walls**

Tres Cerritos West

A map of the fencing plan is provided in **Exhibit 7.22** that illustrates the type and extent of fencing throughout the project area. Elevations of the types of fencing to be used is provided in **Exhibit 7.23**. The intent of the fencing design is to place the appropriate type of fence in a location to either enable views or to blend with the natural environment.

Streetscape: a project theme wall of contrasting tan block with brown split face block and a brown block cap to emulate the hills of Tres Cerritos.

Perimeter wall: tan block with a brown block cap used along the side and rear lot lines of individual lots, including lots adjoining natural open space, that will be complemented by vine plant material to assist with graffiti control as well as to soften the streetscene.

Tubular Steel: to provide views into key areas as well as incorporating portions of non-climbable/pest control fencing for the vernal pools.

Tres Cerritos East

The project will be enclosed by a perimeter theme wall, except at the linear park/MWD easement and along the Tres Cerritos hillside. The perimeter wall is designed as tan split face block, with two courses of accent brown split face block, as shown in **Exhibit 7.25**. The top will be capped by a brown block cap. The perimeter wall will also be used in limited instances along street-oriented side yards

A streetscape wall will be provided along the rear of lots that adjoin public streets. The streetscape wall is designed as tan split face block with a brown split face course and block cap at the top. Brown pilasters will be placed every 75 feet on center or at intersecting property lines.

A combination of tubular steel and block wall will be used along paseos and at the interface between multiple family residential space and the linear park.

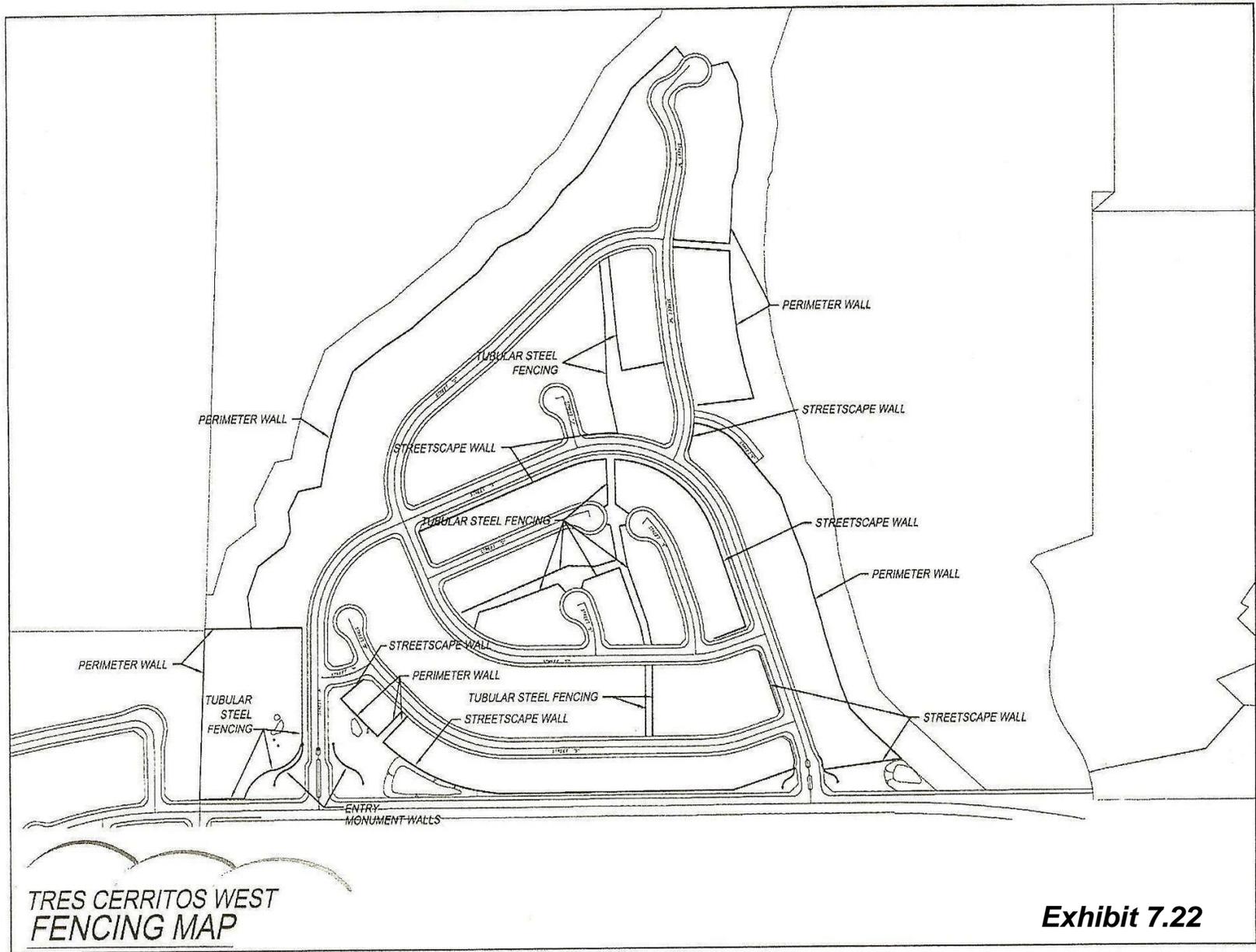
Tubular steel fencing will be provided at the rear of lots adjoining the Tres Cerritos hills, and adjoining public parks in some instances. Tubular steel will also be used as the fencing separating the public sidewalk from the drainage channel along Cawston Avenue and Devonshire Avenue.

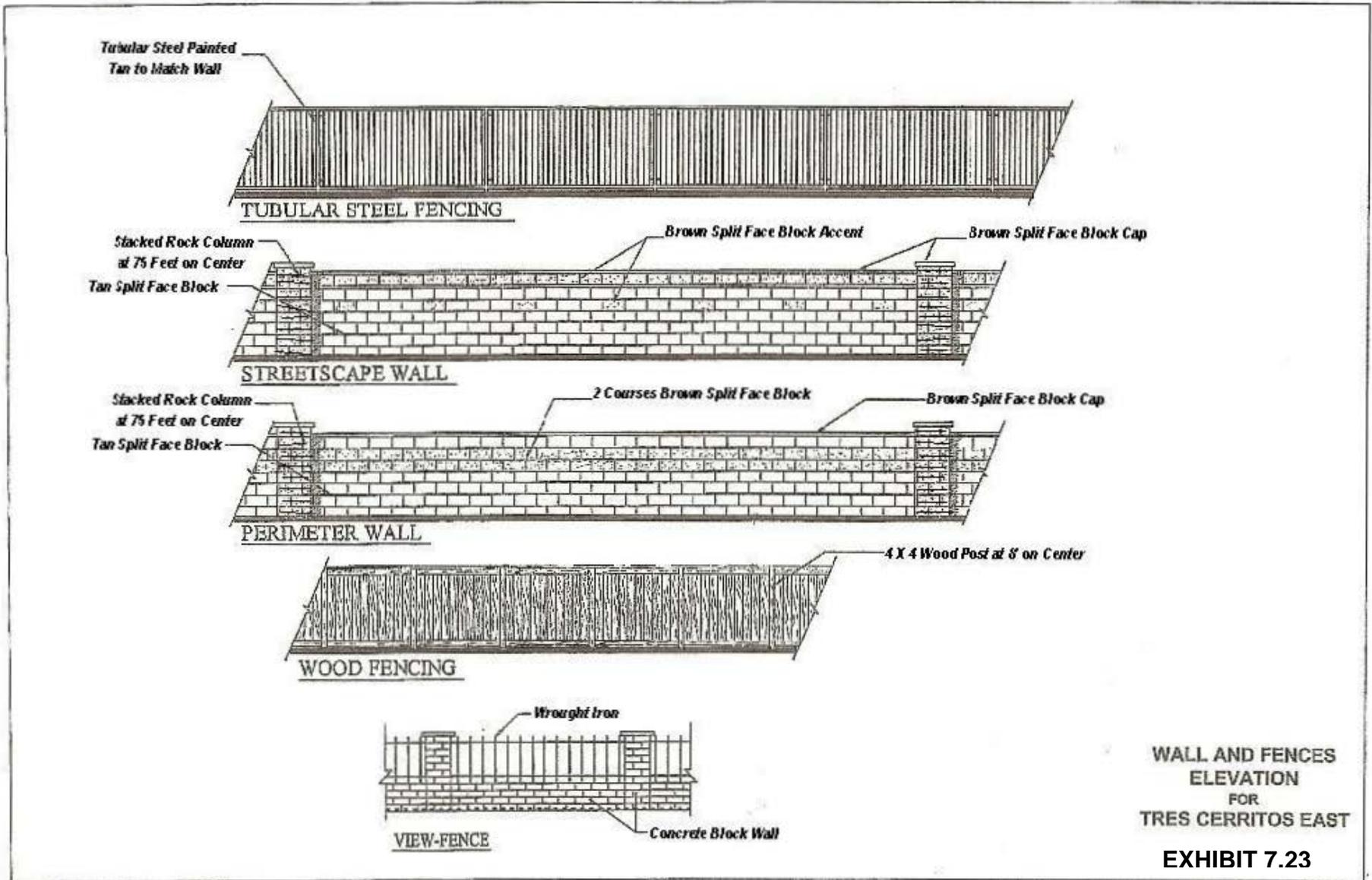
Wood fencing will be provided between single family residential lots where yard areas are not oriented to a street. Gates visible from public view shall be wood or wrought

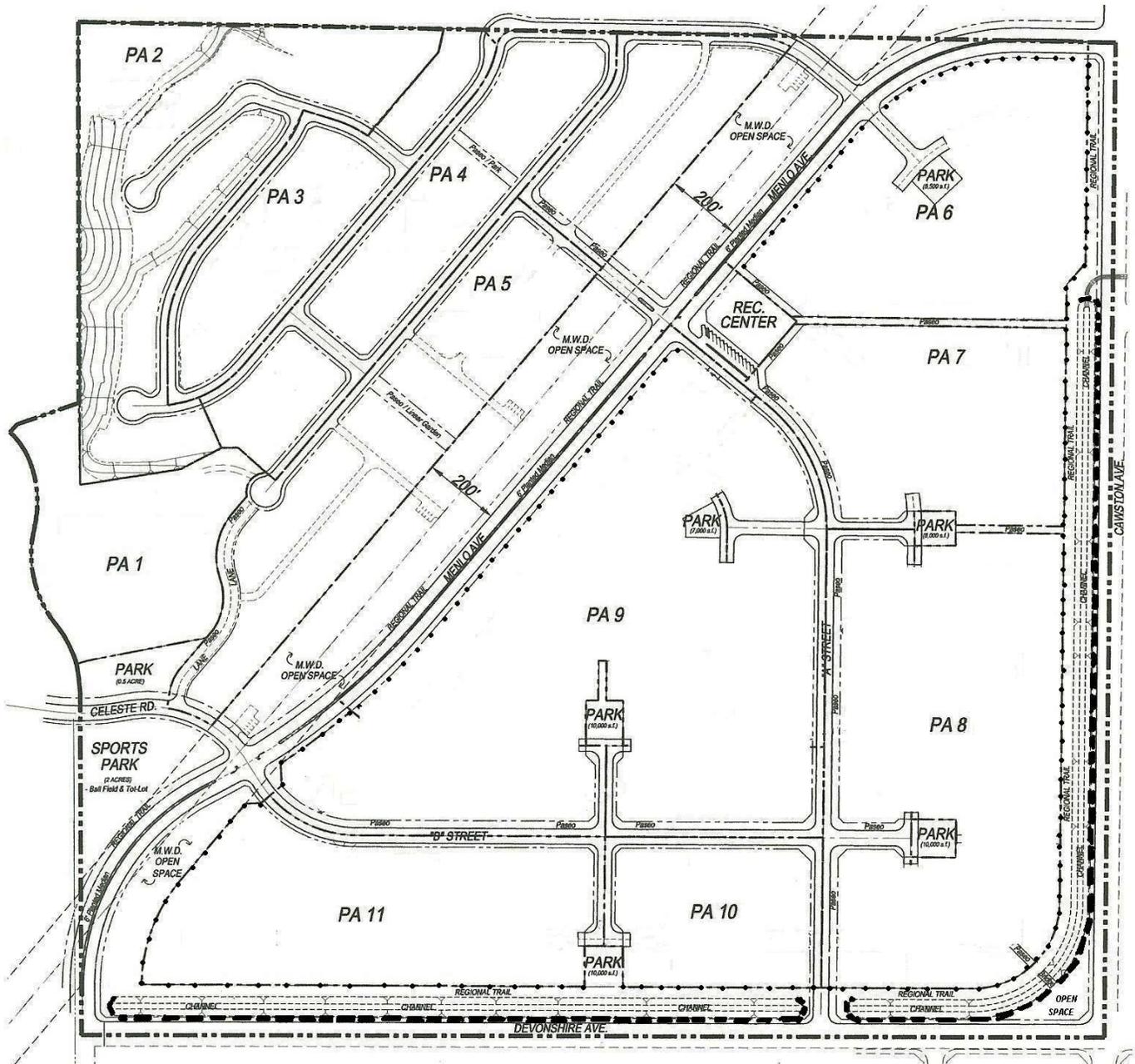
iron. Chain link fencing and gates are prohibited. If wooden gated are used, they shall be painted the same color as the adjoining home.

Fencing along paseos and neighborhood parks will vary depending on the orientation of adjoining uses, the type of residential use, and other factors in order to balance security with aesthetics.

The proposed fencing plan and fencing elevations that have been selected for use in Tres Cerritos East are depicted in **Exhibits 7.24 and 7.25**.

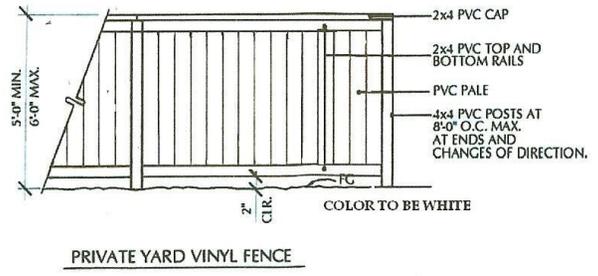
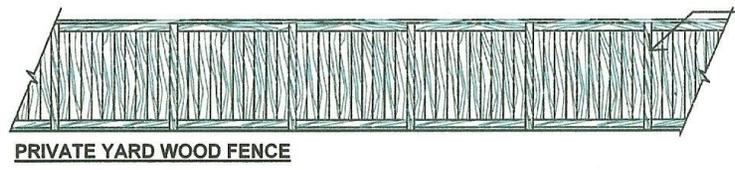
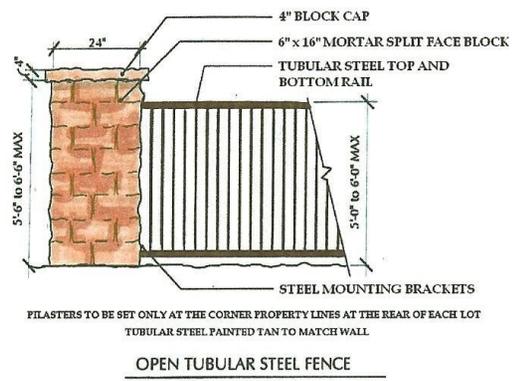
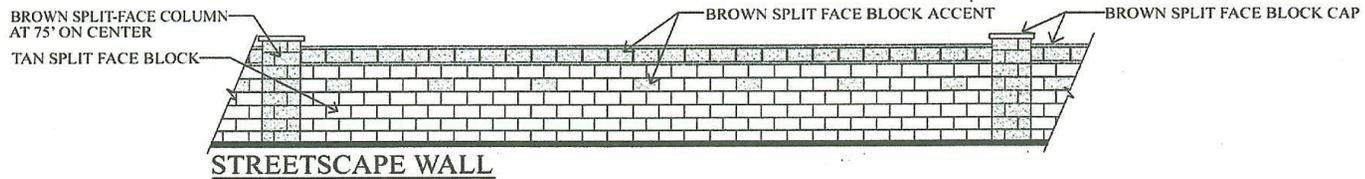






Streetscape Theme Wall
Tubular Steel Fence - - - - -

Walls & Fences Plan
Tres Cerritos East EXHIBIT 7.24



Walls & Fences Elevations
Tres Cerritos East Exhibit 7.25

E. ALTERATIONS / DEVIATIONS FROM THE DESIGN ELEMENTS:

Over the life of the project, alterations or deviations in the design elements may be desirable and are acceptable provided they are determined not to be significant, (i.e: important or relevant to the overall character, scale or appearance of the project) and contribute to the diversity of the project.

A Development Review Committee composed of the City staff, developer, and his consultants shall review all proposed revisions or deviations and shall determine whether proposed alterations are significant or insignificant. Insignificant alterations/deviations shall be reviewed by an appointee of the Development Review Committee and when approved, documentation of the approved revisions/deviations shall be forwarded to the Planning Department for inclusion into the plan.

Revisions or deviations from the **design/aesthetic** intent for the project shall require an amendment to the Specific Plan when determined to be significant.

F . LANDSCAPE GUIDELINES: (Project-wide)

The following table lists the landscape materials selected to enhance the unique environment of Tres Cerritos. This palette is intended to provide year round color and foliage. In addition several plants have been selected based upon their aromatic scent at times throughout the blooming season.

Tres Cerritos Project Area – City of Hemet
Preliminary Planting Palette

Botanic Name	Common Name	Height/Spread
TREES:		
ARBUTUS MARINA	NCN	40'/40'
BRACHYCHITON POPULNEUS	BOTTLE TREE	30'-50'/30'
CEDRUS DEODARA	DEODAR CEDAR	80'/40'
CINNAMOMUM CAMPHORA	CAMPHOR TREE	50'/60'
GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	30'/20'
HYMENOSPORUM FLAVUM	SWEET SHADE TREE	40'/20'
LAGERSTROEMIA INDICA 'MUSKOGEE'	GRAPE MYRTLE – MULTI TRUNK	15'/15'
KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	40'/40'
MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	60'/40'
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	SOUTHERN MAGNOLIA	20'/15'
MELALEUCA QUINQUENERVIA	PAPERBARK TREE	30'/20'
PINUS ELDARICA	AFGHAN PINE	60'/25'
PINUS HALEPENSIS	ALEPPO PINE	60'/40'
PISTACIA CHINENSIS	CHINESE PISTACHE	40'/40'
PODOCARPUS GRACILIOR	FERN PINE	40'/20'
PRUNUS CERASIFERA	PURPLE LEAF PLUM	15'/15'
PYRUS KAWAKAMII	EVERGREEN PEAR	30'/30'
QUERCUS ILEX	HOLLY OAK	50'/50'
QUERCUS SUBER	CORK OAK	50'/50'
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	60'/60'
RHUS LANCEA	AFRICAN SUMAC	30'/30'
SCHINUS MOLLE	CALIFORNIA PEPPER	40'/40'

SHRUBS:

ABELIA GRANDIFLORA 'EDWARD GOUCHER'	GLOSSY ABELIA	5'5'
AGANTHUS AFRICANUS 'PETER PAN'	LILY-OF-THE-NILE	18"/18"
ARBUTUS UNEDO	STRAWBERRY TREE	10'/10'
BOUGAINVILLEA SPP.	BOUGAINVILLEA	VARIES
CEANOTHUS SP.	WILD LILAC	VARIES
CISTUS 'SUNSET'	ROCKROSE	3'/6'
COLEONEMA PULCHRUM	PINK BREATH OF HEAVEN	5'/5'
DIETES VEGETA	FORTNIGHT LILY	3'/2'
ESCALLONIA FRADESII	ESCALLONIA	5'/5'
FEIJOA SELLOWIANA	PINEAPPLE GUAVA	8'/8'
GREVILLEA 'NOELLII'	GREVILLEA	4'/4'
JASMINUM MESNYI	PRIMROSE JASMINE	6'/6'
HEMEROCALLIS HYBRIDS	DAYLILY	18"/18"
ILEX CORNUTA	CHINESE HOLLY	7'/7'
LAVANDULA OFFICINALIS	ENGLISH LAVENDER	18"/18"
LAVANDULA STOECHAS	SPANISH LAVENDER	18"/18"
MAHONIA 'GOLDEN ABUNDANCE'	GOLDEN ABUNDANCE	6'/5'
NANDINA DOMESTICA 'HARBOUR DWARF'	DWARF HEAVENLY BAMBOO	3'/3'
OSMANTHUS FRAGRANS	SWEET OLIVE	8'/8'
PHILADELPHUS MEXICANUS	EVERGREN MACK ORANGE	5'/5'
PHORMIUM TENAX 'CHOCOLATE'	NEW ZEALAND FLAX	4'/4'
PHORMIUM TENAX 'PINK STRIPE'	NEW ZEALAND FLAX	3'/4'
PHORMIUM TENAX 'MAORI QUEEN'	NEW ZEALAND FLAX	5'/5'
PHOTINIA FRASERI	PHOTINIA	8'/8'
PITTOSPORUM TOBIRA 'VARIEGATA'	TOBIRA	7'/7'
PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	DWARF TOBIRA	3'/3'
RHAPHIOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN	5'/5'
ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	ROSEMARY	6'/3'
SALVIA GREGGII	AUTMUN SAGE	18"/18"
TULBAGHIA VIOLACEA 'SILVER LACE'	SOCIETY GARLIC	18"/18"
XYLOSMA CONGESTUM	SHINY XYLOSMA	8'/8'

VINES:

CALLIANDRA HAEMATOCEPHALA 'ESPALLIER'	PINK POWDER PUFF	VARIES
DISTICTUS BUCCINATORIA 'ESPALLIER'	BLOOD RED TRUMPET VINE	VARIES
FICUS REPENS	CREEPING FIG	VARIES
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	VARIES

GROUNDCOVERS:

CONVOLVULUS SABATICUS	GROUND MORNING GLORY	18"
HYPERICUM CALYGINUM	AARON'S BEARD	18"
LONICERA JAPONICA 'HALLIANA'	HALL'S JAPANESE HONEYSUCKLE	24"
MYOPORUM PARVIFOLIUM 'PINK'	MYOPORUM	12"
ROSA 'JOYFUL JUBILEE'	CARPET ROSE	24"
ROSMARINUS OFFICINALIS - 'HUNTINGTON CARPET'	ROSEMARY	24"
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	24"
VERBENA PULCHELLA 'GRACILIOR'	MOSS VERBENA	12"

i Ibid., II General Plan, A.4.a., Residential Districts, pg. II-A-23

ii Ibid., II General Plan, A.4.a., Residential Districts, pg. II-A-23

iii Ibid., II General Plan, A. 4.e., Open Space Districts, Open Space, pg II-A-26

EXHIBIT 'A'

Peppertree and Tres Cerritos East
Improvement Plan Agreement



Memorandum

Bryan Cave LLP
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Suite 1500
Irvine, California 92612-4411
Tel (949) 223-7000
Fax (949) 223-7100
www.bryancave.com

Date: August 8, 2011
To: Thomas D. Shollin, Esq.
From: William B. Tate II, Esq. 
cc: Ms. Liz Belloso
Bryan LeRoy, Esq.
Email: wbtate@bryancave.com
Direct Dial: (949) 223-7333
Re: Douglas P. Wilson, Receiver for PCG-Peppertree, LP
(Tres Cerritos East) Development Issues.

As you are aware, Bryan Cave LLP represents the Douglas P. Wilson, as receiver (the "Receiver") for PCG-Peppertree, L.P., the owner of the residential project commonly known as the Peppertree Development consisting of certain real property legally described as Tentative Tract 29843 in Hemet, California. Signal Family Hemet, LLC ("SFH"), Omri Financial, LLC ("OMNI"), and MJ&M, LLC are the co-owners of an adjacent tract of real property, commonly know as the Tres Cerritos East Development ("TCE"), has proposed for approval by the City of Hemet an amendment to the Tres Cerritos East Specific Plan (the "Specific Plan Amendment"). The Specific Plan Amendment contemplates the realignment of Menlo Avenue where it is adjacent to the Peppertree Development (See Exhibit "A"). The realignment of Menlo Avenue poses several concerns to the Receiver since its implementation will affect, among other things, existing utilities, access and drainage relative to the Peppertree Development. Upon review of the Specific Plan Amendment, the Receiver is willing to support the same, including the realignment of Menlo Avenue, subject to the inclusion of the following conditions to the approval of the Specific Plan Amendment.

I. Planning and Construction Relating to Menlo Avenue.

A. Mutually Agreed Construction Plan. Prior to the construction of any infrastructure in the Tres Cerritos East Development, the owners and/or operators of the adjacent Peppertree Development and the Tres Cerritos East Development shall agree upon a plan for the construction of the realignment of Menlo Avenue (the "Construction Plan"). The Construction Plan shall be in conformity with the Specific Plan Amendment and shall include, among other things, (i) grading, drainage, landscaping and engineering plans and schematics, (ii) a schedule of construction, and (iii) bonding and insurance requirements. The Construction Plan shall provide for the existing sidewalk on the Peppertree Development adjacent to the northern portion of Menlo Avenue to remain in

place and connect to the realigned Menlo Avenue (See Exhibit "A"). The Construction Plan shall provide for the owners to coordinate all road closures and to sequence construction to minimize any disruption of access to the Peppertree Development from Menlo Avenue. The cost of planning, construction and installation of all improvements set forth in the Construction Plan shall be borne solely by SFH and its successor and assigns.

B. Utilities and Landscaping. All utilities, landscape and sidewalk currently located in that portion of Menlo Avenue servicing the Peppertree development shall remain in place with such modifications as may be necessary for the Tres Cerritos Development to accept storm water and run-off in accordance with Section III below. SFH shall, at its sole cost and expense, install all landscape and irrigation pursuant to the Construction Plan to prevent erosion and minimize dust.

II. Traffic Flow. Due to our concerns regarding (i) the realignment of Menlo Avenue which necessitates several additional turns for ingress and egress into the Peppertree Development, (ii) the age of our residents, and (iii) the number of trips to be generated by the Tres Cerritos East Development, we request the following improvements to be constructed and installed by SFH, at its sole cost and expense.

A. Driveway 3.

1. Driveway 3 shall be no less than 66 feet wide.
2. A left turn lane shall be constructed in Driveway 3 at the intersection of Menlo Avenue.
3. Cross street stop signs shall be installed at Driveway 3 and Menlo Avenue.

B. Menlo Avenue.

1. A deceleration lane shall be constructed on Menlo Avenue for southbound traffic transitioning to Driveway 3.
2. An acceleration lane shall be constructed on Menlo Avenue for traffic transitioning from Driveway 3 to Menlo Avenue southbound.
3. A left turn lane shall be constructed on Menlo Avenue for northbound traffic transitioning to Driveway 3.
4. A center transition lane shall be constructed on Menlo Avenue approaching Driveway 3 for northbound traffic.

III. Drainage. The following conditions are requested to address certain drainage issues and are consistent with the requirements of the Specific Plan Amendment.

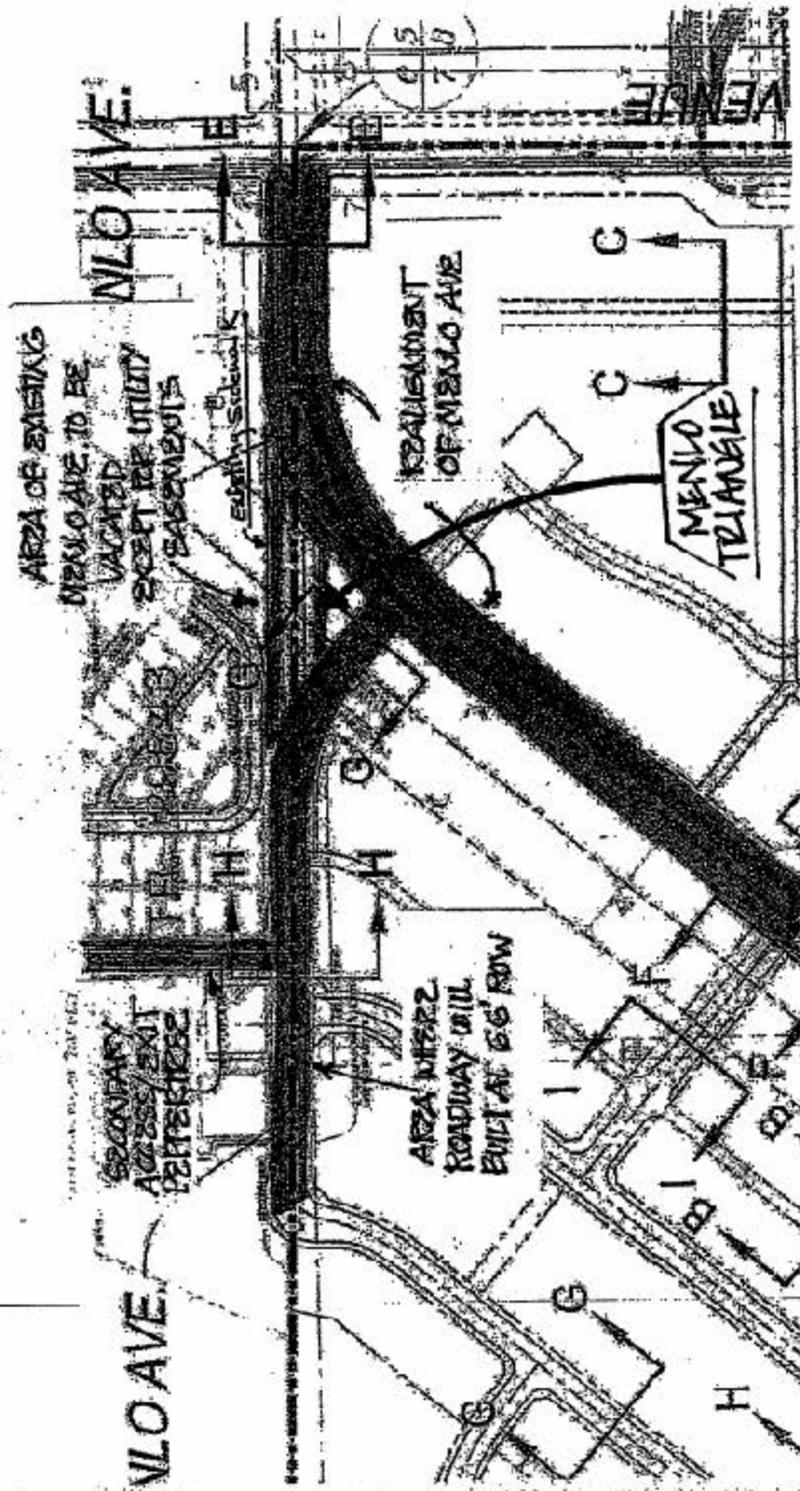
A. Acceptance of Line A Discharge. The Tres Cerritos East Development shall be required to accept and transport all storm drain waters discharged from the Line A storm drain.

B. Acceptance of Waters from the Menlo Triangle. The Tres Cerritos East Development shall be required to accept all storm waters and run-off from the Menlo Triangle, as depicted on Exhibit "A" attached hereto.

C. Acceptance of Storm Water and Run-off from Menlo Avenue. Following the construction of such improvements required to be performed by PCG-Peppertree, L.P. and TCE relating to the completion of Menlo Avenue, the TCE shall be required to accept and properly discharge all storm waters and run-off associated with Menlo Avenue.

WBT:jf

EXHIBIT "A"



SECTIONS G-H = 60' ROW
(DRIVEWAY 75)

EXHIBIT 'B'

Indemnification Agreement

INDEMNIFICATION AGREEMENT

This Indemnification Agreement ("Agreement") is entered into as of (MAY 27, 2012), 2012, by and between the City of Hemet ("City"), a municipal corporation and Signal Family Hemet, LLC, a California limited liability company ("Signal Hemet"); Omni Financial, LLC, a California limited liability company, and Sterling Real Estate Partners, I, LLC, A California limited liability company (collectively, "Omni-Sterling"); and MJ&M, LLC, a California limited liability company ("MJ&M")(collectively, "Developers").

RECITALS

A. Signal Hemet owns Assessor Parcel Numbers 448-100-003-4, 448-100-004-5, 448-100-006-7, 448-100-009-0, 448-100-013-3, 448-100-014, 448-100-016-6, 448-100-017-7, and 448-110-001-3. Omni-Sterling owns Assessor Parcel Numbers 448-100-015-5, 448-110-002-4, 448-110-003-5, 448-110-004-6, 448-110-005-7, 448-110-006-8, 448-110-007-9, 448-110-008-0, 448-110-009-1, 448-110-010-1, 448-110-011-2, 448-110-012-3, 448-110-013-4, 448-110-014-5, 448-110-015-6, 448-110-017-8, 448-110-018-9, 448-110-019-0, 448-110-020-0, 448-110-021-1, and 448-110-022-2. MJ&M owns Assessor Parcel Numbers 448-100-001, 448-100-002, 448-100-005, 448-100-007, 448-100-008, 448-100-010, 448-100-011, 448-100-012, and 448-100-018.

B. Developers applied to City for an amendment to the Hemet Valley Country Club Estates Specific Plan. This amendment, encompassing 165.8 acres of land, is known as the Tres Cerritos East Specific Plan Amendment and includes the development of 754 residential dwelling units, 17.6 acres of parks, as well as other public improvements ("Project").

C. On June 21, 2011, the Planning Commission of the City will hold a public hearing and make a recommendation to the City Council regarding the Project and certification of the Environmental Impact Report (SCII #2006071002) ("EIR").

D. The City Council is scheduled to hold a public hearing and review the Project and EIR on November 8, 2011. Should the City Council approve the Project and certify the EIR, the parties agree that this Agreement shall be effective and binding upon the parties.

NOW, THEREFORE, for good and valuable consideration the receipt of which is hereby acknowledged, in consideration of the covenants and agreements exchanged herein, and in consideration of City's approval of the Project and certification of the EIR, the Parties agree as follows:

1. **Indemnification.** The Developers (themselves and their successors and assigns) shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), and from any liability, judgments, orders, liens, costs and/or expenses arising therefrom or related thereto, brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the Project or EIR, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. Developers may select legal counsel providing the Developers' defense and it is expressly agreed that the City shall have the right to approve separate legal counsel providing the City's defense. Developers shall reimburse City for any attorney's fees, costs and expenses directly and necessarily incurred by the City in the course of the defense. Developers agree that City will forward monthly invoices to Developers for attorney's fees, costs and expenses it has incurred related to its defense of any Action and Developers agree to timely payment within thirty (30) days of receipt of the invoice. Developers agree to post adequate security or a cash deposit with City in an amount to cover the City's attorney's fees, costs and expenses incurred by City in the course of the defense in order to ensure timely payment of the City's invoices. The amount of the security or cash deposit shall be determined by the City. City shall promptly notify the Developers of any Action brought and City shall cooperate with Developers in the defense of the Action.

2. **Waiver and Release.** Developers, hereby waive all Actions (whether legal, equitable or declaratory in nature), proceedings (whether in courts or administrative bodies), alternative dispute resolution procedures (whether arbitration, mediation, or otherwise) demands, claims, and causes of action, and other means of recovery, of whatever nature, for damages (whether to person, property or business and including without limitation all forms of monetary recovery, whether for general, special, compensatory, or punitive damages, loss of earnings, loss of earning capacity, loss of profits or other damages of whatever nature), known or unknown, existing or future, arising from or in any way related to, the City's approval of the Project or certification of the EIR. Developers expressly acknowledge that they are familiar with Section 1542 of the California Civil Code which provides:

"A GENERAL RELEASE DOES NOT EXTEND TO CLAIMS WHICH THE CREDITOR DOES NOT KNOW OR SUSPECT TO EXIST IN HIS FAVOR AT THE TIME OF EXECUTING THE RELEASE, WHICH IF KNOWN BY HIM MUST HAVE MATERIALLY AFFECTED HIS SETTLEMENT WITH THE DEBTOR."

Developers expressly waive and relinquish any right and benefit which they may have under Section 1542 of the California Civil Code, or any state or federal statute or common law principle to similar effect, to the full extent that such rights and benefits may be lawfully waived pertaining to the subject matter of the waiver and release set forth in this Agreement. Developers understand and acknowledge the significance and consequences of this specific waiver of Section 1542 of the California Civil Code.

3. **Binding Effect.** This Agreement shall be binding upon and inure to the benefit of each party to this Agreement and their respective heirs, administrators, representatives, successors and assigns; provided, that Developers shall not assign any of their rights or obligations under this Agreement.

4. **No Waiver; Remedies Cumulative.** No failure or delay by City in exercising any remedy, right, power or privilege under or with respect to this Agreement shall operate as a waiver of such remedy, right, power or privilege, nor shall any single or partial exercise of any such remedy, right, power or privilege preclude any other or further exercise of such remedy, right, power or privilege, or the exercise of any other remedy, right, power or privilege. No remedy, right, power or privilege of City under or with respect to this Agreement is intended to be exclusive of any other such remedy, right, power or privilege of City but each shall be cumulative and in addition to every other such remedy, right, power or privilege of City and each may be exercised concurrently or independently from time to time and as often as may be deemed expedient by City.

5. **Amendment.** The terms and provisions of this Agreement may not be amended, modified or waived, except by an instrument in writing signed by the parties.

6. **Severability.** If any term, provision, covenant or condition of this Agreement is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remainder of the provisions of this Agreement shall remain in full force and effect and shall in no way be affected, impaired or invalidated.

7. **Attorneys' Fees and Costs.** In any Action brought to enforce the provisions of this Agreement, the prevailing party shall be entitled to recover from the other party its attorneys' fees and costs.

8. **Construction and Interpretation of Agreement.** The parties agree that this Agreement was jointly prepared through negotiations of the parties and the

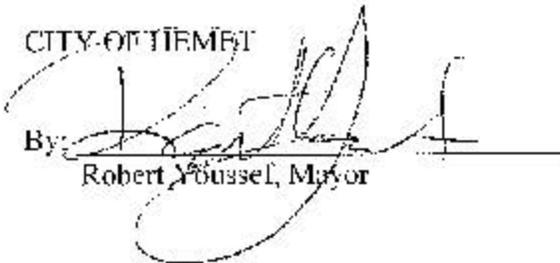
provisions of the Agreement are not to be strictly or liberally construed for or against any of the parties. The titles to the sections and subsections of this Agreement are inserted for convenience only and are not a part of this Agreement and shall have no effect upon the construction or interpretation of any part of this Agreement. This Agreement shall be governed by and construed in accordance with the substantive and procedural laws of the State of California.

9. **Counterparts.** This Agreement may be executed in any number of counterparts, each of which shall be an original, but all of which taken together shall constitute but one and the same instrument.

10. **Authority.** Developers represent and warrant that they are the current owners of the property within the Tres Cerritos East Specific Plan amendment as set forth in Recital A. The persons executing this Agreement on behalf of Developers represent and warrant that they have the authority to so execute this Agreement and to bind the party for whom they are signing to the performance of its obligations herein.

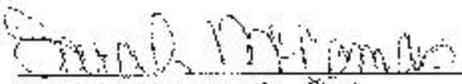
"CITY"

CITY OF HEMET

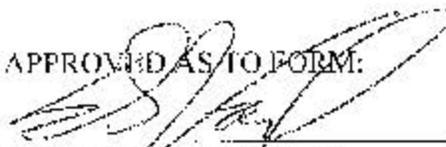
By: 

Robert Foushel, Mayor

ATTEST:


Sarah McComas, City Clerk

APPROVED AS TO FORM:


Eric S. Vail, City Attorney

"DEVELOPERS"

Signal Family Hemet, LLC

- 4 -

"DEVELOPERS"

Signal Family Hemet, LLC
a California limited liability company

By: Signal Hill Family Limited
Partnership, a California limited
partnership - Sole Member

By: Signal Hill Operating, Inc., a
California corporation

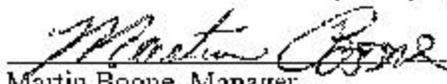
Its: General Partner

By: _____

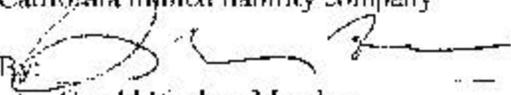
Its: President

Omni Financial, LLC
a California limited liability company

By: Cura Financial, LLC
a California limited liability company

By: 
Martin Boone, Manager

Sterling Real Estate Partners, I, LLC, a
California limited liability company

By: 
Gerald Fischer, Member

MJ&M, LLC, a California limited
liability company

By: _____

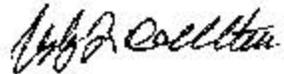
Its: _____

a California **limited** liability company

By: Signal Hill Family Limited Partnership, a California limited partnership - Sole Member

By: Signal Hill Operating, Inc., a California corporation

Its: General Partner

By: 
VICE-
Its: President

Omni Financial, LLC
a California **limited** liability company

By: Cura Financial, LLC
a California **limited** liability company

By: _____
Martin Boone, Manager

Sterling Real Estate Partners, I, LLC, a California **limited** liability company

By: _____
Joshua Fischer, Managing Member

MJ&M, LLC, a California **limited** liability company

By: _____

Its: _____

a California limited liability company

By: Signal Hill Family Limited Partnership, a California limited partnership - Sole Member

By: Signal Hill Operating, Inc., a California corporation

Its: General Partner

By: _____

Its: President

Omni Financial, LLC
a California limited liability company

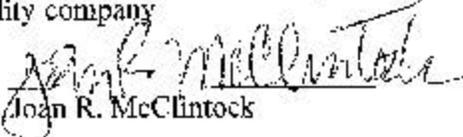
By: Cura Financial, LLC
a California limited liability company

By: _____
Martin Boone, Manager

Sterling Real Estate Partners, I, LLC, a California limited liability company

By: _____
Joshua Fischer, Managing Member

MJ&M, LLC, a California limited liability company

By: 
Joan R. McClintock

Its: Member



Staff Report

TO: Honorable Mayor and Members of the Hemet City Council

FROM: Jorge Biagioni, Director of Engineering/City Engineer, 
 Brian Nakamura, City Manager, 

DATE: March 27, 2012

RE: Notice of Completion – Lyon Avenue Pavement Rehabilitation
 City Project No. 5562

RECOMMENDED ACTION:

That the City Council accepts this project and instruct the City Clerk's Office to file a Notice of Completion with the County Recorder's Office. The 10% retention and Labor and Materials Bond will be released after the Notice of Completion is filed and received by the County Recorder's Office. The Performance Bond will be maintained for and released after a period of one year.

BACKGROUND:

On October 25, 2011 Hardy & Harper, Inc. was awarded a contract to rehabilitate portion of Lyon Avenue from Menlo Avenue to Florida Avenue by cold mill planing the existing failed pavement and overlaying the roadway with asphalt concrete and re-striping the travel lanes. All work has been completed in accordance with the contract documents.

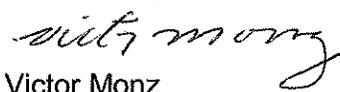
PROJECT DESCRIPTION:

By approving the Notice of Completion the City Council will formally accept the project and allow staff to close out the job and approve release of the retention.

FISCAL IMPACT:

No General Fund Impact.

Respectfully submitted,


 Victor Monz
 Principal Engineer

Fiscal Review:


 Rita Conrad
 Finance Director

Attachment(s): Notice of Completion

To be recorded with County Recorder
within Ten (10) days after completion.
No Recording fee.

When recorded, return to:
City of Hemet, City Clerk
445 E. Florida Avenue
Hemet, CA 92543

(For Recorder's Use)

Notice of Completion

(Civil Code § 3093 - Public Works)

Notice is hereby given by the undersigned owner, a public entity of the State of California, that a public work improvement has been completed, as follows:

Project title or description of work:	Lyon Avenue Pavement Rehabilitation City Project No. 5562
Date of Completion:	March 27, 2012
Nature of owner:	City of Hemet, Municipality
Interest or estate of owner:	Owner under contract.
Address of owner:	445 E. Florida Avenue
Name of Contractor:	Hardy & Harper, Inc. 1312 E. Warner Avenue Santa Ana, CA 92705
Address/Legal Site Description:	Lyon Avenue from Menlo Ave to Florida Ave. in the City of Hemet
Dated: March 27, 2012	Owner: City of Hemet

Robert Youssef, Mayor

State of California)
County of Riverside) ss.

I am the City Clerk of the governing board of the City of Hemet, the public entity which executed the forgoing notice and on whose behalf I make this verification; I have read said notice, know its contents and the same is true. I certify under penalty of perjury that the foregoing is true and correct.

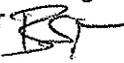
Executed at Hemet, California on March 27, 2012

Sarah McComas, City Clerk



Staff Report

TO: Honorable Mayor and Members of the Hemet City Council

FROM: Jorge Biagioni, Director of Engineering/City Engineer; 
 Brian Nakamura, City Manager 

DATE: March 27, 2012

RE: Award of Bid for the Warren Road Pavement Rehabilitation Project
 City Project No. 5552

RECOMMENDED ACTION:

That the City Council award the contract to the lowest, responsive bidder, Cooley Construction, Inc. for the Warren Road Pavement Rehabilitation Project CIP 5552 in the amount of \$937,490 and reject all other bids;

Authorize the City Manager to enter into a construction contract for the improvements;

Establish budget in the amount of \$937,490 in Street Fund No. 329-5552-5500 for the cost of construction and \$30,000 in Street Fund No. 329-5552-2710 for geotechnical testing and surveying. Total cost of the project is estimated to be \$967,490.

BACKGROUND:

The City of Hemet awarded Prop 1B Funds to pay for a portion of this capital improvement and Street Fund No. 329-5552-5500 will cover the remaining amount.

PROJECT DESCRIPTION:

The project will remove and replace 6,750 linear feet of Warren Road pavement and re-stripe the new asphalt concrete pavement, as shown on the attached Exhibit "A".

ANALYSIS:

On March 15th, 2012 the Purchasing offices received 11, responsive, sealed bids, with the three lowest shown below; (See attached Exhibit B for all Bid Results).

Cooley Construction, Inc. of Hesperia, CA	\$ 937,490.00
Vance Corporation, Inc. of Rialto, CA	\$ 950,142.50
Lee & Stires, Inc. of Montclair, CA	\$ 971,295.35

COORDINATION & REVIEW:

The project was circulated for Public Bidding purposes by publishing an advertisement in the Press Enterprise and the following contractor plan rooms McGraw Hill, Reed Construction Data, iSqFt Planroom, Association of General Contractors and Bid America.

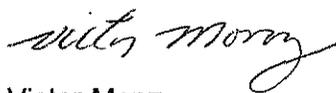
CONSISTENCY WITH ADOPTED GOALS, PLANS, AND PROGRAMS:

The project is categorically exempt from CEQA under section 15301 (b) existing facilities

FISCAL IMPACT:

No General Fund Impact. The construction of the project, inspection, geotechnical engineering, surveying and project administration will be funded by Prop 1B Funding and from the Street Fund for a total estimated cost of \$967,490.

Respectfully submitted,



Victor Monz
Principal Engineer

Fiscal Review:

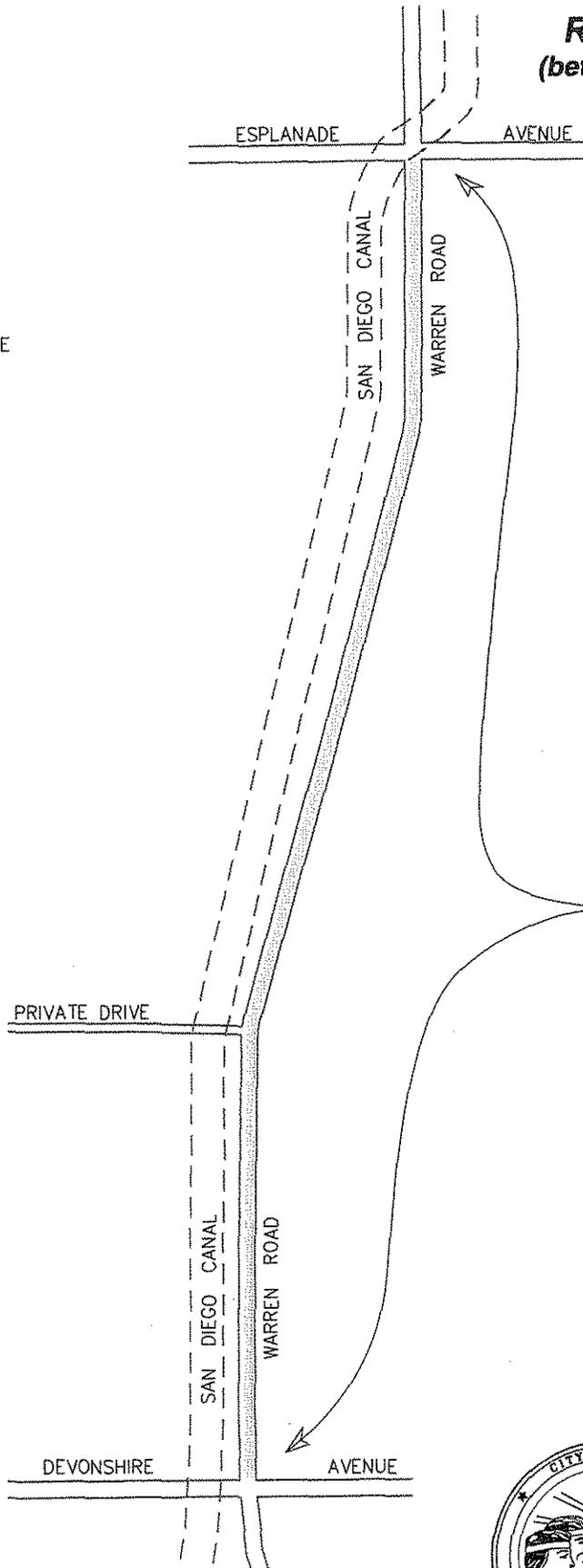
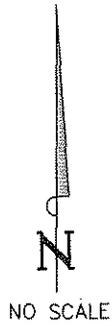


Rita Conrad
Finance Director

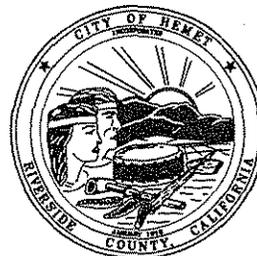
Attachment(s): Exhibit "A" Plan View

Exhibit 'A'

**Warren Road Pavement
Rehabilitation - C.I.P. No. 5552
(between Devonshire Ave. & Esplanade Ave.)**



6,750 L.F. OF NEW PAVEMENT
AND STRIPING



City of Hemet

PUBLIC WORKS DEPARTMENT

ENGINEERING DIVISION

510 E. FLORIDA AVENUE
HEMET, CA 92543
(951) 765-2360

City of Hemet Public Works Department

510 E. Florida Avenue, Hemet, CA 92543

Project Name: Warren Road Pavement Rehabilitation - CIP #5552

EXHIBIT "B"

Sheet 1 of 3

<u>Item No. & Description</u>	<u>Unit</u>	<u>Quantity</u>	<u>Cooley Const. ,Inc.</u>		<u>Vance Corp.</u>		<u>Lee & Stires, Inc.</u>		<u>FM & Sons, Inc.</u>	
			<u>Unit Bid</u>	<u>Total Bid</u>	<u>Unit Bid</u>	<u>Total Bid</u>	<u>Unit Bid</u>	<u>Total Bid</u>	<u>Unit Bid</u>	<u>Total Bid</u>
1. Mobilization	L.S.	1	\$ 22,059.00	\$ 22,059.00	\$ 33,000.00	\$ 33,000.00	\$ 16,550.00	\$ 16,550.00	\$ 20,000.00	\$ 20,000.00
2. Roadway Excavation 16"	S.F.	192,100	\$ 0.59	\$ 113,339.00	\$ 0.55	\$ 105,655.00	\$ 0.59	\$ 113,339.00	\$ 0.50	\$ 96,050.00
3. Process 12" sub-grade	S.F.	207,500	\$ 0.07	\$ 14,525.00	\$ 0.15	\$ 31,125.00	\$ 0.15	\$ 31,125.00	\$ 0.20	\$ 41,500.00
4. 2" A.C. Overlay	TONS	2,700	\$ 65.25	\$ 176,175.00	\$ 66.00	\$ 178,200.00	\$ 69.28	\$ 187,056.00	\$ 75.00	\$ 202,500.00
5. 4" A.C. Base	TONS	4,900	\$ 65.25	\$ 319,725.00	\$ 65.00	\$ 318,500.00	\$ 68.29	\$ 334,621.00	\$ 70.00	\$ 343,000.00
6. 10" C.A.B.	TONS	11,380	\$ 14.00	\$ 159,320.00	\$ 14.50	\$ 165,010.00	\$ 14.25	\$ 162,165.00	\$ 14.50	\$ 165,010.00
7. Smooth Pavm't Joint Trans.	L.F.	160	\$ 10.70	\$ 1,712.00	\$ 5.00	\$ 800.00	\$ 8.18	\$ 1,308.80	\$ 25.00	\$ 4,000.00
8. Roadway Excavation 28"	S.F.	15,400	\$ 1.00	\$ 15,400.00	\$ 1.10	\$ 16,940.00	\$ 0.96	\$ 14,784.00	\$ 0.90	\$ 13,860.00
9. 8" A.C. Base	TONS	780	\$ 70.00	\$ 54,600.00	\$ 64.50	\$ 50,310.00	\$ 68.30	\$ 53,274.00	\$ 70.00	\$ 54,600.00
10. 18" C.A.B.	TONS	1,645	\$ 15.00	\$ 24,675.00	\$ 14.50	\$ 23,852.50	\$ 13.19	\$ 21,697.55	\$ 15.00	\$ 24,675.00
11. Re-grade Shoulder	L.F.	14,000	\$ 0.64	\$ 8,960.00	\$ 0.50	\$ 7,000.00	\$ 0.15	\$ 2,100.00	\$ 1.10	\$ 15,400.00
12. Striping	L.S.	1	\$ 12,500.00	\$ 12,500.00	\$ 8,500.00	\$ 8,500.00	\$ 12,500.00	\$ 12,500.00	\$ 8,800.00	\$ 8,800.00
13. Traffic Control Plan	L.S.	1	\$ 9,200.00	\$ 9,200.00	\$ 10,000.00	\$ 10,000.00	\$ 5,700.00	\$ 5,700.00	\$ 6,200.00	\$ 6,200.00
14. S.W.P.P.P.	L.S.	1	\$ 5,300.00	\$ 5,300.00	\$ 1,250.00	\$ 1,250.00	\$ 15,075.00	\$ 15,075.00	\$ 6,000.00	\$ 6,000.00
TOTAL BID AMOUNT				\$ 937,490.00		\$ 950,142.50		\$ 971,295.35		\$ 1,001,595.00

City of Hemet Public Works Department

510 E. Florida Avenue, Hemet, CA 92543

Project Name: Warren Road Pavement Rehabilitation - CIP #5552

Sheet 2 of 3

<u>Item No. & Description</u>	<u>Unit</u>	<u>Quantity</u>	<u>EBS Gen. Eng., Inc.</u>		<u>Laird Constr. Co., Inc.</u>		<u>Hardy & Harper, Inc.</u>		<u>All American Asphalt</u>	
			<u>Unit Bid</u>	<u>Total Bid</u>	<u>Unit Bid</u>	<u>Total Bid</u>	<u>Unit Bid</u>	<u>Total Bid</u>	<u>Unit Bid</u>	<u>Total Bid</u>
1. Mobilization	L.S.	1	\$ 22,000.00	\$ 22,000.00	\$ 57,820.00	\$ 57,820.00	\$ 6,000.00	\$ 6,000.00	\$ 28,061.00	\$ 28,061.00
2. Roadway Excavation 16"	S.F.	192,100	\$ 0.75	\$ 144,075.00	\$ 0.70	\$ 134,470.00	\$ 0.75	\$ 144,075.00	\$ 0.79	\$ 151,759.00
3. Process 12" sub-grade	S.F.	207,500	\$ 0.19	\$ 39,425.00	\$ 0.15	\$ 31,125.00	\$ 0.09	\$ 18,675.00	\$ 0.14	\$ 29,050.00
4. 2" A.C. Overlay	TONS	2,700	\$ 67.00	\$ 180,900.00	\$ 63.25	\$ 170,775.00	\$ 65.00	\$ 175,500.00	\$ 66.00	\$ 178,200.00
5. 4" A.C. Base	TONS	4,900	\$ 67.00	\$ 328,300.00	\$ 63.25	\$ 309,925.00	\$ 65.00	\$ 318,500.00	\$ 66.00	\$ 323,400.00
6. 10" C.A.B.	TONS	11,380	\$ 14.00	\$ 159,320.00	\$ 14.00	\$ 159,320.00	\$ 20.20	\$ 229,876.00	\$ 18.00	\$ 204,840.00
7. Smooth Pavm't Joint Trans.	L.F.	160	\$ 5.00	\$ 800.00	\$ 25.00	\$ 4,000.00	\$ 15.00	\$ 2,400.00	\$ 5.00	\$ 800.00
8. Roadway Excavation 28"	S.F.	15,400	\$ 1.30	\$ 20,020.00	\$ 1.30	\$ 20,020.00	\$ 1.75	\$ 26,950.00	\$ 1.50	\$ 23,100.00
9. 8" A.C. Base	TONS	780	\$ 67.00	\$ 52,260.00	\$ 63.25	\$ 49,335.00	\$ 65.00	\$ 50,700.00	\$ 66.00	\$ 51,480.00
10. 18" C.A.B.	TONS	1,645	\$ 14.00	\$ 23,030.00	\$ 14.00	\$ 23,030.00	\$ 20.20	\$ 33,229.00	\$ 18.00	\$ 29,610.00
11. Re-grade Shoulder	L.F.	14,000	\$ 1.00	\$ 14,000.00	\$ 1.00	\$ 14,000.00	\$ 1.00	\$ 14,000.00	\$ 1.05	\$ 14,700.00
12. Striping	L.S.	1	\$ 12,300.00	\$ 12,300.00	\$ 8,500.00	\$ 8,500.00	\$ 12,000.00	\$ 12,000.00	\$ 5,000.00	\$ 5,000.00
13. Traffic Control Plan	L.S.	1	\$ 10,000.00	\$ 10,000.00	\$ 25,000.00	\$ 25,000.00	\$ 7,000.00	\$ 7,000.00	\$ 15,000.00	\$ 15,000.00
14. S.W.P.P.P.	L.S.	1	\$ 3,500.00	\$ 3,500.00	\$ 25,000.00	\$ 25,000.00	\$ 2,430.00	\$ 2,430.00	\$ 5,000.00	\$ 5,000.00
TOTAL BID AMOUNT				\$ 1,009,930.00		\$ 1,032,320.00		\$ 1,041,335.00		\$ 1,060,000.00

City of Hemet Public Works Department

510 E. Florida Avenue, Hemet, CA 92543

Project Name: Warren Road Pavement Rehabilitation - CIP #5552

Sheet 3 of 3

<u>Item No. & Description</u>	<u>Unit</u>	<u>Quantity</u>	<u>Sequel Constr., Inc.</u>		<u>Panorama Gen. Eng., Inc.</u>		<u>Hillcrest Contract, Inc.</u>	
			<u>Unit Bid</u>	<u>Total Bid</u>	<u>Unit Bid</u>	<u>Total Bid</u>	<u>Unit Bid</u>	<u>Total Bid</u>
1. Mobilization	L.S.	1	\$ 50,000.00	\$ 50,000.00	\$ 7,800.00	\$ 7,800.00	\$ 22,000.00	\$ 22,000.00
2. Roadway Excavation 16"	S.F.	192,100	\$ 0.65	\$ 124,865.00	\$ 1.10	\$ 211,310.00	\$ 0.88	\$ 169,048.00
3. Process 12" sub-grade	S.F.	207,500	\$ 0.17	\$ 35,275.00	\$ 0.17	\$ 35,275.00	\$ 0.28	\$ 58,100.00
4. 2" A.C. Overlay	TONS	2,700	\$ 63.00	\$ 170,100.00	\$ 65.00	\$ 175,500.00	\$ 72.00	\$ 194,400.00
5. 4" A.C. Base	TONS	4,900	\$ 63.00	\$ 308,700.00	\$ 65.00	\$ 318,500.00	\$ 68.00	\$ 333,200.00
6. 10" C.A.B.	TONS	11,380	\$ 23.70	\$ 269,706.00	\$ 19.50	\$ 221,910.00	\$ 16.30	\$ 185,494.00
7. Smooth Pavm't Joint Trans.	L.F.	160	\$ 5.00	\$ 800.00	\$ 8.00	\$ 1,280.00	\$ 15.00	\$ 2,400.00
8. Roadway Excavation 28"	S.F.	15,400	\$ 1.20	\$ 18,480.00	\$ 2.00	\$ 30,800.00	\$ 1.64	\$ 25,256.00
9. 8" A.C. Base	TONS	780	\$ 63.00	\$ 49,140.00	\$ 65.00	\$ 50,700.00	\$ 71.00	\$ 55,380.00
10. 18" C.A.B.	TONS	1,645	\$ 23.70	\$ 38,986.50	\$ 18.50	\$ 30,432.50	\$ 17.80	\$ 29,281.00
11. Re-grade Shoulder	L.F.	14,000	\$ 1.25	\$ 17,500.00	\$ 0.75	\$ 10,500.00	\$ 1.12	\$ 15,680.00
12. Striping	L.S.	1	\$ 12,000.00	\$ 12,000.00	\$ 13,500.00	\$ 13,500.00	\$ 12,000.00	\$ 12,000.00
13. Traffic Control Plan	L.S.	1	\$ 10,000.00	\$ 10,000.00	\$ 16,000.00	\$ 16,000.00	\$ 12,000.00	\$ 12,000.00
14. S.W.P.P.P.	L.S.	1	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 22,000.00	\$ 22,000.00
			\$ 1,110,552.50		\$ 1,128,507.50		\$ 1,136,239.00	



Staff Report

TO: Honorable Mayor and Members of the City Council

FROM: David M. Brown, Chief of Police
 Joseph Morris, Fire Chief
 Brian S. Nakamura, City Manager *BSN*

DATE: March 27, 2012

RE: Approval of Vendor for installation of Public Safety Interoperable Radio System – US Department of Homeland Security Grant

RECOMMENDATION:

It is respectfully recommended that the City Council approve the Professional Services Agreement by and between the City of Hemet and Comtronix Communications for the purchase and installation of a fixed-site “turn-key” Public Safety Radio Interoperability System.

BACKGROUND:

In June 2011, the Hemet City Council approved and accepted the US Department of Homeland Security Interoperability Grant. The purpose of the grant project is to establish critical radio interoperability between the City of Hemet Police, Fire and Public Works Departments and key public safety partners in the inland area. Now that funding has been secured, this request is to award a contract for the purchase and installation of the system.

DISCUSSION / ANALYSIS:

A key theme in government funding for the past several years has been radio interoperability. Major multi-agency disasters such as the 9/11 attacks, Columbine, Virginia Tech and Hurricane Katrina have fueled a nationwide initiative to ensure local public safety agencies are equipped with interoperable radio systems. The ability to communicate effectively becomes paramount to the successful resolution of all types of inter-agency events.

It is imperative that the City of Hemet have the ability to communicate with agencies operating in our area, both routinely and in an emergency, disaster or other catastrophic event. This system will provide all City Departments (Police, Fire, Public Works, and

Emergency Management) radio communications interoperability radio systems in use throughout the region.

This system consists of a Modular Interface / Interconnect System, radios and all related equipment. This system will provide radio communication interoperability between the City of Hemet and other local, county, state & federal agencies.

COORDINATION AND REVIEW:

On November 17, 2011, the Purchasing Office advertised and issued a Notice Inviting Bids for Public Safety Radio Interoperability Modular Interface, Interconnect System Project. A project meeting was held on November 22, 2011 and seven interested firms attended the meeting.

No proposals were received by the due date on December 13, 2011. The City entered into negotiations with Comtronix Communications to provide a complete turnkey system and installation. Comtronix Communications was selected because of their past experience and familiarization with other systems in the police facility. Comtronix Communications can complete installation in approximately eight (8) weeks.

The police department has collaborated throughout this process with Information Technology, Public Works and Finance staff to ensure a smooth implementation. The professional services agreement has been reviewed by City Attorney staff.

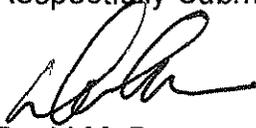
INTEGRATION OF CITY COUNCIL GOALS AND GENERAL PLAN:

The implementation of the interoperable radio system will enhance public safety responsiveness and efficiencies on a daily basis. On a larger scale, the ability to coordinate regional resources and life-saving technologies will be significantly enhanced as well.

FISCAL IMPACT:

No impact to the General Fund. Total cost of the project is \$163,746.18. DHS grant funding is available in the amount of \$157,000. The remaining cost of \$6,746.18 will be split equally between the Law Enforcement DIF fund and the Fire Facilities DIF fund.

Respectfully Submitted,

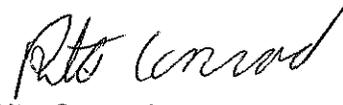


David M. Brown
Chief of Police

Legal Review,

Eric S. Vail, Esq.
City Attorney

Fiscal Review,



Rita Conrad
Director of Finance

#19



MINUTES
REGULAR MEETING OF THE
HEMET REDEVELOPMENT AGENCY

January 24, 2012

REGULAR SESSION

7:00 p.m.
City of Hemet Council Chambers
450 E. Latham Avenue

Call to Order

Chairperson Krupa called the meeting to order at 9:35 p.m.

Roll Call

PRESENT: Board Members Foreman, Smith and Youssef, Vice Chairperson Franchville and Chairperson Krupa

ABSENT: None

Brian Nakamura, Executive Director, requested that the Board add as an urgency item to the agenda an item that arose subsequent to the preparation of the agenda and requires action prior to the next meeting.

Board Member Youssef and Vice Chairperson Franchville seconded a motion to add Item No. 2 to the Consent Calendar. Motion carried 5-0.

Consent Calendar

1. **Recommendation by Community Investment Director** - Amended Enforceable Obligation Payment Schedule
 - a. Adopt a resolution approving and adopting an amended Enforceable Obligation Payment Schedule pursuant to AB 1X 26 and Section 34169(g)(2) of the California Health and Safety Code. **(Resolution No. 0028)**

2. **Recommendation by Community Investment Director** - Assembly Bill 936 Forgiveness of Redevelopment Agency Loans
 - a. Adopt a resolution regarding forgiveness of loans to Public Bodies. **(Resolution No. 0029)**

Board Member Youssef moved and Board Member Smith seconded a motion to approve the Consent Calendar as presented. Motion carried 5-0.

Communications From the Public

There were no communications from the public at this time.

Future Agenda Items

There were no future agenda items at this time.

Adjournment

Adjourned at 9:38 p.m.



Successor Agency Staff Report

TO: Honorable Mayor and Members of the Successor Agency

FROM: Brian S. Nakamura, City Manager *BN*

DATE: March 27, 2012

RE: Consideration of Resolution Bill No. 12-026, City of Hemet as Successor Agency to the Hemet Redevelopment Agency Approving a Draft Recognized Obligation Payment Schedule Pursuant to AB X1 26

RECOMMENDATION:

It is respectfully recommended that the Hemet City Council ("City Council"), acting as the Successor Agency to the Hemet Redevelopment Agency ("Successor Agency") adopt the proposed Resolution Bill No. 12-026 titled:

"A RESOLUTION OF THE CITY OF HEMET AS SUCCESSOR AGENCY TO
THE HEMET REDEVELOPMENT AGENCY APPROVING A DRAFT
RECOGNIZED OBLIGATION PAYMENT SCHEDULE PURSUANT TO AB X1
26"

BACKGROUND

On January 24, 2012, the Hemet Redevelopment Agency ("Agency") took its last official action and adopted an amended Enforceable Obligation Payment Schedule ("EOPS"). Completion of this complicated and somewhat confusing procedural requirement is critical to ensuring that the Successor Agency continues to have access to the former Agency's fund balances to make necessary obligation payments (e.g., bond debt service, loan repayments, contractual services, staffing, and capital projects). The Agency was effectively dissolved by State law on February 1, 2012.

The Successor Agency must now complete the next procedure under ABX1 26 and approve a Draft Recognized Obligation Payment Schedule ("ROPS"). It is important to note that City staff worked quickly to prepare an initial draft of the ROPS to submit to the Riverside County Auditor-Controller ("County Auditor-Controller") by March 1, 2012 pursuant to the requirement in ABx1 26, the redevelopment dissolution bill. ABx1 26 requires the ROPS to be reviewed and certified by an independent auditor (i.e., County Auditor-Controller) for accuracy. Once certified, the Successor Agency must submit the ROPS to an appointed "Oversight Board" for approval, followed by final submittal to the State Department of Finance ("DOF") and State Controller's Office ("SCO"). However, due to the fact that ABx1 26 requires that all of these actions be completed by April 15, it is unlikely that ROPS will be certified by the County Auditor-Controller by this date. The DOF has acknowledged this timing issue and has directed all successor

agencies in the state to submit this first ROPS to the DOF and SCO by April 15, 2012 regardless of approval or certification.

DISCUSSION:

The draft ROPS sets forth a comprehensive schedule of payments for "Enforceable Obligations" of the former Agency. The Successor Agency may only expend funds in accordance with the ROPS. Beginning on May 1, 2012 the County Auditor-Controller will allocate property tax revenues to the Successor Agency based on an approved ROPS. During the approval process, the ROPS will be scrutinized by multiple parties (e.g., County Auditor-Controller, Oversight Board, DOF, SCO) regarding the validity of Enforceable Obligations, based on definitions outlined in ABx1 26.

Under ABx1 26, Enforceable Obligations include the following:

- Bond Defeasance / Repayment;
- Loans legally required to be repaid pursuant to a payment schedule with mandatory repayment terms;
- Payments required by the federal government, preexisting obligations to the State or obligations imposed by State law;
- Judgments, settlements or binding arbitration decisions that bind the former Agency;
- Legally binding and enforceable agreements or contracts;
- Contracts or agreements necessary for the continued administration or operation of the former Agency, including agreements to purchase or rent office space, equipment and supplies; and
- Amounts borrowed from or owed to the Low and Moderate Income Housing Fund.

There are several exceptions to Enforceable Obligations, including certain interagency agreements between the former Agency and the City.

The ROPS that is being presented (Attachment 1) for approval by the Successor Agency covers the time period of February 1, 2012 through June 30, 2012. A ROPS must be prepared by the Successor Agency, and approved by an Oversight Board made up of several taxing entities within the redevelopment project areas, every six months. The Draft ROPS is attached as Exhibit "A" to the accompanying resolution. While ABx1 26 does not technically require the Successor Agency to formally approve the Draft ROPS, this approval provides a paper trail and transparency in the City's good faith efforts to comply with ABx1 26.

Staff has also prepared a detailed Successor Agency Administrative Budget, Exhibit B, that is also being presented to the Successor Agency for review. The Administrative Budget must be submitted to the Oversight Board for approval, prior to transmittal to the County Auditor-Controller.

COORDINATION AND REVIEW:

The draft ROPS was prepared collaboratively by the City's redevelopment consultant, the Community Investment Department and Finance Department staff, with input from the City Attorney.

STRATEGIC PLAN AND COUNCIL GOALS INTEGRATION:

The recommended action supports the Council's goals of ensuring an orderly wind down of former Redevelopment Agency affairs and completing contractual obligations of the former Agency.

FISCAL IMPACT:

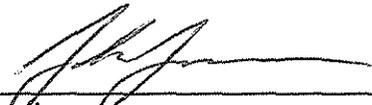
Approval of the Draft ROPS is necessary for the Successor Agency to continue administrative operations, including payroll, supplies/equipment, and office space, and to continue to make payments on indebtedness, contracts, and other Enforceable Obligations. Timely approval of the Draft ROPS may also preserve the Successor Agency's ability to retain the former Agency's encumbered and unencumbered fund balances to make required payments for Enforceable Obligations. By not adopting the draft ROPS, the Successor Agency would risk defaulting on loans and other debt agreements, and not being able to fund certain expenses and operations, which would also impact the City's General Fund.

CONCLUSION:

It is respectfully recommended that the City Council, acting as the Successor Agency to the former Agency, adopt the proposed Resolution Bill No. 12-026.

Attachments: 1- City Council Resolution Bill No. 12-026.

Recommended By:



John Jansons
Community Investment Director

Recommended By:



Rita Conrad
Finance Director

Attachment No. 1

Resolution Bill No. 12-026
Approving Draft Recognized Obligation Payment Schedule
(ROPS) Per AB X1 26

Hemet City Council
Acting as Successor Agency to the Dissolved Hemet
Redevelopment Agency

March 27, 2012



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CITY OF HEMET
Hemet, California
RESOLUTION BILL NO. 12-026

A RESOLUTION OF THE CITY OF HEMET AS SUCCESSOR AGENCY TO THE HEMET REDEVELOPMENT AGENCY APPROVING A DRAFT RECOGNIZED OBLIGATION PAYMENT SCHEDULE PURSUANT TO ABX1 26.

WHEREAS, pursuant to the California Community Redevelopment Law (Health and Safety Code Sections 33000 et seq.), the City Council of the City of Hemet ("City") created the Hemet Redevelopment Agency ("Agency"); and

WHEREAS, the Agency has been responsible for implementing the Redevelopment Plans for the Hemet Redevelopment Project Area, the Merged Redevelopment Project Area (formerly the Farmer's Fair, Downtown, and Weston Park Project Areas), and the Combined Commercial Redevelopment Project Area covering certain properties within the City; and

WHEREAS, as part of the 2011-2012 State budget bill, the California State Legislature enacted, and the Governor signed, companion bills ABx1 26 and ABx1 27, which eliminate every redevelopment agency unless the community that created it adopts an ordinance agreeing to participate in an Alternative Voluntary Redevelopment Program, which requires the payment of an annual "community remittance" payment; and

WHEREAS, the California League of Cities and the California Redevelopment Association filed suit in the Supreme Court of the State of California challenging the constitutionality of ABx1 26 and ABx1 27; and

WHEREAS, on December 29, 2011, the California Supreme Court upheld the constitutionality of ABx1 26 but deemed ABx1 27 unconstitutional, effectively eliminating all redevelopment agencies in the State of California as of February 1, 2012; and

WHEREAS, pursuant to ABx1 26, the City Council of the City of Hemet adopted Resolution No. 4474 on January 10, 2012, affirmatively electing to serve as the "Successor Agency" to the Agency; and

WHEREAS, ABx1 26 requires redevelopment agencies to adopt an Enforceable Obligation Payment Schedule ("EOPS") to serve as the basis for the payment of the

1 Agency's outstanding financial obligations, as defined in Health and Safety Code
2 Section 34171(d), by the Agency and Successor Agency prior to and following February
3 1, 2012, and until a Recognized Obligation Payment Schedule ("ROPS") is prepared
4 pursuant to Health and Safety Code Section 34171(l) and approved by an appointed
5 oversight board; and
6

7 **WHEREAS**, the Agency adopted an amended EOPS on January 24, 2012, by
8 Resolution No. 0028; and
9

10 **WHEREAS**, Exhibit "A" to this resolution establishes a ROPS for the time period
11 of February 1, 2012 through June 30, 2012; and
12

13 **WHEREAS**, Exhibit "B" provides a draft Administrative Budget Detail as a part of
14 the ROPS.
15

16 **NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF HEMET ACTING**
17 **IN ITS CAPACITY AS SUCCESSOR AGENCY TO THE HEMET REDEVELOPMENT**
18 **AGENCY DOES HEREBY RESOLVE AS FOLLOWS:**
19

20 **Section 1. Recitals.** The Recitals set forth above are true and correct and
21 incorporated herein by reference.
22

23 **Section 2. Approval of Draft ROPS.** The City of Hemet as Successor
24 Agency hereby approves the Draft Recognized Obligation Payment Schedule, in
25 substantially the form attached hereto as Exhibit "A," as required by ABx1 26, enacted
26 in during the 2011 legislative year.
27

28 **Section 3. Transmittal to Appropriate Agencies.** The Executive Director /
29 City Manager is hereby authorized and directed to transmit, by mail or electronic means,
30 to the Riverside County Auditor-Controller, State Department of Finance, and the State
31 Controller's Office a copy of the ROPS documents for review.
32

33 **Section 4. Technical, Non-Substantive Revisions.** The Executive Director /
34 City Manager is hereby authorized and directed to use his discretion to make necessary
35 revisions to the ROPS documents prior to submittal to the Riverside County Auditor-
36 Controller, so long as any such revisions are considered technical and non-substantive
37 revisions to the documents.
38

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40 PASSED, APPROVED, AND ADOPTED this 27th day of March, 2012.
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45 _____
46 Robert Youssef, Mayor
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ATTEST:

APPROVED AS TO FORM:

Sarah McComas, City Clerk

Eric S. Vail, City Attorney

State of California)
County of Riverside)
City of Hemet)

I, Sarah McComas, City Clerk of the City of Hemet, do hereby certify that the foregoing Resolution is the actual Resolution adopted by the City of Hemet as the Successor Agency to the Hemet Redevelopment Agency and was passed at a regular meeting of the Successor Agency on the 27th day of March, 2012 by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Sarah McComas, City Clerk

EXHIBIT "A"

Draft Recognized Obligation Payment Schedule
(ROPS) Per AB X1 26

Hemet City Council
Acting as Successor Agency to the Dissolved Hemet
Redevelopment Agency

March 27, 2012

RECOGNIZED OBLIGATION PAYMENT SCHEDULE

Per AB 26 - Section 34177(l)

Filed for Period February 1, 2012 to June 30, 2012

Project Name / Debt Obligation	Payee	Description	Total Outstanding Debt or Obligation	Total Due During Fiscal Year
1) Hemet Project Area/1999A Tax Allocation Bonds	US Bank	Semi-Annual Principal and Interest Payment	10,889,274	626,493
2) Hemet Project Area/2002A Tax Allocation Bonds	US Bank	Semi-Annual Principal and Interest Payment	11,512,453	460,550
3) Hemet Project Area/Stetson Crossing	Stetson Crossing Partners	Capital Project	3,195,325	3,195,325
4) All/Riverside County Administration Fee	Riverside County Auditor-Controller	Administration fee for property tax apportionments	Unknown	230,135
5) All/Low and Moderate Income Housing Program	City of Hemet	Low and Moderate Income Housing Projects	Unknown	2,272,400
6) All/Administrative Fees	City of Hemet	Employee costs, professional fees and operating expenses	Unknown	1,205,010
7) Hemet Project Area/Fiscal Agent Administration	US Bank	Fiscal agent services for Tax Allocation Bonds	Unknown	4,200
8) Successor Agency Costs (as allowed by Health and Safety Code Section 34171(b))	Listed Below	Total for Items Below	Unknown	279,520
	City of Hemet	Successor Agency Administrative Costs		206,520
	Burke, Williams and Sorenson	Successor Agency Administrative Costs		48,000
	RSG	Successor Agency Administrative Costs		25,000
9) Affordable Housing Monitoring Costs	City of Hemet Housing Authority	Costs for Affordable Housing Monitoring	Unknown	83,000
Totals - This Page			\$ 25,597,052.00	\$ 8,356,633.00
Totals - Page 2			\$ -	\$ -
Grand total - All Pages			\$ 25,597,052.00	\$ 8,356,633.00

RECOGNIZED OBLIGATION PAYMENT SCHEDULE

Per AB 26 - Section 34177(l)

Filed for Period February 1, 2012 to June 30, 2012

Project Name / Debt Obligation	Project Area						Subtotal	Adjustments from Prior Schedule	TOTAL
		February	March	April	May	June			
1) Hemet Project Area/1999A Tax Allocation Bonds	Hemet		626,493.00				\$ 626,493.00		\$ 626,493.00
2) Hemet Project Area/2002A Tax Allocation Bonds	Hemet		460,550.00				\$ 460,550.00		\$ 460,550.00
3) Hemet Project Area/Stetson Crossing	Hemet	532,554.00	532,554.00	532,554.00	532,554.00	532,554.00	\$ 2,662,770.00		\$ 2,662,770.00
4) All/ L/M Housing Set-Aside	All						\$ -		\$ -
5) All/Riverside County Administration Fee	All	0.00	0.00	0.00	76,712.00	0.00	\$ 76,712.00		\$ 76,712.00
6) All/Low and Moderate Income Housing Program	All	189,367.00				0.00	\$ 189,367.00		\$ 189,367.00
7) All/Administrative Fees	All	100,418.00	100,418.00	100,418.00	100,418.00	100,418.00	\$ 502,090.00		\$ 502,090.00
8) Hemet Project Area/Fiscal Agent Administration	Hemet	4,200.00	0.00	0.00	0.00	0.00	\$ 4,200.00		\$ 4,200.00
9) Successor Agency Costs (as allowed by Health and Safety	All						\$ -		\$ -
10) Code Section 34171(b)		55,904.00	55,904.00	55,904.00	55,904.00	55,904.00	\$ 279,520.00		\$ 279,520.00
11) (City of Hemet, Burke, Williams and Sorenson and RSG)									\$ -
12)									\$ -
13) Affordable Housing Monitoring Costs		13,833.00	13,833.00	13,833.00	13,833.00	13,833.00	\$ 69,165.00		\$ 69,165.00
14)							\$ -		\$ -
15)							\$ -		\$ -
16)							\$ -		\$ -
17)							\$ -		\$ -
18)							\$ -		\$ -
Totals - This Page		\$ 896,276.00	\$ 1,789,752.00	\$ 702,709.00	\$ 779,421.00	\$ 702,709.00	\$ 4,870,867.00	\$ -	\$ 4,870,867.00
Totals - Page 2		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Grand total - All Pages		\$ 896,276.00	\$ 1,789,752.00	\$ 702,709.00	\$ 779,421.00	\$ 702,709.00	\$ 4,870,867.00	\$ -	\$ 4,870,867.00

RECOGNIZED OBLIGATION PAYMENT SCHEDULE

Per AB 26 - Section 34177(l)
 Filed for Period February 1, 2012 to June 30, 2012

Project Name / Debt Obligation	Total from Form B	Source of Payment						TOTAL
		RPTIF	Moderate Income Housing Fund	Bond Proceeds	Reserve Balances	Administrative Cost Allowance	Other Revenue Sources	
1) Hemet Project Area/1999A Tax Allocation Bonds	\$ 626,493.00	626,493.00						\$ 626,493.00
2) Hemet Project Area/2002A Tax Allocation Bonds	\$ 460,550.00	460,550.00						\$ 460,550.00
3) Hemet Project Area/Stetson Crossing	\$ 2,662,770.00	2,662,770.00						\$ 2,662,770.00
4) All/ L/M Housing Set-Aside	\$ -		0.00					\$ -
5) All/Riverside County Administration Fee	\$ 76,712.00	76,712.00						\$ 76,712.00
6) All/Low and Moderate Income Housing Program	\$ 189,367.00		189,367.00					\$ 189,367.00
7) All/Administrative Fees	\$ 502,090.00					502,090.00		\$ 502,090.00
8) Hemet Project Area/Fiscal Agent Administration	\$ 4,200.00	4,200.00						\$ 4,200.00
9) Successor Agency Costs (as allowed by Health and Safety	\$ -							\$ -
10) Code Section 34171(b)	\$ 279,520.00					279,520.00		\$ 279,520.00
11)								\$ -
12)								\$ -
13) Affordable Housing Monitoring Costs	\$ 69,165.00	69,165.00						\$ 69,165.00
14)	\$ -							\$ -
15)	\$ -							\$ -
16)	\$ -							\$ -
17)	\$ -							\$ -
18)	\$ -							\$ -
Totals - This Page	\$ 4,870,867.00	\$ 3,899,890.00	\$ 189,367.00	\$ -	\$ -	\$ 781,610.00	\$ -	\$ 4,870,867.00
Totals - Page 2	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Grand total - All Pages	\$ 4,870,867.00	\$ 3,899,890.00	\$ 189,367.00	\$ -	\$ -	\$ 781,610.00	\$ -	\$ 4,870,867.00

EXHIBIT "B"

Draft Administrative Budget Document

Hemet City Council
Acting as Successor Agency to the Dissolved Hemet
Redevelopment Agency

March 27, 2012

Successor Agency Administrative Budget

02/01/12 to 06/30/12

<u>Infrastructure</u>	<u>Amount</u>
Successor Agency supplies	\$500.00
Successor Agency publications	\$300.00
Oversight Board supplies	\$1,000.00
Oversight Board publications	\$600.00
Travel Expenses	\$600.00
Subtotal:	\$3,000.00
<hr/>	
<u>Ongoing Administrative Activities</u>	<u>Amount</u>
County and State correspondence/Coordination	\$5,600.00
Prepare ROPS	\$8,000.00
Prepare admin budget	\$2,500.00
Oversight Board Staff Support	\$12,000.00
Management of dissolution activities	\$61,920.00
Management of projects	\$0.00
Annual Reporting	\$2,100.00
OB legal counsel	\$45,000.00
SA legal counsel	\$50,000.00
Subtotal:	\$187,120.00
<hr/>	
<u>In House Support to be allocated</u>	<u>Amount</u>
IT Support	\$560.00
Finance Support	\$44,100.00
City Manager Department support	\$29,740.00
Risk Management	\$5,000.00
Subtotal:	\$79,400.00
<hr/>	
<u>Direct Project/ROPS Costs</u>	<u>Amount</u>
Audit	\$10,000.00
Continuing disclosures (Admin Fees from trustee)	\$0.00
Housing Monitoring	\$0.00
Subtotal:	\$10,000.00
Grand Total:	\$279,520.00



Staff Report

TO: Honorable Mayor and Members of the Hemet City Council
FROM: Brian S. Nakamura, City Manager
DATE: March 27, 2012
RE: FY 2011/12 General Fund Budget Amendment and Appropriation Authorization

RECOMMENDATION:

It is recommended that the City Council authorize and approve a FY 2011/12 Budget amendment of \$300,000 from the General Fund Reserve and \$82,500 from the EMS reimbursement revenue fund, allowing the continuation of specific and special programs, projects and services and further authorize the City Manager to negotiate and execute appropriate contracts based upon the parameters outlined below.

BENEFIT OF RECOMMENDATION:

City Council approval and appropriation of line items listed below will enable City staff to carry out the City Council's established goals and objectives through the remainder of FY 2011/12.

FISCAL IMPACT:

The fiscal impact of this recommendation is \$300,000 from the General Fund and \$82,500 from the AMR Emergency Response Reimbursement Revenue Fund. The most current financial projections estimated a General Fund budget reserve of approximately \$12.6 million at June 30th, 2012, and in addition, an excess balance of approximately \$544,600. The projects discussed in this staff report are in line with the goal of using excess funds and/or the reserve for one-time special projects and/or purchases such as those discussed below. On-going costs should be budgeted with on-going revenue streams.

BACKGROUND:

On January 24, 2012, the Hemet Redevelopment Agency took its last official action and adopted an amended Enforceable Obligation Payment Schedule (EOPS). This action provided for the Hemet Redevelopment Agency to create a "Successor Agency" to be in compliance with ABx1 26 and approve a Recognized Obligation Payment Schedule (ROPS). ABx1 26 requires the ROPS to include all financial obligations, including bond defeasance/repayment, loans, judgments, settlements, legally binding enforceable

agreements or contracts and amounts borrowed from or owed to the Low and Moderate Income Housing Fund.

The Hemet Government Civic Center & Courthouse project and a portion of the costs of hiring Joe Gonsalves & Son would be appropriate use of Redevelopment funds, but were not included in the original Recognized Obligation Payment Schedule as they have occurred subsequent to January 24, 2012.

The Hemet General Government and Public Safety programs, projects and services, on the other hand, are general and special fund requests and are consistent with the core City Council goals and objectives and administrative direction presented at the March 13, 2012 City Council Workshop.

Hemet Courthouse Project

1. Public Private Community Development, USC Price School of Policy for professional consulting services as related to Hemet Government Civic Center & Courthouse public private partnership (P3) opportunities and conceptual design based upon utilization of existing City owned properties within the downtown (fiscal impact \$22,500 for duration of project).
2. Contract with an architect to provide graphic elevations and site design for Government Civic Center & Courthouse in concert with efforts of Mr. Frank Zerunyan. Seek an architect that has familiarity and experience with design and site location of Administrative Office of the Courts facility requirements and familiarity with the proposed site located in Hemet (fiscal impact \$35,000 for duration of project).
3. Contract to provide geotechnical services for Phase I and II environmental sampling and analysis, recommendations for possible remediation (fiscal impact \$45,000 for duration of project)
4. Contract to provide conceptual site layout and design (plot plan) identifying ingress, egress, streets design and utility layout, in coordination with contract architect (fiscal impact \$35,000 for duration of project).

General Government

1. Retain Joe A. Gonsalves and Son for professional State of California legislative representation services for advocacy regarding legislative bills introduced in the California Legislature, state funding available for City programs and capital projects, professional testimony on behalf of the City in legislative hearings, analysis of legislative bills and specific issues and bills the City wishes to have analyzed or pursued by Joe A. Gonsalves and Son (fiscal impact \$15,000 for remainder of FY 2011/12, will be included in FY 2012/12 Proposed Budget as ongoing expenditure)
2. Retain contractor to design logos and print media for Hemet ROCS, which will be used in documents, posters, and banners (fiscal impact \$5,000 for

remainder of FY 2011/12, will be included in FY 2012/12 Proposed Budget as ongoing expenditure)

3. Retain contractor to design and distribute City Newsletter to improve and enhance City Hall communication with the public. Costs include design, printing of 50,000 newsletters and distribution via mail and posting on City's website prior to June 30, 2012 (\$25,000 for FY 2011/12, future publications and distributions will be included in FY 2012/13 Proposed Budget).
4. Allocate funds to cover costs associated with staff and elected officials representing the City of Hemet's interests in local, state, and federal issues, including participation on local, regional and state boards (fiscal impact this fiscal year not to exceed \$20,000). Most of these cost would have been covered with RDA/Economic Development funds, but with the passage of ABx126, costs have to be shifted to the General Fund.

Hemet Public Safety

Retain contract(s) with professional contractors and/or firms, in the amount of \$180,000 (\$97,500 from the General Fund, and \$82,500 from AMR Emergency Response Reimbursement Revenue Fund), to assist with implementing the following programs and services to insure the City provides the highest level of quality public safety services, which include:

1. Emergency Medical Dispatch Resourcing, negotiate terms with Riverside County EMS (EMS) and American Medical Response Ambulance (AMR) , or another 3rd party vendor, in order to obtain Emergency Medical Dispatch (EMD) services and reduce Hemet Fire Department (HFD) non-emergency call volume; advise the Hemet City Manager, Hemet Fire Chief and Hemet Police Chief on organizational issues, including resource allocation, arising from the reorganization of workload; Representing Fire Administration, meet and confer with legal counsel, affected labor groups, negotiate terms and make recommendations to the department heads and the City Manager; work with the City Attorney's office to develop contracts, written agreements, memorandums-of-understanding, and/or related documents in order to effectuate the above; monitor the dispatch changeover transition process, track effectiveness, evaluate results, recommend project changes as necessary and report to the City Manager, Fire Chief and Police Chief; and, under the direction of the City Manager, negotiate additional terms with involved parties as necessary to achieve maximum public benefit.
2. Fire Department Personnel Reorganization, work with the Fire Chief and Personnel Director to reestablish fire department command structure, reevaluate staffing & resource allocation and make organizational changes as necessary.
3. Establish Community Based EMS Station(s) on behalf of the City of Hemet and Fire Administration, work with American Medical Response Ambulance (AMR), or other EMS provider, for the establishment of Community based EMS

station(s), extending the reach of EMS services into the community and improving community access to paramedic services; advise the City Manager, Fire Chief and Police Chief on organizational issues arising from changes in work processes arising from the establishment of Community Based EMS stations; representing Fire Administration, meet and confer with legal counsel, affected labor groups, negotiate terms and make recommendations to the department heads and City Manager; representing Fire Administration, work with the City Attorney's office to develop contracts, written agreements, memorandums-of-understanding, and/or related documents in order to effectuate the above; monitor the dispatch changeover transition process, track effectiveness, evaluate results, recommend project changes as necessary and report to the City Manager, Fire Chief and Police Chief; and under the direction of the Hemet City Manager, negotiate additional terms with involved parties as necessary to achieve maximum public benefit.

4. Establish a Formal Fire Prevention / Community-Based Risk Reduction Program; working with the Fire Chief, develop and implement a formal Fire Prevention / Community-Based Risk Reduction Program to include regular compliance inspections of public places; establish a formal program to track inspections assigned to fire department personnel and monitor compliance; work with the Fire Chief and I.T. personnel to develop a Business Self Inspection Program , as part of this Fire Prevention Program, that can be accessed annually by merchants subject to annual inspection. If appropriate, identify a suitable 3rd party host/vendor to develop the site and record management; work with the Fire Chief, Finance Director and City Manager's office to develop and implement a Fire Prevention inspection program, including modifications to employee assignment, equipment use and/or work schedules as necessary to ensure successful program establishment; work with the Fire Chief to develop and establish effective inspection audits and tracking mechanisms; and advise the City Manager, Fire Chief and Police Chief on organizational issues arising from changes in work processes arising from changes in working conditions.
5. Cost Recovery; working with Fire Administration and designated staff to develop and bring forward a Fee Schedule for the Recovery of Fire Prevention / Risk Reduction Costs associated with the provision of services that provide a direct and distinct benefit to a business owner or other uniquely situated beneficiary and do not benefit the public broadly (i.e. storage of certain materials).

SUMMARY:

It is a sincere pleasure managing the City of Hemet. Through this intense time of city-wide restructuring and while managing the vast changes under extremely difficult financial times, I, along with my executive management team, applaud this City Council for your acknowledgement of your priorities and for allowing staff to fulfill your priorities in working toward achieving a more healthy, vibrant and responsive City government. Over the past two plus years we have achieved what some viewed as impossible, and what to

many staff seemed insurmountable, changes to how City government operates – ensuring accountability to the public we serve and setting the bar for transparency. I look forward to continuing to fulfill the City Council's unified vision and direction into the future, as does the competent and professional team of executives and staff this City employs.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Brian Nakamura', with a long horizontal line extending to the right.

Brian Nakamura
City Manager