

PLANNING COMMISSION

AGENDA

REGULAR MEETING OF THE HEMET PLANNING COMMISSION
City Council Chambers
450 East Latham Avenue, Hemet CA 92543

May 21, 2013
6:00 PM

*If you wish to make a statement regarding any item on the agenda, please complete a Speaker Card and hand it to the clerk. When the Chairman calls for comments from the public on the item you wish to address, step forward to the lectern and state your name and address. **Only testimony given from the lectern will be heard by the Planning Commission and included in the record.***

1. CALL TO ORDER:

Roll Call: Chairman John Gifford, Vice Chairman Greg Vasquez, and Commissioners, Michael Perciful, Rick Crimeni, and Vince Overmyer

Invocation and Flag Salute: Vice Chair Vasquez

2. APPROVAL OF MINUTES: None at this time.

3. PUBLIC COMMENTS:

*Anyone who wishes to address the Commission regarding items **not on the agenda** may do so at this time. Please line up at the lectern when the Chairman asks if there are any communications from the public. When you are recognized, please give your name and address. Please complete a Speaker Card and hand it to the Clerk so that we have an accurate recording of your name and address for the minutes.*

PUBLIC HEARING ITEMS

Meeting Procedure for Public Hearing Items:

1. Receive Staff Report Presentation
2. Commissioners report any Site Visit or Applicant Contact, and ask questions of staff
3. Open the Public Hearing and receive comments from the applicant and the public.
4. Close the Public Hearing
5. Planning Commission Discussion and Motion

4. ZONING ORDINANCE AMENDMENT (ZOA) NO. 13-001 (HOUSING ELEMENT COMPLIANCE) CONTINUED PUBLIC HEARING FROM THE MAY 7, 2013 MEETING

APPLICANT: City Initiated
LOCATION: Citywide
PLANNER: Nancy Gutierrez, Contract Planner

DESCRIPTION: Request for Planning Commission review and recommendation regarding amendments to Hemet Municipal Code Chapter 90 (Zoning Ordinance) to satisfy State housing element law and bring the zoning ordinance into compliance with the General Plan Housing Element Programs in regard to Emergency Shelters, Farmworker Housing, removing age restrictions in the Small Lot Residential Zone, and renaming and adding applicability guidelines to the Senior Housing Overlay Zone.

Recommended Action:

That the Planning Commission:

1. *Adopt Planning Commission Resolution Bill No.13-011 recommending APPROVAL of Zoning Ordinance Amendment No. 13-001 (Ordinance Bill No. 13-016) to the City Council.*

PUBLIC MEETING ITEMS

Public Meeting items do not require a public hearing, however the Chairman may allow public comment on these items if so desired by the Commission.

5. SITE DEVELOPMENT REVIEW NO. 13-003 (WOODSIDE HOMES AT MCSWEENEY FARMS SPECIFIC PLAN)

APPLICANT: Woodside O5S, LP
LOCATION: Southeast corner of State Street and South Village Loop
PLANNER: Carole Kendrick, Contract Planner

DESCRIPTION: Request for Planning Commission review and approval of a Site Development Review application for the design of 40 single family residential homes within Tract No. 32717-3 (Glenwood) and consideration of a Notice of Determination that the project is consistent with an Environmental Impact Report (EIR) that was adopted for the underlying project, Specific Plan No. 01-02. The proposed project is located at the southeast corner of State Street and South Village Loop within Planning Area 20 of the McSweeney Farms Specific Plan (SP No. 01-02).

Recommended Action:

That the Planning Commission:

1. *Adopt Planning Commission Resolution Bill No.13-010 (attachment No 1), approving SDR 13-003 subject to findings and conditions of approval; and*
2. *Direct staff to file a Notice of Determination with the County Clerk.*

DEPARTMENT REPORTS

6. **CITY ATTORNEY REPORTS:** *Verbal report from Assistant City Attorney Stephen McEwen on items of interest to the Planning Commission.*

7. **COMMUNITY DEVELOPMENT DIRECTOR REPORTS:**
 - A. Summary report regarding City Council Meeting of May 14, 2013

8. **HEMET ROCS CITIEN ADVISORY COMMITTEE REPORT** *-report from Chairman Gifford*

9. **PLANNING COMMISSIONER REPORTS:** *Commissioner reports on meetings attended or other matters of Planning interest*
 - A. Chairman Gifford
 - B. Vice Chair Vasquez
 - C. Commissioner Crimeni
 - D. D.Commissioner Perciful
 - E. E.Commissioner Overmyer

10. **FUTURE AGENDA ITEMS:**
 - A. Multi- Family Zoning Ordinance Compliance Updates for the Housing Element
 - B. General Plan Consistency Zoning Updates
 - C. General Plan Annual Report
 - D. Workstudy for Proposed 2014-2021 Housing Element Update
 - E. Workstudy for Proposed Ramona Creek Specific Plan

11. **ADJOURNMENT:** To the meeting of the City of Hemet Planning Commission scheduled for **June 4, 2013 at 6:00 P.M.** to be held at the City of Hemet Council Chambers located at 450 E. Latham Avenue, Hemet, California 92543.

NOTICE TO THE PUBLIC:

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Planning Department counter of City Hall located at 445 E. Florida Avenue during normal business hours. Agendas for Planning Commission meetings are posted at least 72 hours prior to the meeting. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in the meeting, please contact the Planning Department office at (951) 765-2375. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to insure accessibility to the meeting. (28 CFR 35.102-35.104 ADA Title II).



AGENDA #4

Staff Report

TO: Honorable Chairman and Members of the Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*
Nancy Gutierrez, Contract Planner *NG*

DATE: May 21, 2013

RE: ZONING ORDINANCE AMENDMENT (ZOA) NO. 13-001 (Housing Element Compliance)

APPLICANT: City of Hemet

LOCATION: Citywide

PLANNER: Nancy Gutierrez, Contract Planner

DESCRIPTION: Request for Planning Commission review and recommendation regarding amendments to Hemet Municipal Code Chapter 90 (Zoning Ordinance) to satisfy State housing element law and bring the zoning ordinance into compliance with the General Plan Housing Element Programs in regard to Emergency Shelters, Farmworker Housing, removing age restrictions in the Small Lot Residential Zone, and renaming and adding applicability guidelines to the Senior Housing Overlay Zone.

RECOMMENDATION

That the Planning Commission Adopt Planning Commission Resolution Bill No.13-011 recommending APPROVAL of Zoning Ordinance Amendment No. 13-001 (Ordinance Bill No. 13-016) to the City Council.

BACKGROUND

At its meeting of May 7, 2013, Planning Commission considered the proposed zoning ordinance amendment (ZOA 13-001) and ordinance (Ordinance Bill No. 13-016) referenced above. Due to a number of questions from Commissioners and members of the public, the item was continued with the request that staff address the concerns raised at the meeting. This staff report complies with that request. Please refer to the staff report for the May 7th meeting (Attachment 2) for background information on the requirements of State housing element law and a detailed discussion of the ordinance provisions.

DESCRIPTION OF PROPOSED ORDINANCE AMENDMENTS

The discussion in this section of the staff report focuses on the highlighted issues; however, the exhibits and the final action reflect the totality of the proposed amendments.

Emergency Shelters

At the May 7th meeting, Planning Commission considered the addition of Division 4 (Emergency

Shelters) to Article X (Special Housing Classifications) establishing applicability and supplemental development standards for emergency shelters in compliance with State law. The Commission was comfortable with the proposed standards with the exception of maximum capacity. Staff was asked to incorporate language that represents the existing operating capacity of Valley Restart Shelter at its current level and increases the maximum capacity of future shelters from 30 to 35 beds to correspond to the existing maximum at Valley Restart. The modified version of Division 4 reflecting these changes is attached as Exhibit A1.

To address the first concern, staff conferred with Linda Rogers, Shelter Director, and together recommends that the maximum for Valley Restart Shelter be set at 5 single men, 5 single women, and 9 family rooms to house a parent(s) and dependent children. This language would be added to Sec. 90-303(b), which would then state that Valley Restart Shelter may continue to operate at its current location and without complying with the standards of the proposed emergency shelter ordinance unless (i) the use or the building is significantly altered or expanded; (ii) the use is terminated for a continuous 6 month period; or (ii) the use exceeds its capacity of 5 single men, 5 single women, and 9 family rooms to house a parent(s) and dependent children.

To address the second concern, Sec. 90-304(b) was modified to limit the number of beds available nightly to 35 unless a greater number of beds is allowed as a condition of approval to the use's Conditional Use Permit. This limitation corresponds to the average maximum number of persons housed by Valley Restart Shelter and, therefore, is a reasonable provision. The remaining proposed standards in Division 4 are typical of those established for emergency shelters throughout California and demonstrate compliance with Government Code Section 65583 (4)(A). The standards cover the eight areas permitted by State law: maximum number of beds, off-street parking requirements, client intake areas, on-site management requirements, proximity to other emergency shelters, length of stay, lighting, and security provisions as well as salient standards from other sections of the zoning code such as signage and refuse collection.

State law also requires that emergency shelters be permitted by-right in at least one zone; additional zones may be identified where emergency shelters may be permitted with a conditional use permit. (Refer to Attachment 2 for a more extensive discussion of this issue.) The existing Valley Restart Shelter serves as an emergency shelter and is located in the C-1 zone. The proposed ordinance (see Exhibits A-1 and A-2) recognizes the existing shelter as being permitted by-right in the C-1 zone at the specific location at 200 E. Menlo Avenue, thus fulfilling this particular requirement under state law. Any additional shelters would be permitted only by conditional use permit in the C-M (Commercial Manufacturing) zone and subject to the proposed requirements of Division 4 to Article X, as set forth in this ordinance.

A comment was received from the Riverside County Airport Land Use Commission (ALUC) reminding the City that amendments to the zoning ordinance which effect properties located within the boundaries of Hemet-Ryan Airport Land Use Compatibility Zones must be reviewed by the ALUC prior to adoption by City Council. To accommodate potential concerns of the ALUC, Section 90-303(d) was added to Division 4 (Exhibit A1) acknowledging that emergency shelters established within the airport compatibility zones may be subject to review by the ALUC in accordance with the adopted Airport Land Use Plan.

Senior Housing

On May 7th, Planning Commission also discussed proposed modifications to Article XVI (Small Lot

Residential Zone) that removed age-restriction requirements in accordance with state and federal law while maintaining the option of a project proponent designating a project as "senior citizen restricted." Public comments included a recollection that federal and state legislation established a protected clause for senior housing in Riverside County and concerns that the proposed amendment would negatively impact existing and future senior developments in Hemet.

After conferring with the City Attorney, it has been determined that the referenced federal legislation is House Bill H.R. 660 (104th Congress), which effected a critical change in federal fair housing law by reducing the threshold for legal recognition as a senior only development to "80% of the units must have at least one occupant who is 55 years of age or older." This provision is recognized in the proposed ordinance amendments under Exhibit A5.

The referenced state legislation is Government Code Sections 65008 and 12955, Civil Code Sections 51.1 – 51.14, and Health and Safety Code Section 18300. This is a very complex area of the law and the City Attorney may address the concerns in more detail at the meeting. Essentially, our understanding is that these sections all interact to generally prohibit cities from enacting zoning regulations or development standards that discriminate on the basis of age or familial status. Government Code Section 65008 is particularly salient (Attachment 3). Note that section (e)(1) states "(e) Notwithstanding subdivisions (a) to (d), inclusive, this section and this title do not prohibit either of the following: (1) The County of Riverside from enacting and enforcing zoning to provide housing for older persons, in accordance with state or federal law, if that zoning was enacted prior to January 1, 1995." This section of the code was later litigated, however, and the federal courts ruled that the exception was only applicable to the entity Riverside County and not to all development taking place within the territory of the county, nor other jurisdictions (i.e., cities) within the county. Therefore, the City of Hemet is not covered by this exception in State law and must remove all age restrictions from the zoning ordinance to be in compliance with State housing law.

Although federal and state legislation does not provide any zoning protection for senior housing, staff proposes the addition of several sections to Chapter 90 (Zoning) to acknowledge the importance of privately established senior communities within the City. First, as shown in Exhibit A5, staff recommends renaming Article XXXI (Senior Housing Overlay Zone) and adding a provision (Sec. 90-1084) to designate senior housing developments on the official zoning map with a (S). The proposed modifications to Article XXXI were not presented to Planning Commission on May 7th and are intended to help staff identify the senior housing inventory and ascertain whether compliance with Article XVII (Conversions of Senior Housing to Non-Senior Housing) is warranted. The title "overlay zone" would be replaced with "designation" because the term "zone" could be problematic with State law and since there are no Senior Housing Overlay Zones currently reflected on the zoning map, staff would prefer using the symbol "(S)" to identify senior communities. The symbol would be used for identification purposes only and would be added to the map as part of the zoning consistency process. Additionally, staff recommends adding a reference to Sec. 90-1082 that defines a legally designated senior community to ensure that signage accurately and truthfully reflects the use.

Second, staff recommends adding to Sec. 90-513(b) of Article XVI (Small Lot Residential Zone) references to Articles XXXI (Senior Housing Designation) and XVII (Conversions of Senior Housing to Non-Senior Housing) as shown in Exhibit A4. This text amendment is intended to demonstrate the importance the City places on senior housing developments. Third, development standards applicable to privately developed senior projects will be proposed in Article XII (Multiple Family Residential Zones) as part of the housing element compliance amendments, which will be presented to Planning Commission at an upcoming meeting.

ANALYSIS

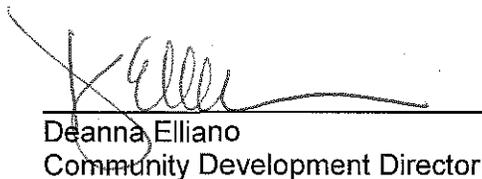
Staff believes that the proposed updates to ZOA13-001 address the concerns of Planning Commission and members of the public expressed at the May 7, 2013 Planning Commission meeting. Additionally, the proposed zone text amendments comply with State housing element law and establish conformance with the latest adopted general plan for the City by satisfying requirements outlined in General Plan Chapter 11 (Housing Element) related to emergency shelters, farmworker housing, and age restricted zoning. The amendments protect the public health, safety and welfare of residents and the community by designating appropriate zoning districts for emergency shelters and farmworker housing, instituting supplemental development guidelines that establish the framework for a clean, safe, and well-managed emergency shelter facility, and eliminate required age restrictions in the SLR zone that violate State law while demonstrating the importance of senior housing in Hemet.

Prepared by:



Nancy Gutierrez
Contract Planner

Reviewed by:



Deanna Elliano
Community Development Director

ATTACHMENTS:

1. Planning Commission Resolution Bill No. 13-011

Exhibit A – Proposed City Council Ordinance Bill No. 13-016

- Exhibit A1 Proposed addition of Division 4 to Article X (Special Housing Classifications) to establish applicability and supplemental development standards for emergency shelters.
- Exhibit A2: Proposed amendment to Section 90-892 (Permitted Uses) of Article XXVI (Commercial Zones) to permit existing emergency shelters by-right in the C-1 (Neighborhood Commercial) zone and new emergency shelters by conditional use permit in the C-M (Commercial-Manufacturing) zone.
- Exhibit A3: Proposed amendment to Section 90-192 (Permitted Uses) of Article VII (Agricultural Zones) to permit farmworker housing as a component of an agricultural use by-right in the A (Agriculture), A-1-C (Light Agriculture), and A-2-C (Heavy Agriculture) zones
- Exhibit A4: Proposed amendment to Article XVI the Small Lot Residential Zone, Section 90-501 (Purpose) and Section 90-513 (Covenants and Conditions) to remove the restriction of senior-only housing from this zone.
- Exhibit A5: Proposed amendment to Article XXXI the Senior Housing Overlay Zone, Title, Section 90-1082 (Permitted Uses) and Section 90-1084 (Applicability) to remove zone references, regulate signage, and add a requirement to identify and display on the zoning map the locations of senior housing developments.

2. Staff report from the May 7, 2013 Planning Commission Meeting (without attachments).
3. Government Code Section 65008

Attachment 1

Planning Commission
Resolution Bill No. 13-011



CITY OF HEMET
Hemet, California

PLANNING COMMISSION
RESOLUTION BILL NO. 13-011

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL ADOPT ZONING ORDINANCE BILL NO. 13-001 AMENDING PORTIONS OF HEMET MUNICIPAL CODE CHAPTER 90 (ZONING ORDINANCE) TO DESIGNATE ZONING FOR EMERGENCY SHELTERS AND FARMWORKER HOUSING, TO ESTABLISH SUPPLEMENTAL DEVELOPMENT STANDARDS FOR EMERGENCY SHELTERS, TO REMOVE AGE RESTRICTIONS IN THE SMALL LOT RESIDENTIAL ZONE PURSUANT TO THE REQUIREMENTS OF STATE LAW, AND TO RENAME AND ADD APPLICABILITY GUIDELINES TO THE SENIOR HOUSING OVERLAY ZONE.

WHEREAS, pursuant to Government Code sections 65854 and 65855, the Planning Commission has the authority to review and make recommendations to the City Council regarding amendments to the City's zoning ordinance; and

WHEREAS, on April 25, 2013, the City gave public notice by publishing notice in the Press Enterprise of the holding of a public hearing at which the amendment to the City's zoning ordinance would be considered; and

WHEREAS, on May 7, 2013 and May 21, 2013 the Planning Commission held the noticed public hearing at which interested persons had an opportunity to testify in support of, or opposition to, the proposed amendment to the City's zoning ordinance (ZOA13-001) and at which time the Planning Commission considered the proposed amendment to the City's zoning ordinance; and

WHEREAS, the City has analyzed this proposed project and has determined that it is exempt from the California Environmental Quality Act ("CEQA") under section 15061(b)(3) of the CEQA Guidelines because it can be seen with certainty that there is no possibility that the activity in question may have a significant effect of the environment; and

WHEREAS, attached as Exhibit "A" is the proposed Ordinance.

NOW, THEREFORE, the Planning Commission of the City of Hemet does Resolve, Determine, Find and Order as follows:

Planning Commission Resolution Bill No. 13-011
ZONING ORDINANCE AMENDMENT NO. 13-001
HOUSING ELEMENT COMPLIANCE

1
2 **SECTION 1: ENVIRONMENTAL FINDINGS**
3

4 The Planning Commission, in light of the whole record before it, including but not limited
5 to, the City's Local CEQA Guidelines and Thresholds of Significance, the direction of
6 the Planning Commission at its meeting on May 21, 2013 (within the meaning of Public
7 Resources Code Sections 21080(e) and 21082.2) within the record or provided at the
8 public hearing of this matter, hereby finds and determines as follows:

9 1. **CEQA:** The City has analyzed this proposed project and has determined that it is
10 exempt from the California Environmental Quality Act ("CEQA") under section
11 15061(b)(3) of the CEQA Guidelines, which provides that CEQA only applies to projects
12 that have the potential for causing a significant effect on the environment. Where as
13 here, it can be seen with certainty that there is no possibility that the activity in question
14 may have a significant effect on the environment, the activity is not subject to CEQA.
15 The amendments to Chapter 90 referenced herein bring the zoning ordinance into
16 compliance with the General Plan. The proposed text changes do not relate to any
17 physical project and will not result in any physical change to the environment.
18 Therefore, it can be seen with certainty that there is no possibility that this Ordinance
19 may have a significant adverse effect on the environment, and therefore the adoption of
20 this Ordinance is exempt from CEQA pursuant to Section 15061(b)(3) of the CEQA
21 Guidelines.
22

23 **SECTION 2: ZONING ORDINANCE AMENDMENT FINDINGS**

24 Pursuant to Hemet Municipal Code Section 90-41.5(a), the Planning Commission
25 makes the following findings with respect to zoning ordinance amendment ZOA-13-001:

26 1. *The zoning ordinance amendment is in conformance with the latest adopted general*
27 *plan for the City.*

28 The proposed zoning ordinance amendment establishes conformance with the latest
29 adopted general plan for the City by satisfying requirements outlined in General Plan
30 Chapter 11 (Housing Element) related to emergency shelters, farmworker housing,
31 and age restricted zoning pursuant to the provisions of State housing element law.

32 2. *The zoning ordinance amendment will protect the public health, safety and welfare.*

33 The proposed zoning ordinance amendment protects the public health, safety and
34 welfare of residents and the community by designating appropriate zoning districts
35 for emergency shelters and farmworker housing, instituting supplemental
36 development guidelines that establish the framework for a clean, safe, and well-
37 managed emergency shelter facility, eliminating required age restrictions in the
38 Small Lot Residential (SLR) zone that violate State law, and identifying and
39 designating senior housing communities within the City.
40

Planning Commission Resolution Bill No. 13-011
ZONING ORDINANCE AMENDMENT NO. 13-001
HOUSING ELEMENT COMPLIANCE

1 **SECTION 3: PLANNING COMMISSION ACTIONS**

2
3 The Planning Commission hereby takes the following actions:

- 4 1. The Planning Commission approves Resolution Bill No. 13-011 recommending
5 that the City Council adopt the proposed Ordinance which is attached hereto and
6 incorporated herein by reference as Exhibit "A."
7

8
9 **PASSED, APPROVED AND ADOPTED** this 21st day of May 2013, by the
10 following vote:

11
12 **AYES:**
13 **NOES:**
14 **ABSTAIN:**
15 **ABSENT:**
16
17
18

19
20 _____
21 John Gifford, Chairman
22 Hemet Planning Commission

23
24
25
26 **ATTEST:**

27 _____
Nancie Shaw, Records Secretary
Hemet Planning Commission

Exhibit A

Proposed City Council
Ordinance Bill No. 13-016

**CITY OF HEMET
Hemet, California
ORDINANCE BILL. NO 13-016**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF HEMET, CALIFORNIA AMENDING PORTIONS OF HEMET MUNICIPAL CODE CHAPTER 90 (ZONING) TO DESIGNATE ZONING FOR EMERGENCY SHELTERS AND FARMWORKER HOUSING, TO ESTABLISH SUPPLEMENTAL DEVELOPMENT STANDARDS FOR EMERGENCY SHELTERS, TO REMOVE AGE RESTRICTIONS IN THE SMALL LOT RESIDENTIAL ZONE PURSUANT TO THE REQUIREMENTS OF STATE LAW, AND TO RENAME AND ADD APPLICABILITY GUIDELINES TO THE SENIOR HOUSING OVERLAY ZONE.

WHEREAS, the State legislature has declared that the lack of housing, including providing for a variety of housing types for all income levels and special needs groups, is a critical problem that threatens the economic, environmental, and social quality of life in California; and

WHEREAS, Government Code Section 65583 requires that a city's housing element address governmental constraints to the development of housing, including providing for a variety of housing types for all income and age levels, and that jurisdictions facilitate the permitting of emergency shelters; and

WHEREAS, to achieve compliance with State housing element law and to obtain the State Department of Housing and Community Development certification for the City's 2014-2021 Housing Element, it is necessary to amend Chapter 90 of the Hemet Municipal Code to designate zoning for emergency shelters and farmworker housing; establish supplemental development standards for emergency shelters; and remove age restrictions in the small lot residential zone; and

WHEREAS, the identification and designation of senior housing communities demonstrates the importance the City places on the preservation of such housing; and

WHEREAS, approval of these zoning ordinance amendments will not detrimentally affect the health, safety, or welfare of residents of the City of Hemet; and

WHEREAS, on May 7, 2013 and May 21, 2013, the Planning Commission was presented with a draft of this Ordinance Bill No. 13-016 and, after conducting a duly noticed public hearing and after due consideration of the testimony, voted to adopt Planning Commission Resolution No. 13- __, recommending that the City Council approve Ordinance Bill No. 13-016; and

WHEREAS, on _____, 2013, the City Council considered the Ordinance, the Planning Commission's findings, and the record of information regarding ZOA 13-001 at a duly noticed public hearing, at which time interested persons had an opportunity to provide testimony on this matter.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF HEMET HEREBY ORDAIN AS FOLLOWS:

SECTION 1: ADDITION OF DIVISION 4 TO ARTICLE X.

Article X of the Hemet Municipal Code is amended as shown in Exhibit "A1" hereto.

SECTION 2: AMENDMENT OF SECTION 90-892.

Section 90-892 of the Hemet Municipal Code is amended as shown in Exhibit "A2" hereto.

SECTION 3: AMENDMENT OF SECTION 90-182.

Section 90-182 of the Hemet Municipal Code is amended as shown in Exhibit "A3" hereto.

SECTION 4: AMENDMENT OF SECTIONS 90-501 AND 90-513.

Sections 90-501 and 90-513 of the Hemet Municipal Code are amended as shown in Exhibit "A4" hereto.

SECTION 5: AMENDMENT OF ARTICLE XXXI.

Article XXXI of the Hemet Municipal Code is amended as shown in Exhibit "A5" hereto.

SECTION 6: CEQA FINDINGS.

This Ordinance is exempt from the California Environmental Quality Act ("CEQA") under CEQA Guideline 15061(b)(3) because CEQA only applies to projects that have the potential for causing a significant effect on the environment. Where as here, it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. The addition of these sections to Chapter 90 only relates to regulations for various housing types in Hemet. It does not relate to any physical project and will not result in any physical change to the environment. Therefore, it can be seen with certainty that there is no possibility that this Ordinance may have a significant adverse effect on the environment and, therefore, the adoption of this Ordinance is exempt from CEQA pursuant to Section 15061(b)(3) of the CEQA Guidelines.

INTRODUCED at the regular meeting of Hemet City Council on _____
2013.

APPROVED AND ADOPTED this ____ day of _____ 2013.

Robert Youssef, Mayor

ATTEST:

APPROVED AS TO FORM:

Sarah McComas, City Clerk

Eric S. Vail, City Attorney

State of California)
County of Riverside)
City of Hemet)

I, Sarah McComas, City Clerk of the City of Hemet, do hereby certify that the foregoing Ordinance was introduced and first read on the ___ day of _____ 2013, and had its second reading at the regular meeting of the Hemet City Council on the ___ day of _____, 2013, and was passed by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sarah McComas, City Clerk

Exhibit A1

Ordinance Bill No. 13-016
Exhibit A1

ARTICLE X SPECIAL HOUSING CLASSIFICATIONS; DIVISION 4. – EMERGENCY SHELTERS

Sec. 90-301. - Purpose.

Sec. 90-302. – Definition.

Sec. 90-303. – Applicability

Sec. 90-304. – Development and management standards

Sec. 90-305. – Conditions of Denial

Sec. 90-306-310. – Reserved

Sec. 90-301. - Purpose.

To establish supplemental development standards for emergency shelters that:

- (a) Ensure that adequate sites to accommodate Emergency Shelters are available.
- (b) Provide regulations for the development, maintenance, and operation of Emergency Shelters.
- (c) Meet the requirements of Section 65583(a)(4) of the California Government Code.
- (d) Contribute to the provision of a variety of housing types in compliance with State law and the General Plan Housing Element.

Sec. 90-302. – Emergency Shelter Defined

“Emergency Shelter” shall have the meaning ascribed to it in Government Code Section 65582(d) and Health and Safety Code Section 50801(e), as such sections may be amended from time to time, and which presently define “Emergency Shelter” to mean housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person. No individual or household may be denied emergency shelter because of an inability to pay.

Sec. 90-303. – Applicability

To accommodate the City’s Emergency Shelter needs:

- (a) Emergency Shelters shall be permitted in the Commercial-Manufacturing (CM) Zone subject to issuance of a Conditional Use Permit pursuant to HMC section 90-42 and the development and management standards in Section 90-304.
- (b) As of the effective date of this Division, the Emergency Shelter existing in the C-1 zone at 200 E. Menlo Avenue, known as Valley Restart and operated by Valley Restart Shelter, Inc., accommodates the City’s need for emergency shelter pursuant to Government Code Section 65583(a)(4)(C) and 65583(a)(7). This Emergency Shelter is permitted by right and is not required to comply with the Development Standards of this Division unless:
 - (i) the use or building is significantly altered or expanded, as determined by

Ordinance Bill No. 13-016
Exhibit A1

- the Community Development Director;
- (ii) the use is terminated for a continuous 6 month period; or
- (iii) the use regularly exceeds its capacity of 5 single men, 5 single women, and 9 family rooms to house a parent(s) and dependent children.

If either of the forgoing events occur, the existing Emergency Shelter may continue or recommence the use of the same property as an Emergency Shelter by right, but shall be subject to the development and management standards in Section 90-304.

- (c) Emergency shelters shall be subject only to the development and management standards of the underlying zone and the provisions of this article. In the event of an inconsistency, the standards of this article shall prevail.
- (d) Emergency shelters established within the boundaries of the Hemet-Ryan Airport Land Use Compatibility Zones may be subject to review by the Riverside County Airport Land Use Commission in accordance with the adopted Airport Land Use Plan.

Sec. 90-304. - Development and management standards

In accordance with the authority granted in Section 65583(a)(4)(C) of the California Government Code, all Emergency Shelters shall comply with the following development and management standards:

- (a) *On-site management.* The Emergency Shelter provider shall prepare and file a management plan with the Community Development Department that includes clear operational rules and standards including, but not limited to staff training, security, screening of clients, mechanisms to address loitering, management of outdoor areas, and opportunities for training, counseling, and treatment programs for residents.
- (b) *Maximum Number of Beds.* The Emergency Shelter shall limit the number of beds available nightly to 35, unless a greater number of beds is allowed as a condition of approval to the use's Conditional Use Permit.
- (c) *Parking.* The Emergency Shelter shall have not less than one space for every four beds available in the Emergency Shelter, plus one space for each staff person.
- (d) *Client Intake Area.* The client intake area shall be not less than 500 square feet in total floor area.
- (e) *Outdoor activity.* For purposes of noise abatement and neighborhood compatibility, outdoor activities on site are limited to the hours of 9:00 am to 9:00 pm.
- (f) *Length of stay.* An Emergency Shelter client may not stay at the facility for more than 180 consecutive days.
- (g) *Location.*
 - (i.) The shelter shall be located at least 1,000 feet, as measured from property line to property line, from another Emergency Shelter.

Ordinance Bill No. 13-016
Exhibit A1

- (ii.) The Emergency Shelter must be located within one half (½) mile of a bus stop or transit station.
- (h) *Lighting.* Adequate external lighting shall be provided for security purposes. The lighting shall be stationary, directed away from adjacent properties and public right-of-ways, and of an intensity that is compatible with the neighborhood.
- (i) *Security.* Parking and outdoor facilities shall be designed to provide security for residents, visitors, and employees. On-site supervisory personnel shall be provided at a minimum ratio of one staff person for every 15 beds during operational hours.
- (j) *Refuse collection.* Refuse collection areas shall conform to the requirements for multiple-family housing in section 90-457.
- (k) *Signage.* Signage identifying the name and address of the facility is required pursuant to sign standards for institutional uses in section 90-1255.
- (l) *Business license.* A city business license is required to operate an Emergency Shelter pursuant to Chapter 18 of the Hemet Municipal Code.
- (m) *Bathroom and laundry facilities.* The Emergency Shelter shall provide sufficient bathroom and laundry facilities pursuant to Chapter 14 of the Hemet Municipal Code.
- (n) *Accessibility.* The shelter must meet Americans with Disabilities Act (ADA) accessibility and adaptability requirements.

Sec. 90-305. – Findings for Denial

The City shall not disapprove an Emergency Shelter, or condition approval in a manner that renders the project infeasible for development for an Emergency Shelter, including through the use of design review standards, unless the City makes one or more of the following findings in writing, based upon substantial evidence in the record, as required by Government Code Section 65589.5(d):

- (a) The City has adopted a housing element pursuant to this Article 10.6 of Title 7, Division 1, Chapter 3 of the Government Code and:
 - (1) The housing element has been revised in accordance with Government Code Section 65588;
 - (2) The housing element is in substantial compliance with Article 10.6 of Title 7, Division 1, Chapter 3 of the Government Code; and
 - (3) The City has met or exceeded the need for emergency shelter, as identified pursuant to Government Code Section 65583(a)(7).

Any disapproval or conditional approval shall not be based on any of the reasons prohibited by Government Code Section 65008. Any disapproval or conditional approval pursuant to this paragraph shall be in accordance with applicable law, rule, or standards.

- (b) The Emergency Shelter as proposed would have a specific, adverse impact upon the public health or safety, and there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development of the

Ordinance Bill No. 13-016
Exhibit A1

Emergency Shelter financially infeasible. As used in this paragraph, a "specific, adverse impact" means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete. Inconsistency with the zoning ordinance or general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.

- (c) The denial of the project or imposition of conditions is required in order to comply with specific state or federal law, and there is no feasible method to comply without rendering the development of the emergency shelter financially infeasible.
- (d) The Emergency Shelter is proposed on land zoned for agriculture or resource preservation that is surrounded on at least two sides by land being used for agricultural or resource preservation purposes, or which does not have adequate water or wastewater facilities to serve the project.
- (e) The Emergency Shelter is inconsistent with both the City's zoning ordinance and general plan land use designation as specified in any element of the general plan as it existed on the date the application was deemed complete, and the City has adopted a revised housing element in accordance with Government Code Section 65588 that is in substantial compliance with Article 10.6 of Title 7, Division 1, Chapter 3 of the Government Code..

Sec. 90-306 - 310. - Reserved.

Exhibit A2

Ordinance Bill No. 13-016
Exhibit A2

Notes:

1. Only the section proposed for amendment is shown below. No other sections in Article XXVI are affected by Ordinance Bill No. 13-016.
2. The proposed additions to the section are shown in underlined red text.

ARTICLE XXVI COMMERCIAL ZONES

Sec. 90-892. – Permitted uses.

In the R-P, O-P, C-1, C-2 and C-M zones permitted and conditionally permitted uses shall be as listed within the "Land Use Matrix." Whenever a business is conducted, a city business license is required pursuant to chapter 18.

COMMERCIAL LAND USE MATRIX						
P=Permitted Use		A=Administrative Use (AUP)		C=Conditionally Permitted Use (CUP)		
X= Not Permitted						
		R-P	O-P	C-1	C-2	C-M
B. Residential Uses						
1.	Bed and breakfast	A	A	A	A	X
2.	Day care facility serving more than six clients	P	P	P	P	P
3.	Group homes and small licensed residential care facilities (see section 90-261 et seq)					
	a. Small licensed residential care facility	P	X	X	X	X
	b. Large group home (10 or fewer residents)	C	C	X	X	X
	c. Large group home (11 or more residents)	C	C	X	X	X
	d. Small group home	A	C	X	X	X
<u>4.</u>	<u>Emergency shelter subject to the requirements of Article X, Division 4. Existing Shelter in C-1 zone pursuant to HMC Section 90-303(b)</u>	<u>X</u>	<u>X</u>	<u>P</u>	<u>X</u>	<u>CUP</u>
45.	Home occupation in an existing single family home subject to the requirements of section 90-72	P	P	P	P	P
56.	Household pets in an existing single-family home including, but not limited to dogs, pot belly pigs, and cats when on the site of an existing residential unit subject to the requirements of section 90-77.	P	P	P	P	P
<u>6.7</u>	<u>Mixed use, an integrated of residential and nonresidential uses on a single site</u>	<u>X</u>	<u>X</u>	<u>C</u>	<u>C</u>	<u>X</u>
78.	Mobile home park, recreational vehicle park, or travel trailer park	X	X	X	X	C
89.	Multiple-family residence subject to the requirements of the R-3 zone development standards	C	X	X	X	X
910.	Rented room, a maximum of one room, within an existing single-family dwelling	P	P	P	P	P
<u>1011.</u>	<u>Single-family residence (existing only) including manufactured housing, prefabricated housing, and mobile homes built after 1986 when installed on permanent foundations and subject to the requirements of subsection 90-315(a)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>

Exhibit A3

**Ordinance Bill No. 13-016
Exhibit A3**

Notes:

1. Only the section proposed for amendment is shown below. No other sections in Article VII are affected by Ordinance Bill No. 13-016.
2. The proposed addition to the section is shown in underlined red text.

ARTICLE VII AGRICULTURAL ZONES

Sec. 90-182. – Permitted uses.

In A zones permitted and conditionally permitted uses shall be as listed within the "Land Use Matrix." Whenever a business is conducted, even if it is a home occupation, a city business license is required pursuant to chapter 18.

AGRICULTURAL LAND USE MATRIX				
P= Permitted Use C=Conditionally Permitted Use				
		A	A-1-C	A-2-C
B. Residential Uses				
1.	Bed and breakfast	C	C	C
2.	Family care home (state licensed) for mentally disordered, handicapped, dependent or neglected children, serving up to a maximum of six persons	P	P	P
3.	Family day care facility up to a maximum of 12 clients	P	P	P
4.	<u>Farmworker housing of up to 36 beds or 12 family units as a component of an agricultural use pursuant to Health and Safety Code Sections 17021.6 and 50199.7.</u>	<u>P</u>	<u>P</u>	<u>P</u>
4- 5.	Guest house on the same site as an existing single-family home	P	P	P
5- 6.	Home occupations subject to the requirements of section 90-72	P	P	P
6- 7.	Household pets including, but not limited to dogs, pot belly pigs, and cats (see section 90-77.	P	P	P
7- 8.	Mobile homes as a caretaker residence	P	P	P
8- 9.	Recreational vehicle park	C	C	C
9- 10.	Rented room (one) within an existing single-family dwelling	P	P	P
10- 11.	Residential care facility (state licensed) for the elderly serving up to a maximum of six persons	P	P	P
11- 12.	Single-family residence dwelling unit including manufactured housing, prefabricated housing, and mobile homes built after 1986 when installed on permanent foundations and subject to the requirements of subsection 90-315(a)	P	P	P
12- 13.	Travel trailer park.	C	C	C

Exhibit A4

Ordinance Bill No. 13-016
Exhibit A4

Notes:

1. Only the sections proposed for amendment are shown below. No other sections in Article XVI are affected by Ordinance Bill No. 13-016.
2. The proposed additions to the article are shown in underlined red text and the proposed deletions are shown in ~~red-strikethrough~~.

ARTICLE XVI. - SLR SMALL LOT RESIDENTIAL ZONE

Sec. 90-501. - Purpose.

The purpose of the SLR zone is to provide for the development of small lot single-family residential subdivisions ~~for senior citizens~~ in a planned neighborhood setting.

(Ord. No. 1238; Code 1984, § 21900)

Sec. 90-513. - Declaration of covenants, conditions and restrictions.

- (a) A declaration of covenants, conditions and restrictions (CC&R's) shall be prepared by the developer of all SLR projects. The covenants, conditions and restrictions shall be signed and acknowledged by all parties having any record title interest in the property to be developed. The covenants, conditions and restrictions shall be submitted to the city attorney for review and approval, and then shall be recorded prior to the issuance of building permits.
- (b) The covenants, conditions and restrictions ~~shall~~ may restrict occupancy to ~~adults over the age of 55~~ senior citizens in accordance with California Civil Code Section 51.1 et seq. Such senior developments would be identified by the City pursuant to Article XXXI (Senior Housing Designation). Any potential conversion of a senior housing development to a non-senior housing development shall comply with the provisions of Article XVII (Conversions of Senior Housing to Non-Senior Housing).
- (c) Covenants, conditions and restrictions for private alleys shall provide for the effective management, use, repair and maintenance of the alleys.
- (d) Covenants, conditions and restrictions for side yard easements shall:
 - (1) Prohibit the construction of any structures.
 - (2) Define the owner's right to pass to perform normal structure maintenance.
 - (3) Define the adjacent property owner's right to use the easement.
 - (4) Be in effect for the economic life of the project.

(Ord. No. 1238; Code 1984, § 21912)

Secs. 90-514—90-540. - Reserved.

Exhibit A5

**Ordinance Bill No. 13-016
Exhibit A5**

Notes:

1. The proposed additions to the article are shown in underlined red text and the proposed deletions are shown in ~~red-strikethrough~~.
-

ARTICLE XXXI. - SENIOR HOUSING OVERLAY ZONE DESIGNATION

Sec. 90-1081. - Purposes.

- (a) To provide a means of designating existing and future senior housing developments for people 55 years and older in the city.
- (b) To promote, protect, and preserve senior housing in the city.
- (c) To continue to attract senior citizens to the city as a desirable place to live.
(Ord. No. 1592, § 1, 10-13-98)

Sec. 90-1082. - Permitted uses.

- (a) Permitted and conditionally permitted uses of the underlying zone.
- (b) Signs per the requirements of Article XXXVI, ~~sections 90-1259 and 90-1280 and~~ Sec. 90-1083.
(Ord. No. 1592, § 1, 10-13-98)

Sec. 90-1083. - Minimum requirements for senior developments.

In order for a development to be designated for seniors 55 years of age and older, it shall meet the minimum requirements of The Fair Housing Act (Title VIII of the Civil Rights Act of 1968, as amended 42, U.S.C. 3601—3619) and the Housing for Older Persons Act of 1995 (Pub. L. 104-76) and/or the California Civil Code Sections 51.11 and 51.12.

(Ord. No. 1592, § 1, 10-13-98)

Sec. 90-1084. - Applicability.

Senior housing developments known to the City as defined in Sec. 1083 and with recorded covenants, conditions, and restrictions shall be designated on the official zoning map with a (S). Any potential conversion of a senior housing development to a non-senior housing development shall comply with the provisions of Article XVII (Conversions of Senior Housing to Non-Senior Housing.)

Sec. 90-1084 1085. - Enforcement.

Enforcement of this article shall be on a complaint basis. Once a complaint has been filed, prior to the commencement of enforcement, the city shall require certification by the community Home Owners Association or similar entity, by resolution of the Home Owners Association, of the following:

- (1) That the Home Owner Association has been duly established in accordance with the laws of the state;
- (2) That all property in the community is encumbered by recorded covenants, conditions, and restrictions established in accordance with state law;

Ordinance Bill No. 13-016
Exhibit A5

- (3) That the community currently meets the requirements of section 90-1083 of this Code; and,
- (4) That the city has a current list of the Home Owner Association Board members, addresses and phone numbers on file in the Hemet Planning Department.

(Ord. No. 1592, § 1, 10-13-98)

Secs. 90-1085 1086—90-1120. - Reserved.

Attachment 2

Staff Report
Planning Commission
Meeting of May 7, 2013



AGENDA #9

Staff Report

TO: Honorable Chairman and Members of the Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*
Nancy Gutierrez, Contract Planner *NG*

DATE: May 7, 2013

RE: ZONING ORDINANCE AMENDMENT (ZOA) NO. 13-001 (Housing Element Compliance)

APPLICANT: City of Hemet

LOCATION: Citywide

PLANNER: Nancy Gutierrez, Contract Planner

DESCRIPTION: Request for Planning Commission review and recommendation regarding amendments to Hemet Municipal Code Chapter 90 (Zoning Ordinance) to satisfy State housing element law and bring the zoning ordinance into compliance with the General Plan Housing Element Programs in regard to Emergency Shelters, Farmworker Housing, and removing age restrictions in the Small Lot Residential Zone.

RECOMMENDATION

That the Planning Commission Adopt Planning Commission Resolution Bill No.13-011 recommending APPROVAL of Zoning Ordinance Amendment No. 13-001 (Ordinance Bill No. 13-016) to the City Council.

BACKGROUND

State Housing Element law (Government Code Section 65580, et al) requires local jurisdictions to prepare a housing element as a component of its General Plan, and to update it in accordance with a scheduled "cycle" established by the California Department of Housing and Community Development (HCD) for each geographic region in the State. Unlike other elements of the General Plan, the housing element must be reviewed and certified by HCD in order to meet state law requirements and to insure the City's Housing Element and General Plan remain "in compliance". The City of Hemet received HCD certification of its Cycle 4 (2008-2013) housing element on June 28, 2012, and is currently working on its Cycle 5 (2013-2021) housing element, which is due to the State in October, 2013.

As a condition of Cycle 4 housing element certification from HCD, the City is required to make certain amendments to its zoning code regarding the provision of housing types and sites, as set forth in the adopted housing element programs of the General Plan (see Attachment No. 2). These amendments must be completed prior to submission of the proposed Cycle 5 housing element to HCD for initial review. The purpose of ZOA 13-001 is to address three of the required amendments to Hemet Municipal Code (HMC) Chapter 90 (Zoning Ordinance). The final amendment, creating a new R-4 Zone, will be presented to the Planning Commission at an upcoming meeting.

A Planning Commission workshop on Hemet's proposed 2013-2021 Housing Element (Cycle 5) is being planned for the near future. The workshop will include a report on the City's current housing profile, a review of the performance objectives of the 2008-2013 housing element, an evaluation of housing element goals and policies with particular emphasis on responding to challenges created by the dissolution of redevelopment in California and the constrained budgetary environment, and an opportunity to guide development of the Cycle 5 element's implementation programs.

DESCRIPTION OF PROPOSED ORDINANCE AMENDMENTS

The 2008-2013 Hemet Housing Element is included in the General Plan as Chapter 11. The Element includes five broad goals with supportive policies and implementation programs. The amendments proposed by ZOA13-001 address specific implementation programs and the actions to which the City has committed to complete as outlined below. The excerpted Implementation Programs from the adopted Housing Element that pertain to the proposed ordinance are provided in Attachment No. 2.

Emergency Shelters

California Government Code Section 65583 (4)(A) requires that emergency shelters be permitted by-right in at least one zone; additional zones may be identified where emergency shelters may be permitted with a conditional use permit. The existing Valley Restart Shelter serves as an emergency shelter and is located in the C-1 zone, as shown in Attachment No. 3. The proposed ordinance (see Exhibits A-1 and A-2) recognizes this existing shelter as being permitted by-right in the C-1 zone at the specific location at 200 E. Menlo Avenue, thus fulfilling this particular requirement under state law. Any additional shelters would be permitted only by conditional use permit in the C-M (Commercial Manufacturing) zone and subject to the requirements of Division 4 to Article X (Special Housing Classifications), which is a proposed new section establishing applicability and supplemental development standards for emergency shelters in accordance with State law. The proposed development and operational standards for any new Emergency Shelter are included in the zoning code amendment as shown in Exhibit A-1. Valley Restart Shelter would not be required to comply with the new development standards unless the use or the building is significantly altered or expanded, or the use is terminated for a continuous six month period. The locations of the C-M zone are shown in Attachment No. 4.

The proposed standards (Exhibit A1) are typical of those established for emergency shelters throughout the State. Staff reviewed ordinance provisions of at least a dozen other jurisdictions to confirm that Hemet's proposal meets the industry standard, ensures the health and safety of residents within the facility and in adjacent neighborhoods, and demonstrates compliance with Government Code Section 65583 (4)(A). The standards cover the eight areas permitted by State law: maximum number of beds, off-street parking requirements, client intake areas, on-site management requirements, proximity to other emergency shelters, length of stay, lighting, and security provisions as well as salient standards from other sections of the zoning code such as signage and refuse collection.

As shown in Attachment No. 2, Program H-1b (Emergency Shelters and Homeless Facilities) is an implementation measure of Housing Element Goal H-1, "Provide for the attainment of quality housing within a satisfying living environment for households of all socio-economic, age, and ethnic types in Hemet." The program states that the City will establish an overlay zone in the area generally bounded by Esplanade Avenue to the north, Menlo Avenue to the south, Buena Vista Street to the east, and State Street to the west. This area was chosen to accommodate the site of the existing Valley Restart Shelter on Menlo Avenue. However, subsequent to adoption of the Housing Element, staff realized

that establishment of an overlay zone is not the best way to address the requirements of State law, and could cause undue concerns for properties within the overlay that additional shelters in the vicinity could be established by right. Therefore, staff is recommending the approach explained above and outlined in Exhibits A-1 and A-2 of the proposed ordinance. The C-M zone was selected as the secondary zone allowing emergency shelters by CUP because of the relatively limited application of this zone, and its existence in proximity to transportation opportunities and services. Staff has verified with the City Attorney and the City's Housing Element consultant that the proposed ordinance meets the requirements of state law and is consistent with the practical intent outlined in the Housing Element Program H-1b of the General Plan.

Removing Constraints to the Development of Housing

As shown in Attachment No. 2, Program H-3f (Remove Constraints to the Development of Housing) is an implementation measure of Housing Element Goal H-3, "Assure adequate provision of sites for housing." The program implements additional state law requirements regarding the provision of required housing types, and states that the City will amend its zoning code to remove specified constraints identified by HCD as outlined below:

- *Include a reference to California Health and Safety Code Section 17021.6, which specifies that farmworker housing of up to 36 beds or 12 family units is included in the definition of agricultural use and may not be restricted by conditional use permit requirements or other zoning clearance.* To meet this requirement, staff proposes amending the Agricultural Zones Permitted Uses table to permit farmworker housing as a component of an agricultural use by-right in the A (Agriculture), A-1-C (Light Agriculture), and A-2-C (Heavy Agriculture) zones as shown in Exhibit A3. The City has very little active agricultural land remaining within its jurisdictional boundaries. This is a nominal change that will have very little, if any, impact on residential land use patterns, and fulfills the state law requirement.
- *Remove the age restrictions in the SLR (Small Lot Residential) and SR-3 (Senior Multiple Family Housing) zone districts.* State and federal laws prohibit local agencies from zoning or restricting housing on the basis of age, including senior-only housing. A developer or homeowners group can propose senior-only housing and restrict its use through CC&Rs, but the City cannot make it a requirement under the zoning. The City previously amended Chapter 90 (Zoning) to eliminate the SR-3 zone article and is in the process of re-zoning all SR-3 parcels to R-3 (Multiple Family Residential.) However, staff does not recommend eliminating the SLR zone. The development standards are unique to the zone and there are several healthy housing tracts in the City developed under the SLR standards, and that are currently reserved for seniors by their CC&Rs. It would be difficult to find an appropriate replacement controlling zone. Additionally, the zone provides a nice development alternative with rear facing garages and neighborhood "walkability." Therefore, as shown in Exhibit A4, staff recommends removing all age-restriction requirements while maintaining the option of a project proponent designating a project as senior citizen restricted.
- *Single Room Occupancy (SRO) units are not permitted by right in any of the City's zones. Boarding houses are permitted in the R-P and O-P zones with a conditional use permit. The City will establish development standards for these facilities, and remove the use permit requirements from the appropriate zones.* On June 12, 2012 the City amended the zoning code to establish development standards and remove permit requirements in specified zones for boarding housing, large group homes, group homes, and small licensed care facilities. This action has met the City's need and state law requirements for "transitional housing"

opportunities. Additionally, Hemet is a semi-rural community. There is no market for SRO units in the City, which is a very urban housing concept designed for high-rent areas, such as the beach communities. As a result, there is no need to amend the code to accommodate this housing type.

ANALYSIS

The main purpose of the proposed zone text amendments is to comply with State housing element law. The ramifications of not complying with the statutory requirements and deadlines can be onerous. The City would fall out of the 8-year cycle for preparation of its housing element and would be required to submit an updated document every four years, which is time consuming and expensive. Additionally, the City's Cycle 4 Regional Housing Needs Allocation (RHNA) of affordable housing units would be added to the Cycle 5 allocation instead of being considered met. The Cycle 4 RHNA allocation is substantially higher than the Cycle 5 allocation and it would not be in the City's best interest to carry it over, given the amount of affordable housing units already existing in the City. However, the most serious implications of not complying with the housing element requirements can result in the State invalidating the General Plan, deeming the City ineligible for most State and federal grants regardless of funding source or proposed use, and potentially suspending the City's ability to render local land use decisions and issue building permits. Ultimately, if the state determined that the City willfully did not comply with the housing element law, the state could mandate approval of affordable housing projects, as opposed to local control of land use decisions.

Pursuant to Hemet Municipal Code Section 90-41.5(a), the proposed amendments establish conformance with the latest adopted general plan for the City by satisfying requirements outlined in General Plan Chapter 11 (Housing Element) related to emergency shelters, farmworker housing, and age restricted zoning pursuant to the provisions of State housing element law. Additionally, the amendments protect the public health, safety and welfare of residents and the community by designating appropriate zoning districts for emergency shelters and farmworker housing, instituting supplemental development guidelines that establish the framework for a clean, safe, and well-managed emergency shelter facility, and eliminate required age restrictions in the SLR zone that violate State law.

NOTICING AND PUBLIC REVIEW

On April 25, 2013, the City published a notice in the Press Enterprise of the holding of a public hearing before the Planning Commission at which the amendment to the City's zoning ordinances would be considered. A copy of the ordinance was also sent to Valley Restart Shelter. To date, staff has not received any public comments on the draft ordinance.

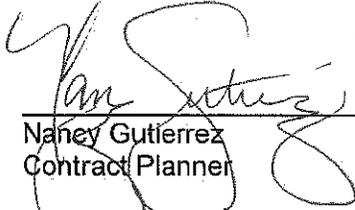
CEQA REVIEW AND COMPLIANCE

This Ordinance is exempt from the California Environmental Quality Act ("CEQA") under CEQA Guideline 15061(b)(3) because CEQA only applies to projects that have the potential for causing a significant effect on the environment. Where, as here, it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. The addition of these sections to Chapter 90 only relates to regulations for various housing types in Hemet. It does not relate to any physical project and will not result in any physical change to the environment. Therefore, it can be seen with certainty that there is no possibility that this Ordinance may have a significant adverse effect on the environment and, therefore, the

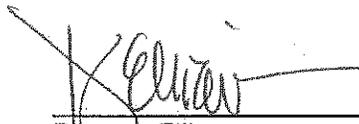
adoption of this Ordinance is exempt from CEQA pursuant to Section 15061(b)(3) of the CEQA Guidelines.

Prepared by:

Reviewed by:



Nancy Gutierrez
Contract Planner



Deanna Elliano
Community Development Director

ATTACHMENTS:

1. Planning Commission Resolution Bill No. 13-011

Exhibit A – Proposed City Council Ordinance Bill No. 13-016

- Exhibit A1 Proposed addition of Division 4 to Article X (Special Housing Classifications) to establish applicability and supplemental development standards for emergency shelters.
- Exhibit A2: Proposed amendment to Section 90-892 (Permitted Uses) of Article XXVI (Commercial Zones) to permit existing emergency shelters by-right in the C-1 (Neighborhood Commercial) zone and new emergency shelters by conditional use permit in the C-M (Commercial-Manufacturing) zone.
- Exhibit A3: Proposed amendment to Section 90-192 (Permitted Uses) of Article VII (Agricultural Zones) to permit farmworker housing as a component of an agricultural use by-right in the A (Agriculture), A-1-C (Light Agriculture), and A-2-C (Heavy Agriculture) zones
- Exhibit A4: Proposed amendment to Article XVI the Small Lot Residential Zone, Section 90-501 (Purpose) and Section 90-513 (Covenants and Conditions) to remove the restriction of senior-only housing from this zone.

- 2. Excerpts of Implementation Programs from the City's adopted 2008-2013 Housing Element
- 3. Zoning Map Exhibit showing the location and zoning for the existing Valley Restart Emergency Shelter
- 4. Zoning Map Exhibit showing the locations of the C-M (Commercial Manufacturing) Zones.

Attachment 3

California Government
Code Section 65008

Attachment 3
ZOA13-001 Housing Element Compliance

CAL. GOV. CODE § 65008 : California Code - Section 65008

(a) Any action pursuant to this title by any city, county, city and county, or other local governmental agency in this state is null and void if it denies to any individual or group of individuals the enjoyment of residence, landownership, tenancy, or any other land use in this state because of any of the following reasons:

(1)(A) The lawful occupation, age, or any characteristic of the individual or group of individuals listed in subdivision (a) or (d) of Section 12955, as those bases are defined in Sections 12926, 12926.1, subdivision (m) and paragraph (1) of subdivision (p) of Section 12955 and Section 12955.2.

(B) Notwithstanding subparagraph (A), with respect to familial status, subparagraph (A) shall not be construed to apply to housing for older persons, as defined in Section 12955.9. With respect to familial status, nothing in subparagraph (A) shall be construed to affect Sections 51.2, 51.3, 51.4, 51.10, 51.11, and 799.5 of the Civil Code, relating to housing for senior citizens. Subdivision (d) of Section 51 and Section 1360 of the Civil Code and subdivisions (n), (o), and (p) of Section 12955 of this code shall apply to subparagraph (A).

(2) The method of financing of any residential development of the individual or group of individuals.

(3) The intended occupancy of any residential development by persons or families of very low, low, moderate, or middle income.

(b)(1) No city, county, city and county, or other local governmental agency shall, in the enactment or administration of ordinances pursuant to any law, including this title, prohibit or discriminate against any residential development or emergency shelter for any of the following reasons:

(A) Because of the method of financing.

(B)(i) Because of the lawful occupation, age, or any characteristic listed in subdivision (a) or (d) of Section 12955, as those characteristics are defined in Sections 12926, 12926.1, subdivision (m) and paragraph (1) of subdivision (p) of Section 12955, and Section 12955.2 of the owners or intended occupants of the residential development or emergency shelter.

(ii) Notwithstanding clause (i), with respect to familial status, clause (i) shall not be construed to apply to housing for older persons, as defined in Section 12955.9. With respect to familial status, nothing in clause (i) shall be construed to affect Sections 51.2, 51.3, 51.4, 51.10, 51.11, and 799.5 of the Civil Code, relating to housing for senior citizens. Subdivision (d) of Section 51 and Section 1360 of the Civil Code and subdivisions (n), (o), and (p) of Section 12955 of this code shall apply to clause (i).

(C) Because the development or shelter is intended for occupancy by persons and families of very low, low, or moderate income, as defined in Section 50093 of the Health and Safety Code, or persons and families of middle income.

(D) Because the development consists of a multifamily residential project that is consistent with both the jurisdiction's zoning ordinance and general plan as they existed on the date the application was deemed complete, except that a project shall not be deemed to be inconsistent with the zoning designation for the site if that zoning designation is inconsistent with the general plan only because the project site has not been rezoned to conform with a more recently adopted general plan.

(2) The discrimination prohibited by this subdivision includes the denial or conditioning of a residential development or shelter because of, in whole or in part, either of the following:

(A) The method of financing.

(B) The occupancy of the development by persons protected by this subdivision, including, but not limited to, persons and families of very low, low, or moderate income.

(3) A city, county, city and county, or other local government agency may not, pursuant to subdivision (d) of Section 65589.5, disapprove a housing development project or condition approval of a housing

Attachment 3
ZOA13-001 Housing Element Compliance

development project in a manner that renders the project infeasible if the basis for the disapproval or conditional approval includes any of the reasons prohibited in paragraph (1) or (2).

(c) For the purposes of this section, "persons and families of middle income" means persons and families whose income does not exceed 150 percent of the median income for the county in which the persons or families reside.

(d)(1) No city, county, city and county, or other local governmental agency may impose different requirements on a residential development or emergency shelter that is subsidized, financed, insured, or otherwise assisted by the federal or state government or by a local public entity, as defined in Section 50079 of the Health and Safety Code, than those imposed on nonassisted developments, except as provided in subdivision (e). The discrimination prohibited by this subdivision includes the denial or conditioning of a residential development or emergency shelter based in whole or in part on the fact that the development is subsidized, financed, insured, or otherwise assisted as described in this paragraph.

(2)(A) No city, county, city and county, or other local governmental agency may, because of the lawful occupation age, or any characteristic of the intended occupants listed in subdivision (a) or (d) of Section 12955, as those characteristics are defined in Sections 12926, 12926.1, subdivision (m) and paragraph (1) of subdivision (p) of Section 12955, and Section 12955.2 or because the development is intended for occupancy by persons and families of very low, low, moderate, or middle income, impose different requirements on these residential developments than those imposed on developments generally, except as provided in subdivision (e).

(B) Notwithstanding subparagraph (A), with respect to familial status, subparagraph (A) shall not be construed to apply to housing for older persons, as defined in Section 12955.9. With respect to familial status, nothing in subparagraph (A) shall be construed to affect Sections 51.2, 51.3, 51.4, 51.10, 51.11, and 799.5 of the Civil Code, relating to housing for senior citizens. Subdivision (d) of Section 51 and Section 1360 of the Civil Code and subdivisions (n), (o), and (p) of Section 12955 of this code shall apply to subparagraph (A).

(e) Notwithstanding subdivisions (a) to (d), inclusive, this section and this title do not prohibit either of the following:

(1) The County of Riverside from enacting and enforcing zoning to provide housing for older persons, in accordance with state or federal law, if that zoning was enacted prior to January 1, 1995.

(2) Any city, county, or city and county from extending preferential treatment to residential developments or emergency shelters assisted by the federal or state government or by a local public entity, as defined in Section 50079 of the Health and Safety Code, or other residential developments or emergency shelters intended for occupancy by persons and families of low and moderate income, as defined in Section 50093 of the Health and Safety Code, or persons and families of middle income, or agricultural employees, as defined in subdivision (b) of Section 1140.4 of the Labor Code, and their families. This preferential treatment may include, but need not be limited to, reduction or waiver of fees or changes in architectural requirements, site development and property line requirements, building setback requirements, or vehicle parking requirements that reduce development costs of these developments.

(f) "Residential development," as used in this section, means a single-family residence or a multifamily residence, including manufactured homes, as defined in Section 18007 of the Health and Safety Code.

(g) This section shall apply to chartered cities.

(h) The Legislature finds and declares that discriminatory practices that inhibit the development of housing for persons and families of very low, low, moderate, and middle income, or emergency shelters for the homeless, are a matter of statewide concern.

AGENDA #5



Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*
Carole L. Kendrick, Assistant Planner *CK*

DATE: May 21, 2013

RE: **SITE DEVELOPMENT REVIEW NO. 13-003 (WOODSIDE HOMES AT MCSWEENEY FARMS SPECIFIC PLAN)** - A request for Planning Commission review and approval of a Site Development Review application for the design of 40 single family residential homes within Tract No. 32717-3 (Glenwood) and consideration of a Notice of Determination that the project is consistent with an Environmental Impact Report (EIR) that was adopted for the underlying project, Specific Plan No. 01-02. The proposed project is located at the southeast corner of State Street and South Village Loop within Planning Area 20 of the McSweeney Farms Specific Plan (SP No. 01-02).

PROJECT APPLICANT INFORMATION

Owner/Applicant: Woodside 05S, LP
Agent: Trent Heiner
Project Location: Southeast corner of State Street and South Village Loop
APN Information: 454-450-001 thru 0016; 454-451-004 thru 015; and 454-452-001 thru 009
Lot Area: 11.70 acres (gross)/8.01 acres (net)

STAFF RECOMMENDATION

The Planning Department recommends that the Planning Commission:

1. Adopt the attached Planning Commission Resolution Bill No. 13-010 (Attachment No. 1), approving SDR 13-003 subject to the findings and conditions of approval; and
2. Direct staff to file a Notice of Determination with the County Clerk.

City of Hemet - Planning Department
Planning Commission Meeting of May 21, 2013

PROJECT BACKGROUND

The McSweeny Farms Specific Plan (SP No. 01-02) is a development of 673.0 acres that permit approximately 1,640 dwelling units, commercial and community uses, drainage facilities and open space located east of State Street and south of Gibbel Road. The Specific Plan has existing entitlements for ten (10) Tentative Tract Maps and several Site Development Review applications. An overall map of the McSweeny Farms Specific Plan Land Use Map is shown in Exhibit 4. The following timeline is specific to the proposed project.

The Specific Plan was originally proposed and developed by Sun-Cal as the master developer who then lost the property during the economic recession. Raintree Investments subsequently purchased the property in 2009 and has taken on the responsibilities of the master developer.

Two homebuilders, Woodside Homes and Lennar Homes, had constructed and sold a portion of the Lots in Phase 1 of the Specific Plan (see Attachment No. 7) in 2007-08. At present, Woodside Homes is the only active builder at McSweeny Farms, and is in the process of completing homes in Planning Area 10 of the Specific Plan. Woodside has reported to staff that home sales activity is up and a customer waiting list for the new homes has been initiated.

McSweeny Farms Timeline		
Date	Project	Action
November 25, 2003	Specific Plan (SP) No. 01-02	Approved by the City Council
April 5, 2005	Tentative Tract Map No. 32529 (Phase 1 Map) Planning Areas 2, 10,11, 20, 21, 22, 26, 27, 35, 36 and 41	Approved by the Planning Commission
April 5, 2005	Tentative Tract Map No. 32717 (Phase 1) Planning Areas 10,11, 20, 21, 22, 26 and 27	Approved by the Planning Commission (Recorded)
July 18, 2006	Site Development Review No. 06-13 (Planning Areas 10 and 20)	Approved by the Planning Commission
September 5, 2006	Tentative Tract Map No. 34659 (Master Map)	Approved by the Planning Commission
March 18, 2008	Site Development Review No. 07-009 (Planning Area 20)	Denied by the Planning Commission
November 12, 2008	Appeal No. 08-001 of Site Development Review No. 07-009	Overtured by the City Council
August 4, 2009	Site Development Review No. 09-002 (Planning Area 10)	Approved by the Planning Commission
April 15, 2013	Site Development Review No. 13-003 (Planning Area 20)	Submitted

City of Hemet - Planning Department
Planning Commission Meeting of May 21, 2013

The proposed project is located within Tentative Tract Map (TTM) 32717-3 and Planning Area No. 20 of the Specific Plan (see Attachment No. 3). Condition of Approval No. 15 for Tentative Tract Map (TTM) No. 32717 (the underlying map) requires that the Planning Commission review and approve site development plans for architecture and site layout prior to the issuance of building permits. The Applicant, Woodside Homes, has submitted a Site Development Review application in compliance with the approved Tentative Tract Map conditions.

On July 18, 2006, Site Development Review (SDR) No. 06-013 was approved by the Planning Commission (Resolution No. 06-028) for Planning Areas 10 and 20. The lot plotting, architectural elevations, floor plans, landscape plans and fence & walls plans for the proposed project were reviewed and approved under Site Development Review (SDR) No. 06-13 for a total of 148 lots. However, due to the changes in the housing market, the Applicant requested an adjustment to the approved plans for Planning Area 20 under Site Development Review No. 07-009. On March 18, 2008, Site Development Review (SDR) No. 07-009 was denied by the Planning Commission (Resolution No. 08-009) due to a lack of consistency with the design guidelines and incompatibility with the existing neighborhood. The Planning Commission denial was appealed under Appeal (APL) No. 08-001 and overturned by the City Council on November 12, 2008 on the basis that the applicant agreed to upgrade the architecture to better reflect the Design Guidelines of the Specific Plan. The proposed application would revise the 40 lots located in Planning Area 20 to reflect the same architectural elevations and floors plans that were approved under SDR09-002 (Planning Area 10) and which have also been constructed by Woodside Homes. Tract No. 32717-3 lots are at a 7,200 square foot minimum.

The proposed project site is currently vacant. The property to the south, north and east of the site contains single family homes under construction. To the west is property located outside of the McSweeney Farms Specific Plan owned by the Metropolitan Water District (MWD) and is currently vacant.

Tract No. 32717-3 does not include any parks, however Planning Area 10 to the north includes a pocket park that is located approximately 200 feet north of this project. A 5-acre neighborhood park is located further to the north and has been recently completed by the master builder. The closest school is Diamond Valley Middle School located north of the project on State Street.

The McSweeney Farms Specific Plan includes an 8.0 acre equestrian center (Planning Area 35) located southeast of the proposed project, as well as a 5.0 acre park (Planning Area 36) located northeast of the proposed project. The equestrian center has not been constructed at this time. The equestrian center is required to be constructed prior to the 295 certificate of occupancy, which has not occurred to date. Phase 1 of the project currently has 222 certificates of occupancy. The build out of Planning Area 10 and 20 will bring the total certificates of occupancy to 281. The Community Center was completed on May 17, 2007 and serves as a focal point for the project in addition to providing recreation, social activities and administrative services.

The following table indicates land uses immediately surrounding the project site.

	LAND USE	ZONING	GENERAL PLAN
PROJECT SITE	Vacant	McSweeney Farms Specific Plan (SP 01-02)	SP (Specific Plan)
NORTH	Single Family Residential (Planning Area 10)	McSweeney Farms Specific Plan (SP 01-02)	SP (Specific Plan)
EAST	Single Family Residential (Planning Area 11)	McSweeney Farms Specific Plan (SP 01-02)	SP (Specific Plan)
SOUTH	Vacant (Planning Area 21)	McSweeney Farms Specific Plan (SP 01-02)	SP (Specific Plan)
WEST	Vacant	A-10 (Heavy Agriculture – 10 Acre Minimum)	AG (Agriculture)

The project setting is illustrated and described in more detail by the attached items:

- Adjacent Zoning Map (Attachment No. 2)
- Aerial Map (Attachment No. 3)

PROJECT DESCRIPTION

The Applicant is requesting approval of Site Development Review No. 13-003 for the development of 40 single-family residences within Tentative Tract Map (TTM) No. 32717-3. Tract No. 32717-3 is composed of forty lots on 8.01 acres located along the western boundary of the McSweeney Farms Specific Plan (SP No. 01-02) within Planning Area 20. All homes will take access from South Village Loop.

As shown in the attached plans, lots range in size from 7,215 square feet to 18,067 square feet. The average lot size is 8,720 square feet. The proposed residences range in size from 1,721 to 2,854 sq. ft. and provide a mixture of single story and two story with 50% of each. The four (4) plan types are equally distributed throughout the 40 lot project.

The proposed architecture will include craftsman, prairie and farmhouse styles that are consistent with the McSweeney Farms Specific Plan. The craftsman units propose a combination of stucco and siding, stone veneer accents, wood gables and a concrete tile roof. The prairie design utilizes stucco, wood fascia, brick veneer and a concrete tile roof. The farmhouse architecture includes a combination of stucco and siding, wood fascia, brick veneer and a flat concrete tile roof.

The Applicant is proposing four (4) different floor plans with three (3) different architectural elevations for each home. The table below summarizes the proposed dwelling unit types:

Plan Type	# of Beds/Baths	Dwelling Unit Size	# of Arch. Elevations	# of Stories	Garage Type
Plan 1	4 bedrooms/2 bathrooms	1,721 sq. ft.	3	1	2 car front-entry
Plan 2	4 bedrooms /2 bathrooms	1,953 sq. ft.	3	1	2 car front-entry
Plan 3	3 bedrooms w/4 bedroom option/2 bathrooms w/3 bathroom option	2,376 sq. ft. 2,512 sq. ft (w/ optional suite)	3	2	2 car front-entry w/ third car tandem
Plan 4	4 bedrooms w/5 bedroom option/ 2 bathrooms w/3 bathroom option	2,683 sq. ft. 2,854 sq. ft (w/ optional den)	3	2	2 car front-entry w/ third car tandem

Staff is recommending condition of approval numbers 13-30, requiring that the project include specific enhancements to include window boxes, shutters, veneer treatments to return to fence or roof line, enhanced elevations for second story lots that back onto streets, and enhanced street side elevations, in order to ensure that the product has the same level of architectural quality as the existing tracts. The Applicant has agreed to the conditions of approval regarding these architectural enhancements.

Woodside Homes is proposing one (1) street tree per home and two (2) street trees on corner lots. Front yard landscaping will consist of a minimum of one (1) tree per lot with a mixture of shrubs, groundcover, turf and vines. The Applicant proposes to emphasize plants of a drought tolerant nature in compliance with the City's Water Efficient Landscaping requirements.

The project site currently has a six (6) foot high split face block wall with caps located adjacent to State Street and South Village Loop. The interior fencing will mainly consist of wood fencing, with

the exception of corner lots and wall returns that require block wall construction.

GENERAL PLAN CONSISTENCY

This project will be building a portion of the homes that were anticipated when the Specific Plan was approved. Given that, this project is consistent with the Specific Plan which was previously determined to be consistent with the City's General Plan.

The project is also consistent with Land Use Goal (LU 1.11) that promotes comprehensive, cohesive and well-designed residential projects through the preparation of a Specific Plan. Phase 1 of the McSweeny Farms Specific Plan is partially constructed with a well established neighborhood character. The project as proposed will reflect the existing neighborhood character by following the architectural style and plotting within the development consistent with Community Development Goal CD-12.4.

COMPLIANCE WITH THE MCSWEENEY FARMS SPECIFIC PLAN

The McSweeny Farms Specific Plan establishes specific development standards relative to setbacks, building height, etc. for each of the 29 residential Planning Areas. Staff has reviewed the proposed project to verify compliance with these development standards. Based on the information provided in the table below, the project meets and/or exceeds the minimum development standards of Specific Plan No. 01-2

In addition, the project complies with the design guidelines as set forth in the McSweeny Farms Specific Plan (SP 01-02) which requires that residential uses provide at least a varied garage setback from the front façade of the residential building and provide building façade variations at a minimum of four (4) planes on the front and two (2) planes on the sides and rear.

DEVELOPMENT STANDARDS PER SP 01-02	PLANNING AREA 20 MINIMUM	PROPOSED
Front Setback Minimum	20 feet	20 feet-32 feet (varies)
Side Setback Minimum	5 feet	5 feet-19 feet (varies)
Street Side Setback and Corners Minimum	10 feet	10 feet-26 feet (varies)
Rear Setback Minimum	20 feet	20 feet-99 feet (varies)
Building Height	35 feet	24 Feet 9 Inches

Design Guidelines Consistency

The overall intent of the single family design guidelines is to encourage quality residential development that utilizes innovative design concepts which foster conservation, diversity and community life; homes which have clear identifiable entries that will enhance the street scene; homes that will be built in proportion to the lot sizes; visual diversity with a variety of architectural elements; living areas being designed towards the street rather than garages; open space for recreational activity; and pedestrian friendly designs to common destinations (Single-Family Residential Design Guidelines Page 1). Upon review of the site development plans, the proposed architecture and home plans are consistent with the intent of the design guidelines.

Each home proposed with the project will have similar architectural styles and roofing materials, multiple building planes, a component of the plans with garages that are not front-dominant, a 25-percent change in building materials and varied setbacks. Several of the existing homes in Planning Area No. 10 of the project have the same architectural styles and building materials, so therefore compliance with the neighborhood is met. In addition, the project complies with the McSweeney Farms Specific Plan (SP 01-02) requirement to provide at least a five (5) foot garage setback from the front façade of the residential building and provide building façade variations at a minimum of four (4) planes on the front and two (2) planes on the sides and rear, to prevent the massing associated with a "square design".

STAFF CONCERNS

During the analysis of the proposed project, staff identified several concerns that are not directly related to the proposed project but impact the entire Specific Plan. Staff has since discussed these concerns with Raintree Investments and determined that these issues will not delay the Site Development Review for Woodside Homes.

- Park (Planning Area 36) – The park located at the southeast corner of McSweeney Parkway and South Village Loop is complete and has been dedicated to the City. Raintree Investments, the property owner and master developer, is in the process of preparing the proper documents so that the City may accept the park. Staff has been informed that the park will likely be open for use prior to June 1, 2013.
- Equestrian Center (Planning Area 35) – The equestrian center is required to be constructed during Phase 1 of the McSweeney Farms Specific Plan and by the 295th Certificate of Occupancy. Woodside Homes is currently building out Planning Area 10 and intends to build in Planning Area 20 with this application. The completion of both Planning Area 10 and 20 will place the Certificate of Occupancy count at 281. The only remaining lots in Phase 1 are 29 lots in Planning Area 11. The future builder of those lots will only be

limited to building 14 lots until the equestrian center is constructed or the master developer amends the Specific Plan and Development Agreement. The master developer (Raintree Investments) has indicated their intent is to process an amendment to the Specific Plan to propose alternative uses for the site.

- Community Center (Planning Area 28) – The master developer, Raintree Investments, has met the requirement to construct a community center during Phase 1 of the Specific Plan, however staff is concerned that the facility remains closed. Raintree Investments has indicated that the Homeowners' Association (HOA) fees that are collected from the existing residents do not cover the cost to operate the community center at this time. The master developer has committed to doing an analysis to determine the number of occupied units needed to re-open the community center and will provide information to staff when it is available. As a compromise, the master developer will open the community center to the residents at least of four times a year for special events.
- Paseo's (Planning Area 10 & 11) – TTM 32717 requires landscaped paseos located in Planning Area 10 & 11 to be constructed once 60% of each Planning Area is complete. Planning Area 11 (Lennar Homes) has constructed more than 60% of the area, but did not construct the paseo. There are 29 remaining lots in Planning Area 11 which would require a future developer to construct the paseo prior to the issuance of any building permit. Planning Area 10 (Woodside Homes) has not completed their portion of the paseo, because it's irrigation lines tie into the paseo for the Planning Area 11. Staff will require a bond or other temporary solution for the Planning Area 10 paseo prior to the completion of this Planning Area. The master developer indicated that they may modify the Specific Plan to include the Planning Area 11 paseo as a requirement of Phase 2.

TRANSPORTATION UNIFORM MITIGATION FEE (TUMF)

At the time of building permit issuance, the proposed project is subject to payment of the required fees relative to the Western Riverside County Transportation Uniform Mitigation Fee Program (TUMF) pursuant to Chapter 58, Article III, Section 58-70.2 (f) of the Hemet Municipal Code.

MULTI-SPECIES HABITAT CONSERVATION PLAN (MSHCP)

Pursuant to Chapter 31, Section 31-16 (8) of the Hemet Municipal Code, only development proposals for which discretionary approval had been given prior to February 12, 2004, are exempt from provisions of the MSHCP Fee Ordinance. Therefore, pursuant to Hemet Municipal Code Section 31.7, this project is subject to the payment of MSHCP fees. The fees are to be paid in full at the time of issuance of a certificate of occupancy or request for final inspection, whichever occurs first.

AIRPORT LAND USE COMPATIBILITY

The project is located on the east side of State Street and south of Gibbel Road. The site is not within the Hemet Ryan Airport Influence area, and is outside the area that may be subject to Airport Land Use Commission review. Therefore, the project can be considered compatible with the Airport Land Use Plan.

CEQA REVIEW

1. CEQA. The City Council adopted an Environmental Impact Report (EIR) by Resolution No. 3779 on November 10, 2003 for Specific Plan No. 01-02 and a Notice of Determination was filed in accordance with CEQA requirements on November 12, 2003. There has been no legal challenge brought against the project or the environmental determination. Staff has reviewed the EIR previously approved for the project in light of the Applicant's submittal of Site Development Review No. 13-003. The Planning Commission has concluded that Site Development Review No. 13-003 is a subsidiary and implementing approval or permit contemplated under the larger project and that Specific Plan No. 01-02 complies with the City's Zoning Ordinance, Single-Family Design Guidelines and other applicable standards. The Planning Commission finds that Site Development Review No. 13-003 will not result in an increase in the density or intensity of the project and will not result in project changes that were not previously analyzed under the approved EIR. As such, Site Development Review No. 13-003 and any effects it may have on the environment, fall within the scope of, and were analyzed under the previously approved EIR for the project. Furthermore, based on the Planning Department staff's knowledge of the project and surrounding developments, the Planning Commission concludes that there has been no change in circumstances under which the project is being undertaken that would require additional analysis under CEQA. Finally, the Planning Commission has not been presented with any information contrary to this conclusion nor any information from which it could be fairly argued that Site Development Review No. 13-003 involves new significant effects on the environment or substantially increases the severity of a previously identified effect. Based thereon, the Planning Commission makes the following findings in accordance with CEQA Guidelines Section 15162:
 - A. Site Development Review No. 13-003 does not propose substantial changes to Specific Plan No. 01-02 that would require major revisions to the existing EIR; and,
 - B. No substantial changes have occurred in the circumstances under which Specific Plan No. 01-02 or Site Development Review No. 13-003 are being undertaken that would require major revisions to the EIR; and,

- C. No new information has been presented from which it may be fairly argued that Site Development Review No. 13-003 may involve a new significant environmental effect or a substantial increase in the severity of previously identified significant effects, or demonstrated that a mitigation measure previously found to be infeasible is now feasible.

POLICIES, REQUIREMENTS AND GUIDELINES REVIEW

The proposed project's Development Plans (Attachment No. 1 - Exhibit 1A) were reviewed by the Design Review Committee (DRC) for consistency with the City's applicable policies, requirements and guidelines.

PUBLIC COMMUNICATIONS RECEIVED

The Hemet Municipal Code does not require that Site Development Review applications to provide a public notice or advertisement in the newspaper.

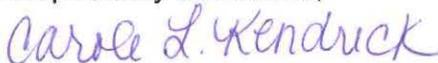
REPORT SUMMARY

Site Development Review No. 13-003 pertains to the site review of forty (40) single family residences within the McSweeney Farms Specific Plan (SP No. 01-02), and within Tract Map No. 32717-3.

An Environmental Impact Report (EIR) was adopted for the underlying project, Specific Plan No. 01-02. For the reasons stated above, the Planning Department believes that the EIR adequately addresses the current project, and thus, a Notice of Determination can be filed for Site Development Review (SDR) No. 13-003.

The design proposed by Site Development Review (SDR) No. 13-003 conforms to and is consistent with development standards provided for the Specific Plan, conditions of approval for Tract Map No. 32717, the Zoning Ordinance and the pertinent Design Guidelines. For these reasons, and as more fully discussed in the Staff Report and accompanying attachments, the Planning Department recommends approval of the project. The Planning Commission's actions are final unless appealed to the City Council within ten working days.

Respectfully submitted,



Carole L. Kendrick
Assistant Planner

Reviewed By:



Emery Papp
Principal Planner

CK

ATTACHMENTS

- 1) Planning Commission Resolution No. 13-010
 Exhibit 1A - Development Plan
 Exhibit 1B - Conditions of Approval
- 2) Adjacent Zoning Map
- 3) Aerial Map
- 4) McSweeney Farms Illustrative Site Plan
- 5) Planning Area 20 Design Standards for McSweeney Farms
- 6) Site Photographs of Product in Planning Area 10
- 7) Phasing Map for McSweeney Farms Specific Plan

INCORPORATED HEREIN BY REFERENCE

City of Hemet General Plan
City of Hemet General Plan EIR
City of Hemet Zoning Ordinance
City of Hemet Subdivision Ordinance
Contents of City of Hemet Planning Department Project File Site Development Review Nos. 06-013, 09-002 and 13-003, Tentative Tract Map No. 32717 and McSweeney Farms Specific Plan No. 01-02

**Attachment
No. 1
Resolution No. 13-
010**

**Planning Commission
Public Meeting of
May 21, 2013**



CITY OF HEMET
Hemet, California

RESOLUTION BILL NO. 13-010

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA APPROVING SITE DEVELOPMENT REVIEW NO. 13-003 FOR 40 SINGLE FAMILY HOMES WITHIN TENTATIVE TRACT MAP NO. 32717-3 LOCATED ON THE SOUTHEAST CORNER OF SOUTH VILLAGE LOOP AND STATE STREET (APN'S: 454-450-001 THRU 015; 454-451-001 THRU 015; AND 454-452-001 THRU 009)

WHEREAS, an application for Site Development Review No. 13-003 was duly filed by:

Owner/Applicant: Woodside 05S, LP
Agent: Trent Heiner
Project Location: Southeast corner of State Street and South Village Loop
Lot Area: 11.70 acres (gross)/8.01 acres (net)

WHEREAS, the Planning Commission is authorized to review and approve, conditionally approve or deny Site Development Review No. 13-003 pursuant to Condition of Approval No. 15 for Tentative Tract Map No. 32717; and

WHEREAS, the Applicant has requested approval of Site Development Review No. 13-003 for the development of 40 single family homes in compliance with the Hemet Municipal Code and the Conditions of Approval for TTM No. 32717. The Planning Commission adopted Resolution No. 05-14 approving TTM No. 32717 on April 5, 2005; and

WHEREAS, the City Council approved an Environmental Impact Report for Specific Plan No. 01-02 on November 10, 2003. The Community Development Director has evaluated the project to determine if any new environmental impacts would be created as a result of the proposed project in compliance with the California Environmental Quality Act (CEQA) guidelines and has determined that no additional environmental analysis is needed; and

Planning Commission Resolution Bill No. 13-010
SITE DEVELOPMENT REVIEW NO. 13-003 – WOODSIDE HOMES

1 **WHEREAS**, on May 16, 2013, the City gave public notice by posting notice in
2 three locations of the holding of a public meeting at which the project would be
3 considered; and
4

5 **WHEREAS**, the Planning Commission of the City of Hemet has considered oral
6 and written comments, pro and con, as presented by the Planning Department, the
7 applicant and other interested parties at a public meeting held on May 21, 2013.
8

9 **NOW, THEREFORE**, the Planning Commission of the City of Hemet now finds,
10 determines and resolves as follows:
11

12 **SECTION 1: SITE DESIGN REVIEW PROJECT FINDINGS**
13

14 In light of the record before it, including the staff report dated May 21, 2013, and all
15 evidence and testimony heard at the public meeting of this item, the Planning
16 Commission hereby finds as follows:
17

18 A. Condition of Approval No. 15 for TTM No. 32717 requires that the Site
19 Development Review satisfy each of the findings under Hemet Municipal Code
20 Section 90-1455. The Planning Commission hereby finds and determines that
21 each of these requirements is satisfied as follows:
22

- 23 1. The project complies with all provisions of Article XLI (Site Development
24 Plan Review) of the Hemet Zoning Code – Chapter 90 of the Hemet
25 Municipal Code and all other relevant city regulations, polices and
26 guidelines.
27

28 The proposed residential development is consistent with Article XLI in that
29 the application is being reviewed and approved by the Hemet Planning
30 Commission as required by this section and the Conditions of Approval for
31 Tentative Tract Map No. 32717 and Site Development Review No. 13-003.
32 Further, the proposed residential development is in conformance with the
33 development standards of Specific Plan No. 01-02 relative to setbacks,
34 building height, walls and landscaping. The minimum setback for
35 Planning Area 10 of the McSweeney Farms Specific Plan is 20 feet for the
36 front and rear and five (5) feet on the sides, with ten (10) feet at all street
37 corners. All minimum setbacks have been met as illustrated in the
38 Planning Commission staff report for Site Development Review No. 13-
39 003 dated May 21, 2013. The applicant is also in compliance with the
40 Single Family Residential Design Guidelines as described in the Project
41 Analysis of the same staff report.
42
43

1 2. The following are so arranged that traffic congestion is avoided and
2 pedestrian and vehicular safety and welfare are protected, so that there
3 will be no adverse effect on surrounding property:
4

5 a. Buildings, structures and improvements.
6

7 The proposed residential development complies with all of the
8 required setbacks and development standards of Specific Plan No.
9 01-02 so that there will be no adverse effect on surrounding
10 property or traffic congestion because the homes are placed in
11 compliance with the Hemet Municipal Code – Section 90-315 and
12 Specific Plan No. 01-02. All other improvements are required to
13 conform to City standards.
14

15 b. Vehicular ingress and internal circulation.
16

17 The proposed street system design is consistent with all City
18 standards and the approved TTM No. 32717. Main vehicular
19 access to the subdivision is provided via South Village Loop for the
20 project. All other homes will take access from an internal street
21 system. These access points will help maintain efficient traffic flow
22 in and out of the residential neighborhood. The new streets are
23 designed to meet City standards as provided in Condition of
24 Approval Nos. 54 and 70 through 84 of TTM No. 32717. Therefore,
25 there will be no adverse impact on surrounding property.
26

27 c. Setbacks.
28

29 All required setbacks of Specific Plan No. 01-02 and the Uniform
30 Building Code have been complied with as explained in the
31 Planning Commission staff report for Site Development Review No.
32 13-003 dated May 21, 2013.
33

34 d. Height of buildings.
35

36 The maximum building height in Specific Plan No. 01-02 is
37 restricted to 35 feet. The proposed dwelling units do not exceed
38 the maximum height requirements as all proposed homes are
39 approximately 25 feet tall or less, so there will be no adverse
40 impact on surrounding property.
41
42

1 e. Service areas.

2
3 The City requirements for trash service areas applicable to this
4 project are the standard residential curb-side pick up and therefore,
5 there will be no adverse impact on surrounding property.
6

7 f. Walls.

8
9 The applicant is proposing to use wooden fences on the interior
10 side-yards and the front yard, with decorative split-face block on all
11 street side-yards throughout the project in compliance with the
12 approved conditions and Specific Plan No. 01-02 standards.
13

14 g. Landscaping.

15
16 The landscaping requirements for this project include front yard
17 landscaping and slopes. All paseos, street trees and other off-site
18 landscaping is required under Site Development Review No. 13-
19 003. Landscaping will be provided for each home in compliance
20 with the Conditions of Approval for TTM No. 32717 and Specific
21 Plan No. 01-02 in that all front yards will have a variety of trees,
22 shrubs and sod, and all slopes will be hydroseeded for erosion
23 control.
24

25 3. Underground utilities.

26
27 All utilities will be underground in compliance with City standards and the
28 Conditions of Approval for TTM No. 32717.
29

30 4. Proposed lighting is located as to reflect the light away from adjoining
31 properties.

32
33 Since this is a residential development, street lights are provided per City
34 standards which will not be directed to reflect on the homes of adjoining
35 properties.
36

37 5. Proposed signs will not, by size, location, color or lighting, interfere with
38 traffic or limit visibility.

39
40 Entry monumentation signage has been constructed at the intersection of
41 State Street and the South Village Loop per Specific Plan No. 01-02,
42 There is no entry monumentation under review for this project due to the
43 fact that the entry monumentation has already been constructed at the
44 northwest corner of Planning Area 10.
45

1 6. All applicable public easements and rights-of-way have been dedicated or
2 offered for dedication.
3

4 All applicable public easements and rights-of-way have been dedicated
5 with the final map, as reviewed and approved by the City Council and in
6 compliance with City Standards.
7

8 B. Condition of Approval No. 15 requires the Site Development Review to comply
9 with the City of Hemet Residential Design Guidelines and to be architecturally
10 compatible with adjacent residences. The Planning Commission hereby finds
11 and determines that Site Development Review No. 13-003 satisfies this
12 Condition of Approval as follows:
13

14 1. The overall intent of the design guidelines is to encourage: quality
15 residential development that utilizes innovative design concepts which
16 foster conservation, diversity and community life; homes which have clear
17 identifiable entries that will enhance the street scene; homes that will be
18 built in proportion to the lot sizes; visual diversity with a variety of
19 architectural elements; living areas being designed toward the street
20 rather than garages; open space for recreational activity; and pedestrian
21 friendly designs to common destinations (Single-Family Residential
22 Design Guidelines Page 1). Upon review of the site development plans,
23 the proposed architecture and home plans are consistent with the intent of
24 the design guidelines. As illustrated in the Planning Commission staff
25 report dated May 21, 2013, this project meets the intent of the design
26 guidelines.
27

28 2. The proposed single-family architecture is in compliance with the design
29 guidelines outlined in Specific Plan No. 01-02 and with the Single-Family
30 Residential Design Guidelines. Each home proposed with the project will
31 have similar architecture styles and roofing materials, multiple building
32 planes, garages that are not front-dominant, a 25-percent change in
33 building materials and varied setbacks. Since the homes to the north of
34 this project will have similar architectural styles, compliance with the
35 neighborhood is met. In addition, the project complies with the McSweeney
36 Farms Specific Plan (SP 01-02) requirement to provide at least a five (5)
37 foot garage setback from the front façade of the residential building and
38 provide building façade variations at a minimum of four (4) planes on the
39 front and two (2) planes on the sides and rear.
40
41

1 C. Condition of Approval Nos. 21 and 24 impose additional site specific conditions
2 on the Project with which the Site Development Review must comply. The
3 Planning Commission hereby finds and determines that Site Development
4 Review No. 13-003 satisfies the other site specific Conditions of Approval of TTM
5 No. 32717 as follows:
6

- 7 1. The project is conditioned that all interior streets shall have parkways
8 adjacent to the curb. Street trees shall be planted at a minimum of one (1)
9 tree for every 40-feet of street frontage. The applicant is providing
10 parkway sidewalks and street trees in accordance with City standards and
11 this condition.
12

13 **SECTION 2: ENVIRONMENTAL REVIEW**

14 The Planning Commission, in light of the whole record before it, including but not limited
15 to, the City's local CEQA Guidelines and thresholds of Significance, the
16 recommendation of the Community Development Director as provided in the Staff
17 Report dated May 21, 2013, all documents incorporated therein by reference, and any
18 other evidence (within the meaning of Public Resources Code §21080(e) and
19 §21082.2) within the record or provided at the public hearing of this matter, hereby finds
20 and determines as follows:
21
22
23

- 24 1. **CEQA.** The City Council adopted an Environmental Impact Report (EIR) by
25 Resolution No. 3779 on November 10, 2003 for Specific Plan No. 01-02 and a
26 Notice of Determination was filed in accordance with CEQA requirements on
27 November 12, 2003. There has been no legal challenge brought against the
28 project or the environmental determination. Staff has reviewed the EIR previously
29 approved for the project in light of the applicant's submittal of Site Development
30 Review No. 13-003. The Planning Commission has concluded that Site
31 Development Review No. 13-003 is a subsidiary and implementing approval or
32 permit contemplated under the larger project and that Specific Plan No. 01-02
33 complies with the City's Zoning Ordinance, Single-Family Design Guidelines, and
34 other applicable standards. The Planning Commission finds that Site
35 Development Review No. 13-003 will not result in an increase in the density or
36 intensity of the project and will not result in project changes that were not
37 previously analyzed under the approved EIR. As such, Site Development
38 Review No. 13-003 and any effects it may have on the environment, fall within
39 the scope of, and were analyzed under the previously approved EIR for the
40 project. Furthermore, based on the Planning Department staff's knowledge of
41 the project and surrounding developments, the Planning Commission concludes
42 that there has been no change in circumstances under which the project is being
43 undertaken that would require additional analysis under CEQA. Finally, the
44 Planning Commission has not been presented with any information contrary to
45 this conclusion nor any information from which it could be fairly argued that Site

1 Development Review No. 13-003 involves new significant effects on the
2 environment or substantially increases the severity of a previously identified
3 effect. Based thereon, the Planning Commission makes the following findings in
4 accordance with CEQA Guidelines Section 15162:
5

6 A. Site Development Review No. 13-003 does not propose substantial
7 changes to Specific Plan No. 01-02 that would require major revisions to
8 the existing EIR.
9

10 B. No substantial changes have occurred in the circumstances under which
11 Specific Plan No. 01-02 or Site Development Review No. 13-003 is being
12 undertaken that would require major revisions to the EIR.
13

14 C. No new information has been presented from which it may be fairly argued
15 that Site Development Review No. 13-003 may involve a new significant
16 environmental effect, or a substantial increase in the severity of previously
17 identified significant effects, or demonstrated that a mitigation measure
18 previously found to be infeasible is now feasible.
19
20

21 3. **MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP).** The
22 project is found to be consistent with the MSHCP. The project is located outside
23 of any MSHCP criteria area and mitigation is provided through payment of the
24 MSHCP Mitigation Fee.
25

26 **SECTION 3: PLANNING COMMISSION ACTIONS**

27

28 1. **NOTICE OF DETERMINATION.** In compliance with Public Resources Code
29 §21152 and CEQA Guidelines §15075, the Community Development Director
30 shall prepare a Notice of Determination concerning the findings made in Section
31 2 of this Resolution, and within five (5) working days of project approval, file a
32 Notice with the Riverside County Clerk for posting.
33

34 2. **APPROVE SITE DEVELOPMENT REVIEW NO. 13-003.** Site Development
35 Review No. 13-003, for the review of the site development and architecture for 40
36 single-family homes, is hereby approved as described in the site development
37 package attached hereto as Exhibit "A" and subject to the conditions of approval
38 set forth in Exhibit "B", attached hereto and incorporated herein by this reference.
39 Any modification to the conditions of approval shall be in compliance with the City
40 of Hemet Zoning Ordinance, and other applicable state and local ordinances.
41

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21

PASSED, APPROVED AND ADOPTED this 21st day of May, 2013, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

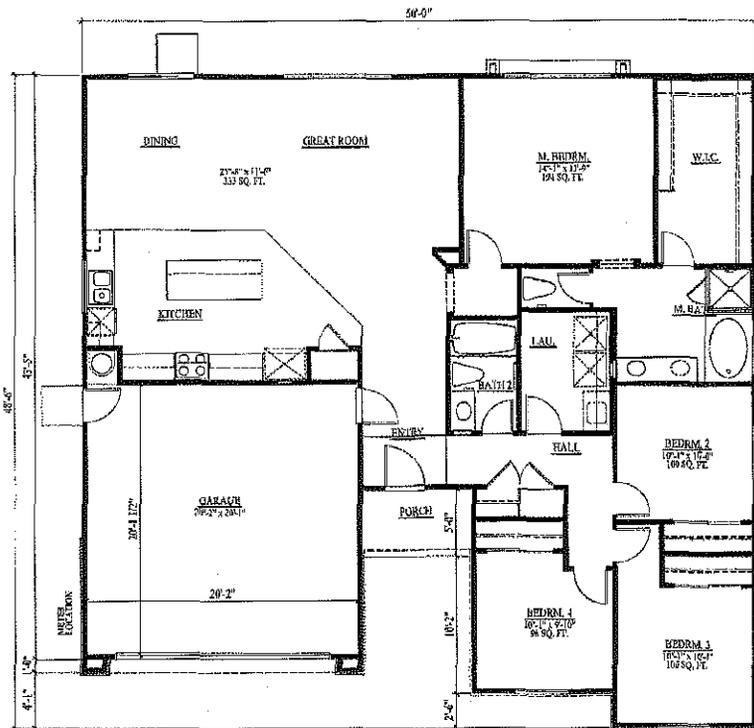
John Gifford, Chairman
Hemet Planning Commission

ATTEST:

Nancie Shaw, Records Secretary
Hemet Planning Commission

**Exhibit
No. 1A
Development Plan**

**Planning Commission
Public Meeting of
May 21, 2013**



PLAN 1 FLOOR PLAN

AREA TABULATION

CONDITIONED SPACE	
FLOOR PLAN TOTAL	1721 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	428 SQ. FT.
PORCH	49 SQ. FT.

Kevin L. Crook Architect, Inc.

1360 Reynolds Ave., #110 Irvine, CA 92614
 Phone: (949) 850-1587 Fax: (949) 655-1289
 www.klca.com

"Glenwood at McSweeny Farms"

Hemet, CA

Woodside Homes

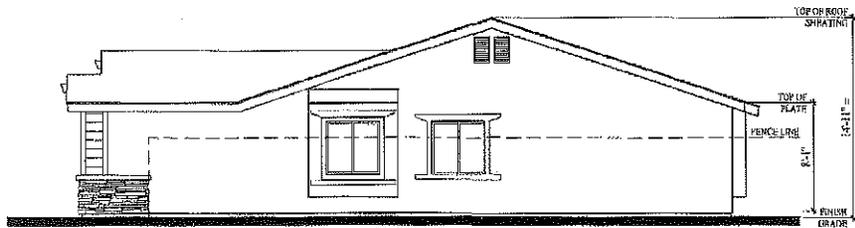
11870 Pierce Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1500

Job #: 05045
 October 16, 2009
 July 20, 2008

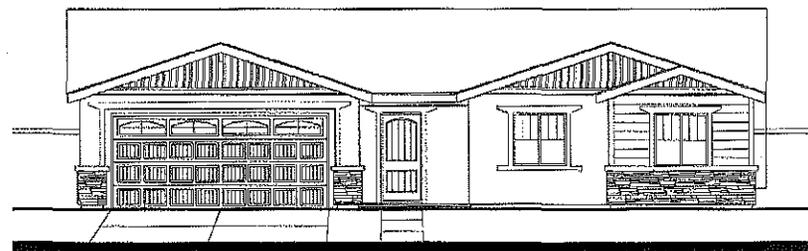
PLAN 1 - FLOOR PLAN

D1.1



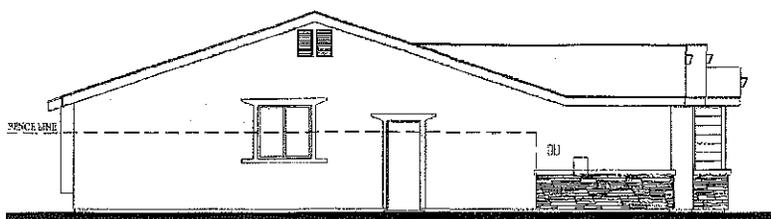


RIGHT ELEVATION

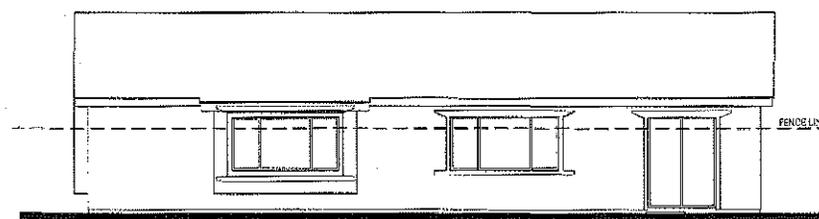


FRONT ELEVATION

CRAFTSMAN
TRUSS ROOFING
 ROOF: FLAT SHAKE CONCRETE TILE
 WALLS: STUCCO
 CEMENT-FIBER SIDING & TRIM
 FASCIA: WOOD
 TRIM: STUCCO OVER FOAM
 ACCENT: STONE VENEER
 BATTEN BOARD SIDING AT GABLES
 WOOD OUTLOOKERS



LEFT ELEVATION



REAR ELEVATION

PLAN 1A CRAFTSMAN

Kevin L. Crook Architect, Inc.

1380 Reynolds Ave., #110 Johns, Ga. 32014
 Phone: (949) 866-1557 Fax: (949) 866-1559
 www.klca.com

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Job #: D8048
 October 18, 2009
 July 20, 2009

"Glenwood at McSweeny Farms"

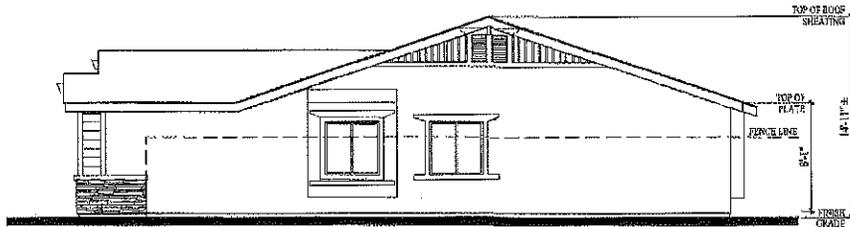
Hemet, CA

Woodside Homes

11870 Pierce Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1900

PLAN 1A CRAFTSMAN - ELEVATIONS





ENHANCED RIGHT ELEVATION
LOT 29 ONLY

PLAN 1A CRAFTSMAN

Kevin L. Crook Architect, Inc.

1380 Reynolds Ave., #110 Irvine, Ca. 92614
Phone: (949) 660-1887 Fax: (949) 660-1888
www.klca.com

We warrant that the drawings were prepared by a professional architect licensed in the State of California. We do not warrant that the drawings were prepared in accordance with the requirements of the State of California. We do not warrant that the drawings were prepared in accordance with the requirements of any other jurisdiction. We do not warrant that the drawings were prepared in accordance with the requirements of any other jurisdiction.

Job #: 08048
October 16, 2008
July 20, 2009

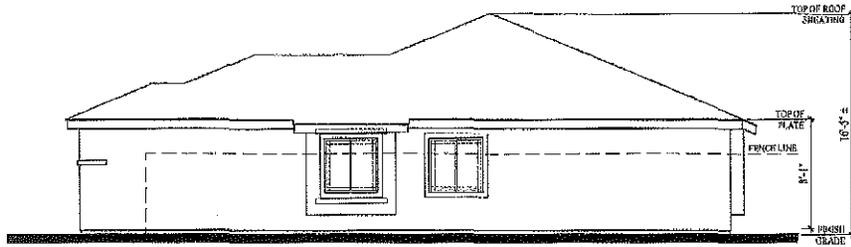
"Glenwood at McSweeny Farms"
Hemet, CA

Woodside Homes
11870 Pierce Street, Suite 100
Riverside, CA 92505
Phone: 951-710-1900

PLAN 1A CRAFTSMAN - ELEVATIONS

D1.3



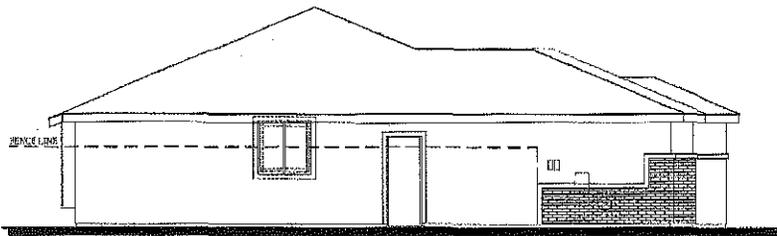


RIGHT ELEVATION

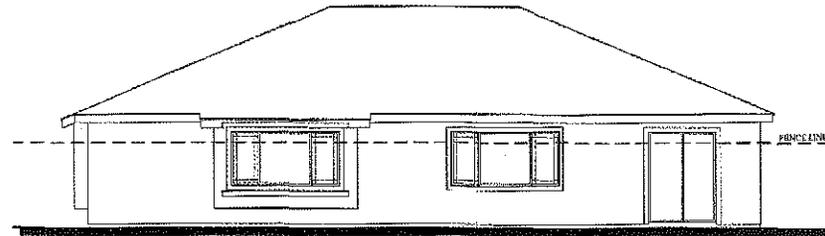


FRONT ELEVATION

PRAIRIE
DESIGNED BY KEVIN L. CROOK
 ROOF: FLAT CONCRETE TILE
 WALL: STUCCO
 FASCIA: WOOD
 TRIM: STUCCO OVER FOAM
 ACCENT: BRICK VENEER



LEFT ELEVATION



REAR ELEVATION

PLAN 1B PRAIRIE

Kevin L. Crook Architect, Inc.

1280 Reynolds Ave., #110 Irvine, Ca. 92614
 Phone: (949) 660-1507 Fax: (949) 660-1588
 www.klca.com

Architect's seal and stamp are required for all drawings. This drawing is not to be used for construction without the approval of the architect. The architect is not responsible for any errors or omissions in this drawing.

Job #: 09048
 October 15, 2009
 July 20, 2009

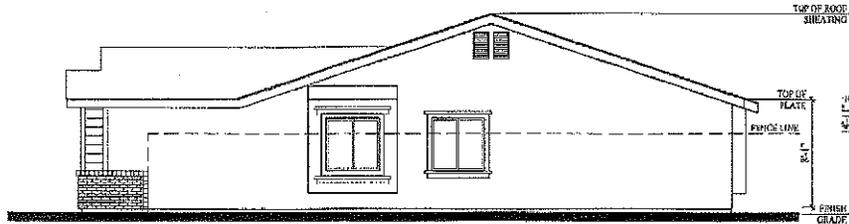
"Glenwood at McSweeny Farms"
 Hemet, CA

Woodside Homes
 11870 Pierce Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1900

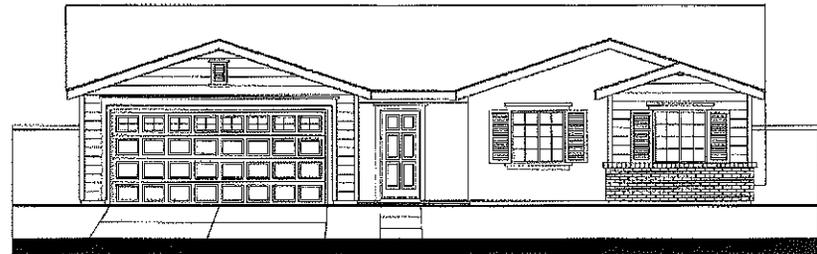
PLAN 1B PRAIRIE - ELEVATIONS

D1.4





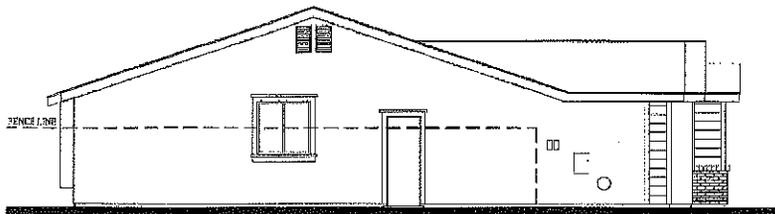
RIGHT ELEVATION



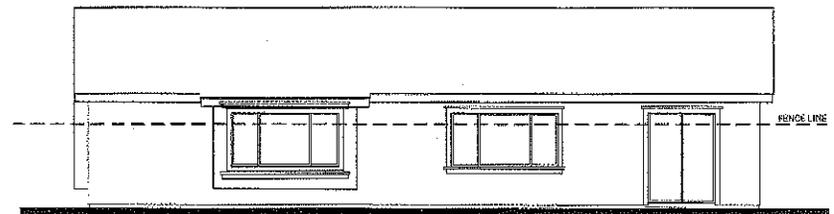
FRONT ELEVATION

FARMHOUSE

ROOF: FLAT CONCRETE TILE
 WALLS: STUCCO
 FASCIA: WOOD
 TRIM: STUCCO OVER FOAM
 ACCENT: BRICK VENER



LEFT ELEVATION



REAR ELEVATION

PLAN 1C FARMHOUSE

Kevin L. Crook Architect, Inc.

1260 Reynolds Ave., #110 Irvine, Ca. 92614
 Phone: (949) 260-1557 Fax: (949) 260-1589
 www.klca.com

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Job #: 08046
 October 16, 2009
 July 20, 2009

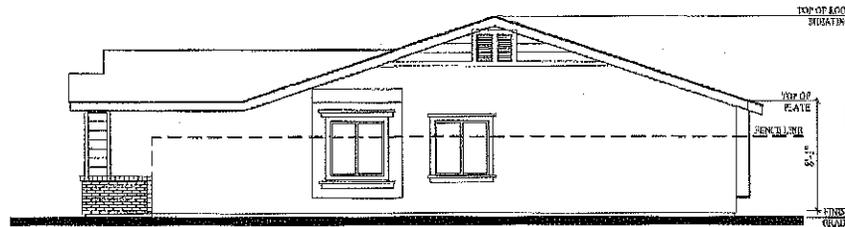
"Glenwood at McSweeny Farms"
 Hemet, CA

Woodside Homes
 11870 Plover Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1500

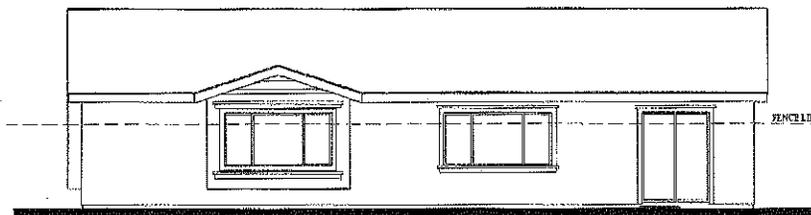
PLAN 1C FARMHOUSE - ELEVATIONS

D1.5

0 2 4 6 8 12



ENHANCED RIGHT ELEVATION
LOT 92 ONLY



REAR ELEVATION
LOTS 48, 63, 67 ONLY

PLAN IC FARMHOUSE

Kevin L. Crook Architect, Inc.

1300 Reynolds Ave., #110 Irvine, Ca. 92614
Phone: (949) 600-1587 Fax: (949) 600-1089
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Arch. Plan shall be used only for construction of the project shown. Any other use of the drawings shall be made at the user's own risk. The user shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations.

Job #: 08048
October, 15, 2009
July 20, 2009

"Glenwood at McSweeny Farms"

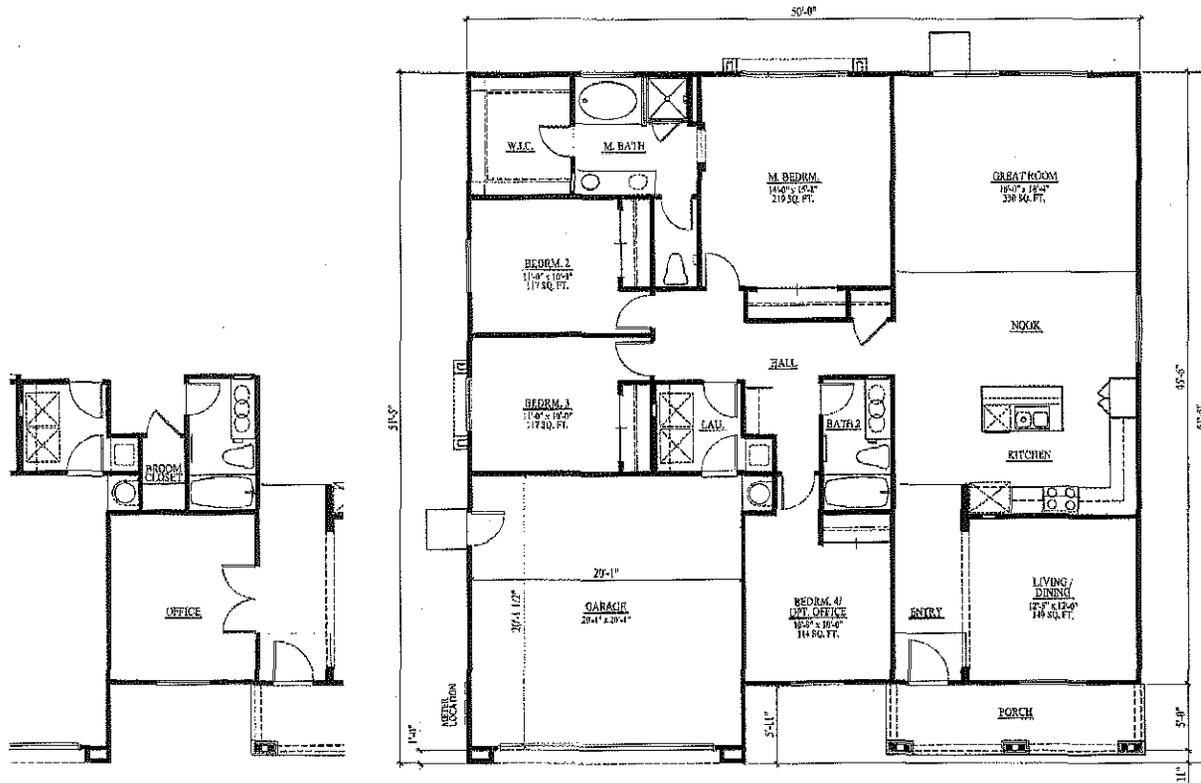
Hemet, CA

Woodside Homes

11870 Pierce Street, Suite 100
Riverside, CA 92505
Phone: 951-710-1500

PLAN IC FARMHOUSE - ELEVATIONS





OPT. OFFICE / BROOM CLOSET

AREA TABULATION

CONDITIONED SPACE	
FLOOR PLAN TOTAL	1953 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	492 SQ. FT.
PORCH "A" & "C"	151 SQ. FT.
PORCH "B"	45 SQ. FT.

PLAN 2 FLOOR PLAN

Kevin L. Crook Architect, Inc.

1080 Reynolds Ave., #110 Irvine, Ca. 92614
 Phone: (949) 860-1587 Fax: (949) 860-1589
 www.klca.com

Job #: 08018
 October 16, 2009
 July 20, 2008

"Glenwood at McSweeny Farms"

Hemet, CA

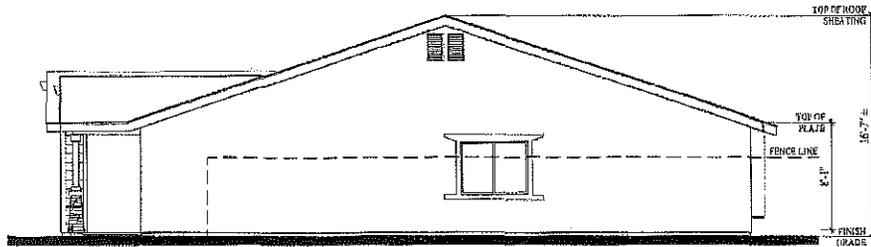
Woodside Homes

11876 Pierce Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1900

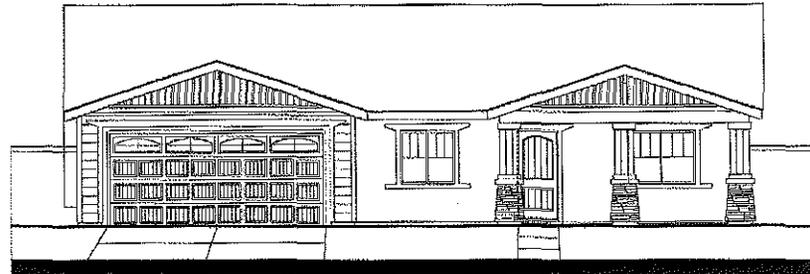
PLAN 2 - FLOOR PLAN
 PAGE 02 OF 18

D2.1





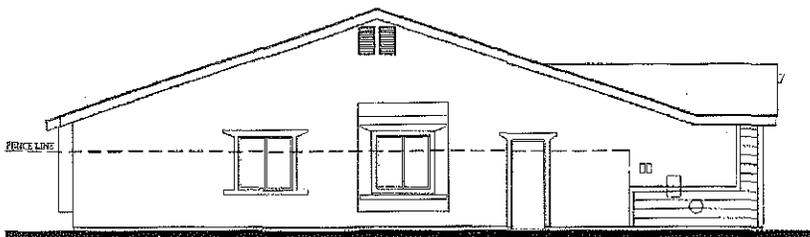
RIGHT ELEVATION



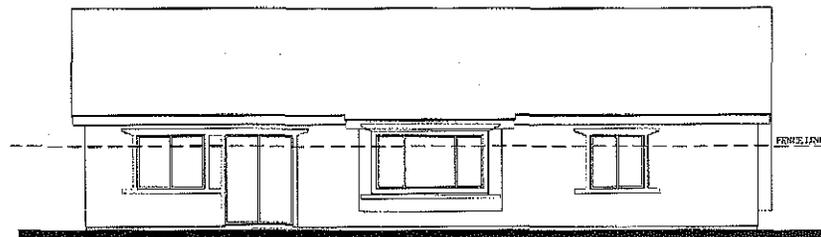
FRONT ELEVATION

CRAFTSMAN

- FINISH ELEMENTS
- ROOF: FLAT SHAKE CONCRETE TILE
 - WALLS: STUCCO
 - PASCIA: CEMENT-FIBER SIDING & TRIM
 - TRIM: WOOD
 - ACCENT: STUCCO OVER FOAM
 - WOOD OUTLOOKERS



LEFT ELEVATION



REAR ELEVATION

PLAN 2A CRAFTSMAN

Kevin L. Crook Architect, Inc.

1360 Reynolds Ave., #110 Irvine, Ca. 92614
Phone: (949) 566-1507 Fax: (949) 860-1188
www.klcaarch.com

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Job #: DB048
October 18, 2008
July 26, 2009

"Glenwood at McSweeny Farms"

Hemet, CA

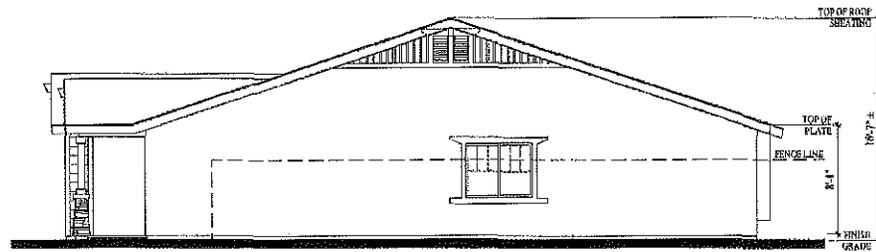
Woodside Homes

11870 Pierce Street, Suite 100
Riverside, CA 92505
Phone: 951-710-1902

PLAN 2A CRAFTSMAN - ELEVATIONS

D2.2





ENHANCED RIGHT ELEVATION
LOT 85 ONLY

PLAN 2A CRAFTSMAN

Kevin L. Crook Architect, Inc.
1350 Reynolds Ave., #110 Irvine, Ca. 92614
Phone: (949) 660-1557 Fax: (949) 660-1558
www.klca.com

"Glenwood at McSweeny Farms"
Hemet, CA

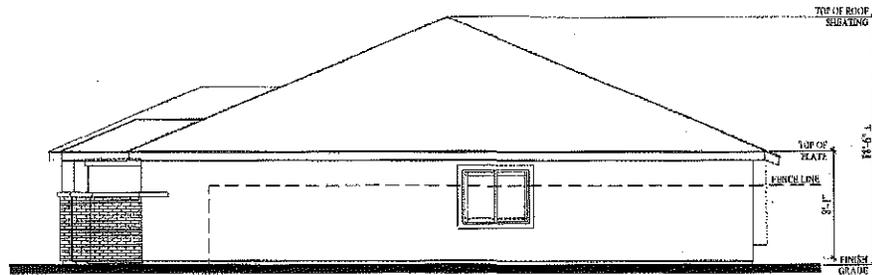
Woodside Homes
11070 Pierce Street, Suite 100
Riverside, CA 92505
Phone: 951-716-1800

PLAN 2A CRAFTSMAN - ELEVATIONS

D2.3

Job #: 08048
October 15, 2009
July 20, 2009

0 2 4 8 12

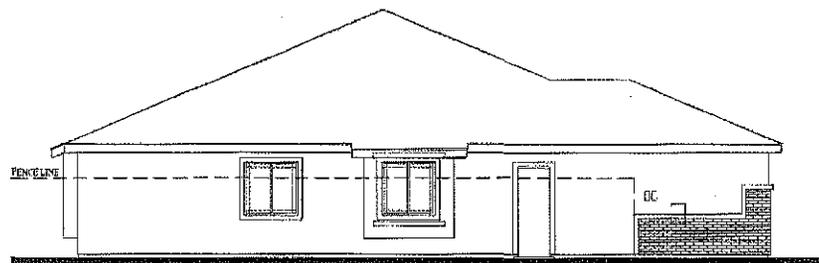


RIGHT ELEVATION

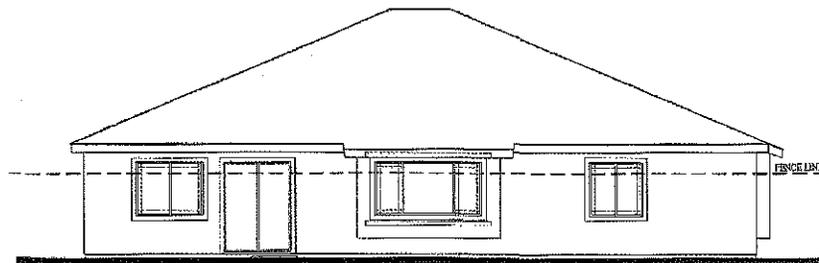


FRONT ELEVATION

PRAIRIE
 (BROWN EXTERIOR)
 ROOF: FLAT CONCRETE TILE
 WALL: STUCCO
 FASCIA: WOOD
 TRIM: STUCCO OVER FOAM
 ACCENT: BRICK VENEER



LEFT ELEVATION



REAR ELEVATION

PLAN 2B PRAIRIE

Kevin L. Crook Architect, Inc.

1310 Reynolds Ave., #110 Irvine, CA 92614
 Phone: (949) 950-1247 Fax: (949) 950-1289
 www.klcaarch.com

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Job #: 08049
 October 18, 2008
 July 20, 2009

"Glenwood at McSweeny Farms"

Hemet, CA

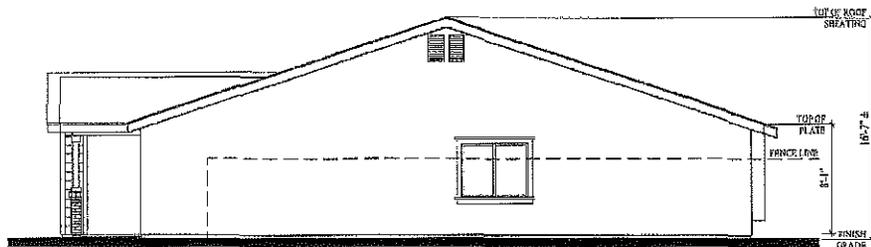
Woodside Homes

11870 Pierce Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1500

PLAN 2B PRAIRIE - ELEVATIONS

D2.4

0 2 4 8 12



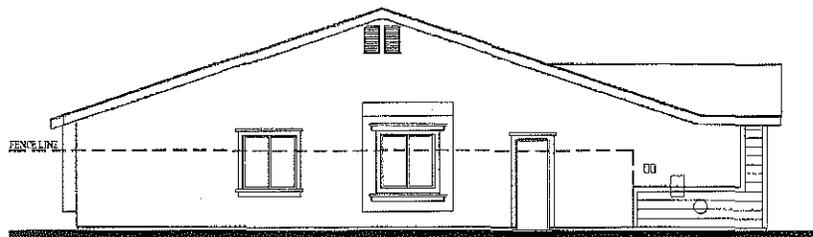
RIGHT ELEVATION



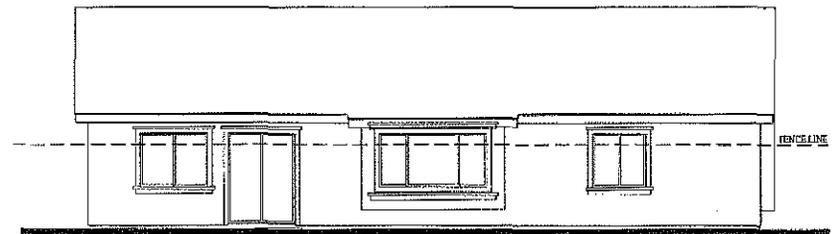
FRONT ELEVATION

FARMHOUSE

- ROOF: FLAT CONCRETE TILE
- WALLS: STUCCO
- FASCIA: CEMENT-FIBER SIDING & TRIM
- TRIM: WOOD
- ACCENT: STUCCO OVER FOAM
- BRICK VENEER



LEFT ELEVATION



REAR ELEVATION

PLAN 2C FARMHOUSE

Kevin L. Crook Architect, Inc.

1380 Reynolds Ave., #110 Irvine, CA 92614
 Phone: (949) 680-1687 Fax: (949) 680-1588
 www.klca.com

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Job #: 09048
 October 16, 2009
 July 20, 2009

"Glenwood at McSweeny Farms"

Hemet, CA

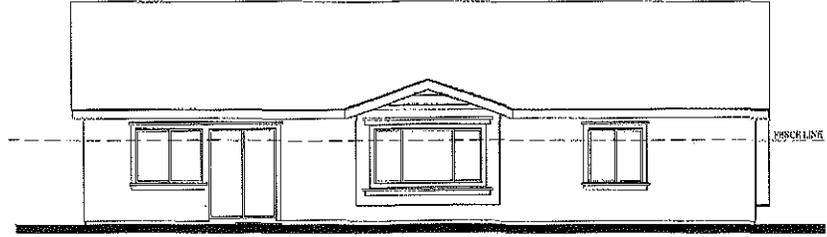
Woodside Homes

11570 Placer Street, Suite 100
 Livermore, CA 94550
 Phone: 925-710-1900

PLAN 2C FARMHOUSE - ELEVATIONS

D2.5

0 2 4 8 12



ENHANCED REAR ELEVATION
LOT 60 ONLY

PLAN 2C FARMHOUSE

Kevin L. Crook Architect, Inc.

1280 Reynolds Ave., #119 Irvine, CA 92614
Phone: (949) 860-1507 Fax: (949) 860-1008
www.klca.com

Job #: 0804R
October 18, 2008
July 20, 2009

"Glenwood at McSweeny Farms"

Hemet, CA

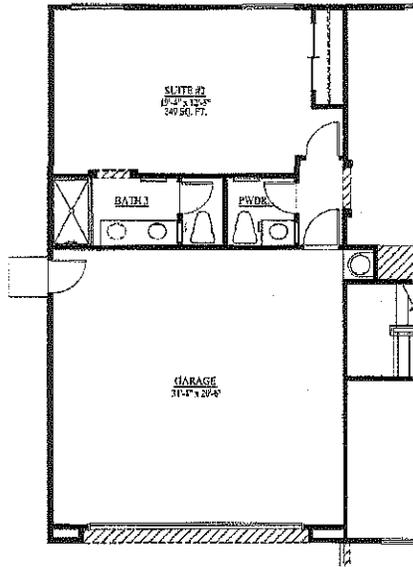
Woodside Homes

11070 Pierce Street, Suite 100
Riverside, CA 92505
Phone: 951-710-1900

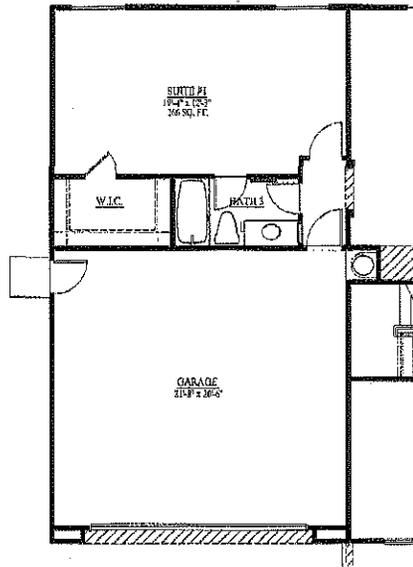
PLAN 1C FARMHOUSE - ELEVATIONS

D2.6

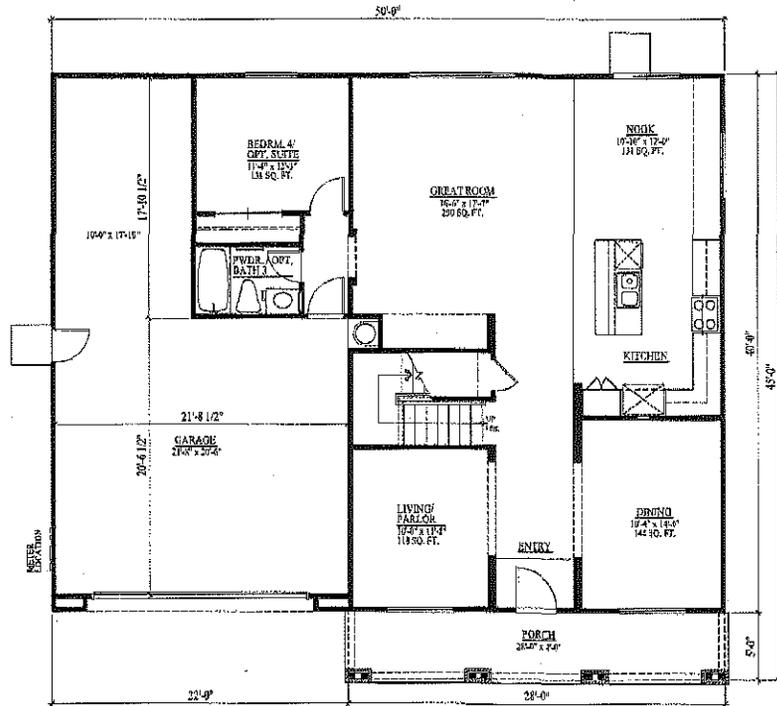
0 2 4 8 12



OPTIONAL SUITE #2



OPTIONAL SUITE #1



PLAN 3 FIRST FLOOR PLAN

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1326 SQ. FT.
SECOND FLOOR AREA	1050 SQ. FT.
TOTAL DWELLING	2376 SQ. FT.
OPTIONAL SUITE	+136 SQ. FT.
TOTAL DWELLING	2512 SQ. FT.
UNCONDITIONED SPACE	
PORCH "A" & "D"	151 SQ. FT.
PORCH "B"	49 SQ. FT.
GARAGE	652 SQ. FT.

Kevin L. Crook Architect, Inc.

1560 Reynolds Ave., #110 Irvine, Ca. 92614
 Phone: (949) 450-1387 Fax: (949) 450-1389
 www.klcaorch.com

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Job #: 08048
 October 18, 2008
 July 20, 2009

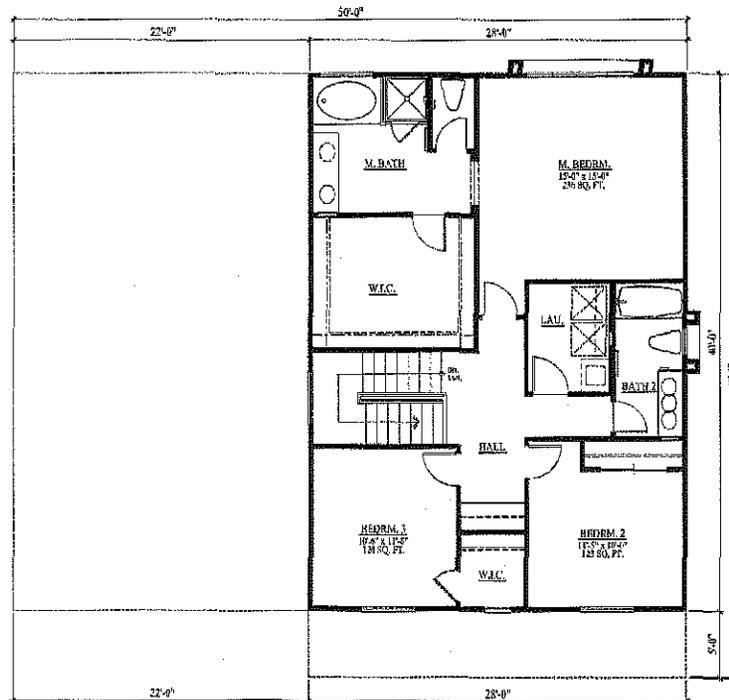
"Glenwood at McSweeny Farms"
 Hemet, CA

Woodside Homes
 11970 Pierce Street, Suite 100
 Liverdale, CA 92205
 Phone: 951-710-1800

PLAN 3 - FIRST FLOOR PLAN

D3.1





PLAN 3 SECOND FLOOR PLAN

Kevin L. Crook Architect, Inc.

1380 Reynolds Ave., #110 Irvine, Ca. 92614
 Phone: (949) 890-1287 Fax: (949) 890-1089
 www.klca.com

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Job #: 08048
 October 18, 2008
 July 20, 2009

"Glenwood at McSweeny Farms"
 Hemet, CA

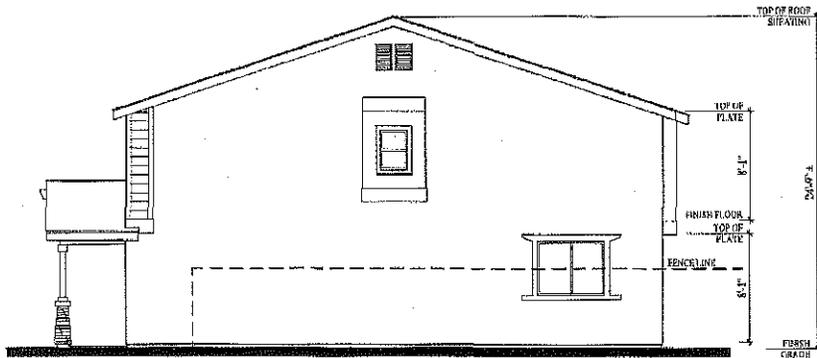
Woodside Homes

11870 Pierce Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1900

PLAN 3 - SECOND FLOOR PLAN

D3.2





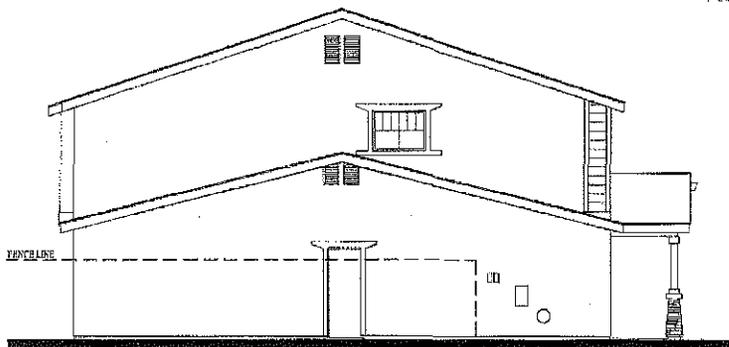
RIGHT ELEVATION



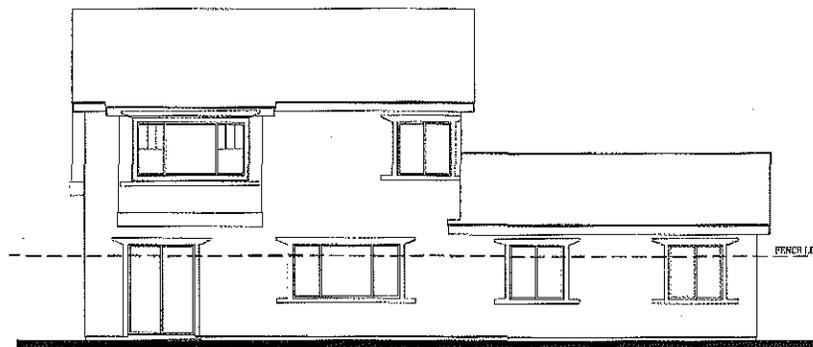
FRONT ELEVATION

CRAFTSMAN
DESIGN ELEVATIONS

- ROOF: PLAT SHAKH CONCRETE TILE
- WALLS: STUCCO
- FASCIA: CEMENT-FIBER SIDING & TRIM
- TRIM: WOOD
- ACCENT: STUCCO OVER FOAM
- WOOD OUTLOOKERS



LEFT ELEVATION



REAR ELEVATION

PLAN 3A CRAFTSMAN

Kevin L. Crook Architect, Inc.

1360 Reynolds Ave., #110 Inver, Ca. 92614
Phone: (949) 850-1887 Fax: (949) 850-1889
www.klca.com

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Job #: 08018
October 18, 2009
July 20, 2009

"Glenwood at McSweeney Farms"

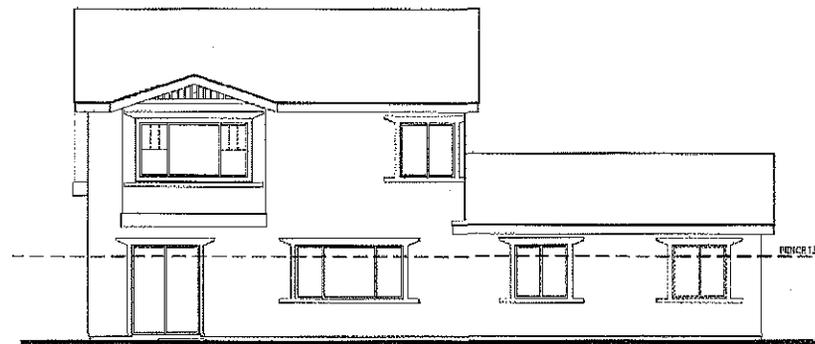
Hemet, CA

Woodside Homes

11070 Pierce Street, Suite 100
Riverside, CA 92505
Phone: 951-710-1900

PLAN 3A CRAFTSMAN - ELEVATIONS





ENHANCED REAR ELEVATION
LOT 66 ONLY

PLAN 3A CRAFTSMAN

Kevin L. Crook Architect, Inc.

1380 Reynolds Ave., #110 Inver, Ca. 92614
Phone: (649) 850-1927 Fax: (415) 850-1928
www.klca.com

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Job #: 08048
October 16, 2009
July 20, 2009

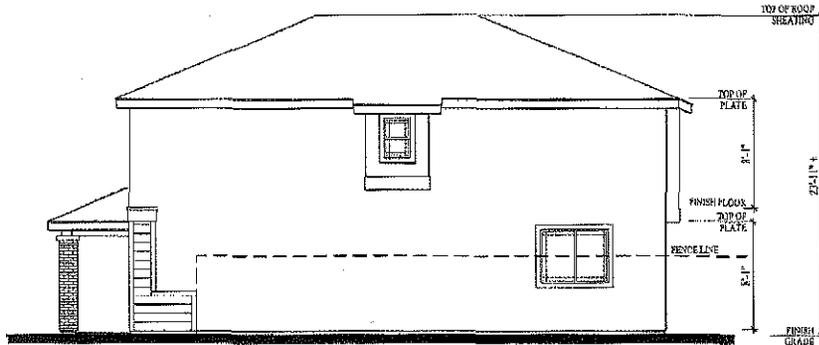
"Glenwood at McSweeny Farms"
Hemet, CA

Woodside Homes
11870 Placer Street, Suite 100
Riverside, CA 92506
Phone: 951-710-1900

PLAN 3A CRAFTSMAN - ELEVATIONS

D3.4

0 2 4 8 12

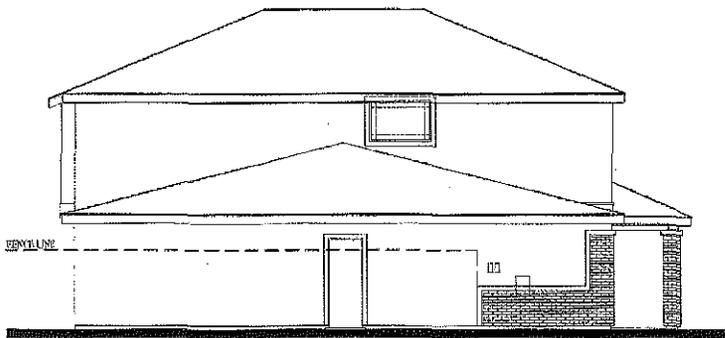


RIGHT ELEVATION



FRONT ELEVATION

PRAIRIE
DESIGN DEVELOPMENT
 ROOF: FLAT CONCRETE TILE
 WALLS: STUCCO
 FASCIA: CEMENT-FIBER SIDING & TRIM
 TRIM: WOOD
 ACCENT: STUCCO OVER FOAM
 BRICK VENEER



LEFT ELEVATION



REAR ELEVATION

PLAN 3B PRAIRIE

Kevin L. Crook Architect, Inc.

1360 Reynolds Ave., #110 Irvine, Ca. 92614
 Phone: (949) 590-1687 Fax: (949) 590-1689
 www.klca.com

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Job #: 08016
 October 9, 2008
 July 20, 2009

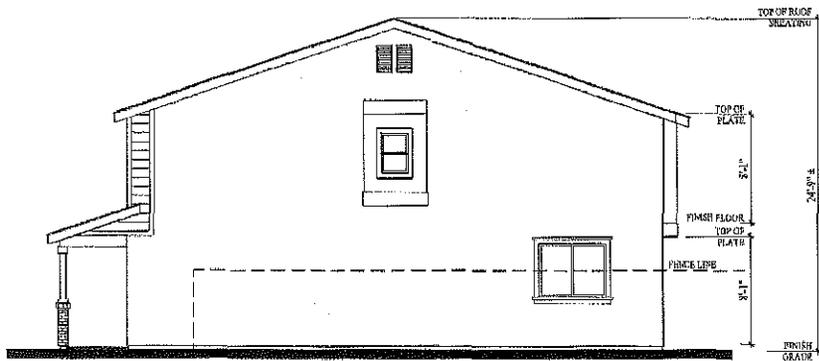
"Glenwood at McSweeny Farms"
 Hemet, CA

Woodside Homes
 11670 Pierce Street, Suite 100
 Riverside, CA 92503
 Phone: 951-710-1900

PLAN 3B PRAIRIE - ELEVATIONS

D3.5

0 2 4 8 12

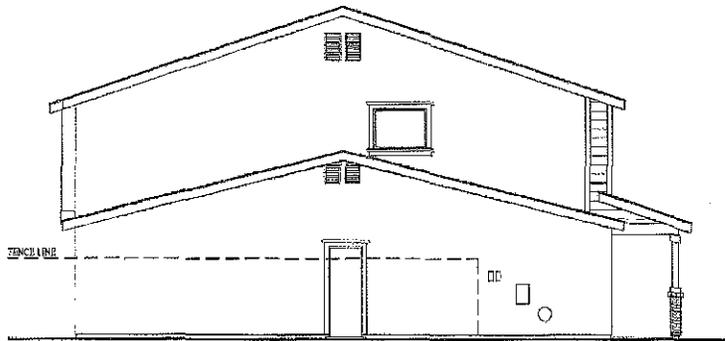


RIGHT ELEVATION

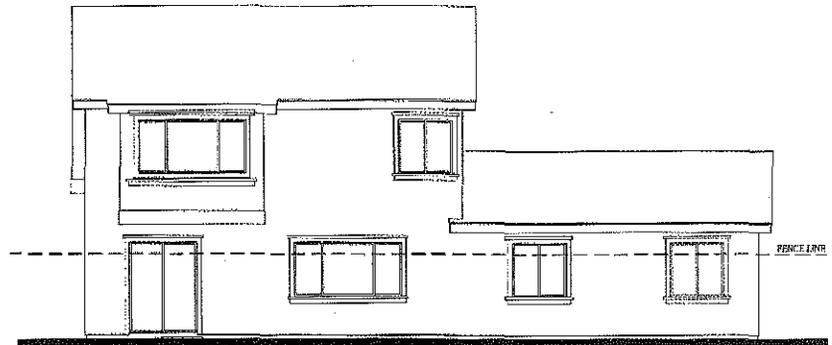


FRONT ELEVATION

FARMHOUSE
DESIGNED BY KEVIN L. CROOK
 ROOF: FLAT CONCRETE TILE
 WALLS: STUCCO
 FASCIA: WOOD
 TRIM: STUCCO OVER FOAM
 ACCENT: BRICK VENEER



LEFT ELEVATION



REAR ELEVATION

PLAN 3C FARMHOUSE

Kevin L. Crook Architect, Inc.

1380 Reynolds Ave., #110 Irvine, Ca. 92614
 Phone: (949) 860-1077 Fax: (949) 860-1898
 www.klca.com

Architect's seal and stamp required for all drawings. This drawing is not to be used for construction without the approval of the architect.

Job #: 04048
 October 15, 2009
 July 20, 2002

"Glenwood at McSweeny Farms"

Hemet, CA

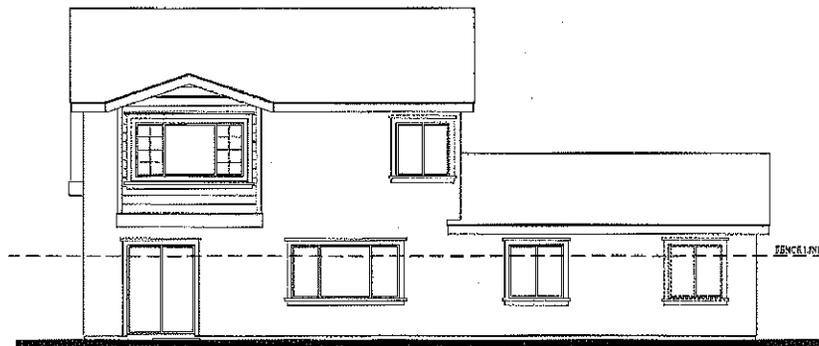
Woodside Homes

11870 Pierce Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1500

PLAN 3C FARMHOUSE - ELEVATIONS

D3.6





ENHANCED REAR ELEVATION
LOT 69 ONLY

PLAN 3C FARMHOUSE

Kevin L. Crook Architect, Inc.

1280 Reynolds Ave., #110 Irvine, CA 92614
Phone: (949) 850-1527 Fax: (949) 860-1899
www.klca.com

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Job #: 08048
October 16, 2009
July 20, 2009

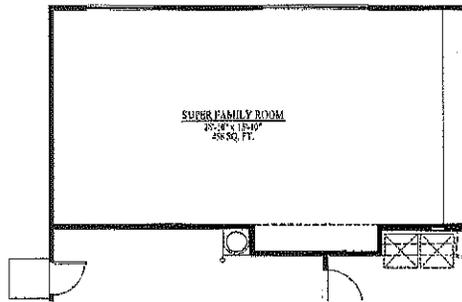
"Glenwood at McSweeny Farms"
Hemet, CA

Woodside Homes
11670 Pierce Street, Suite 100
Riverside, CA 92505
Phone: 951-710-1900

PLAN 3C FARMHOUSE - ELEVATIONS

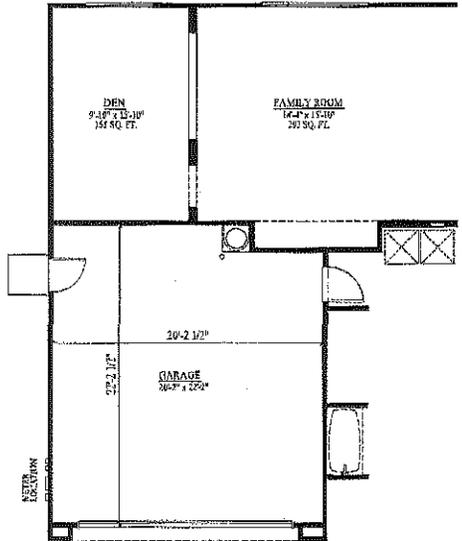
D3.7

0 2 4 8 12

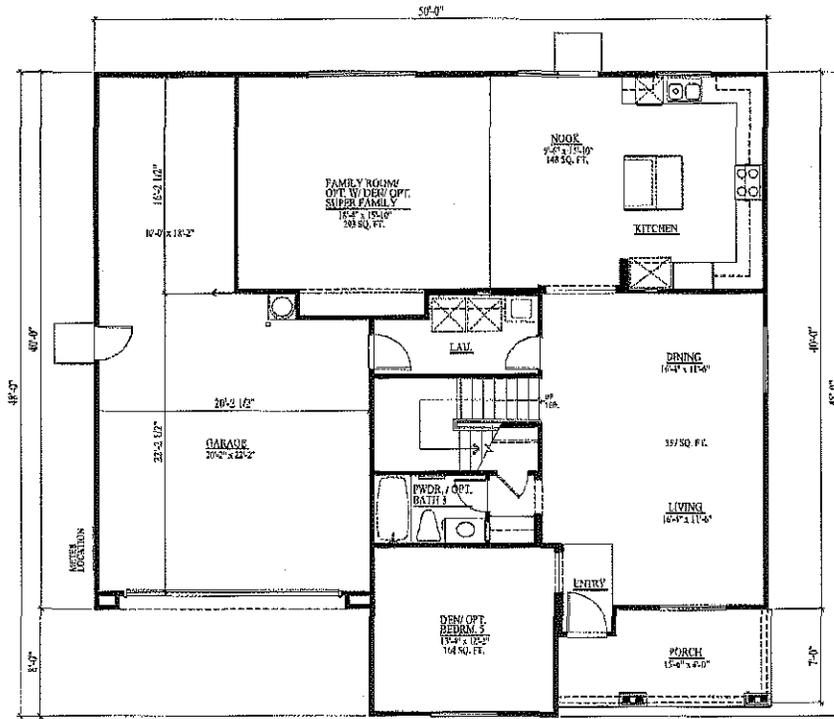


SUPER FAMILY ROOM
25'-0" x 15'-0"
375 SQ. FT.

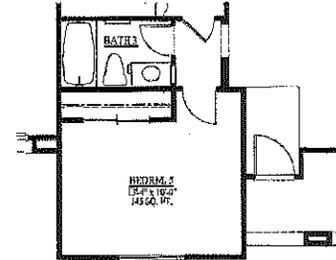
OPTIONAL SUPER FAMILY ROOM



OPTIONAL FAMILY ROOM W/ DEN



PLAN 4 FIRST FLOOR PLAN



OPTIONAL BEDROOM 5 & BATH 3

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1478 SQ. FT.
SECOND FLOOR AREA	1205 SQ. FT.
TOTAL DWELLING	2683 SQ. FT.
OPT. SUPER FAMILY - FAMILY R/ DEN	+171 SQ. FT.
TOTAL DWELLING W/ OPTION	2854 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	621 SQ. FT.
PORCH	109 SQ. FT.
GARAGE AT OPT. SUPER FAMILY/ FAMILY W/ DEN	450 SQ. FT.

Kevin L. Crook Architect, Inc.
1380 Reynolds Ave., #110 Irvine, Ca. 92614
Phone: (949) 560-1507 Fax: (949) 560-1509
www.klca.com

"Glenwood at McSweeny Farms"
Hemet, CA

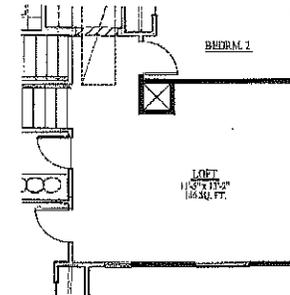
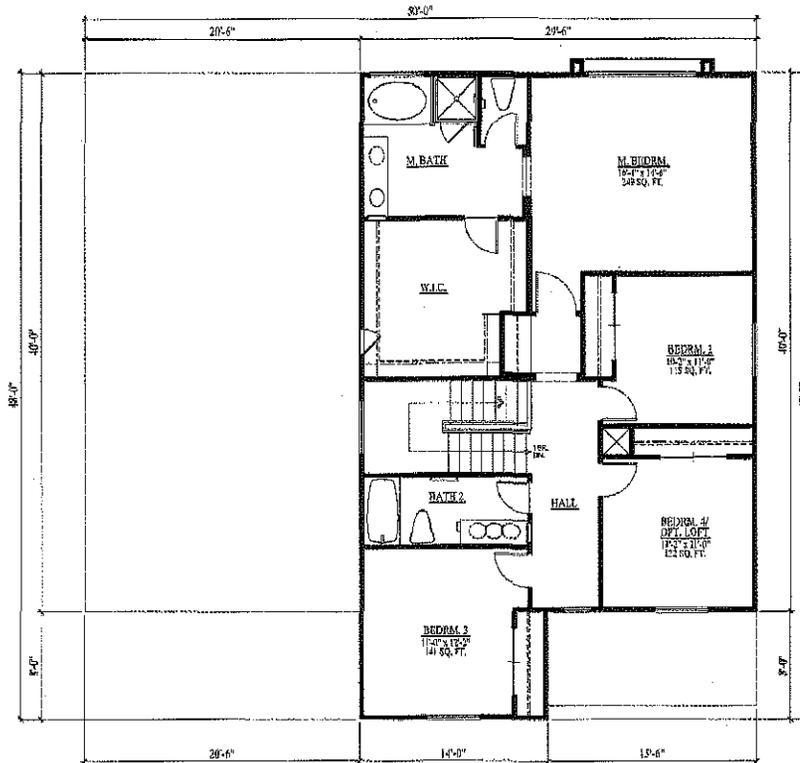
Woodside Homes
11870 Florco Street, Suite 100
Riverside, CA 92505
Phone: 951-710-1900

PLAN 4 - FIRST FLOOR PLAN



D4.1

Job #: 06048
October 1, 2009
July 20, 2009



OPTIONAL LOFT

PLAN 4 SECOND FLOOR PLAN

Kevin L. Crook Architect, Inc.

380 Reynolds Ave., #110 Ingle, Ca. 92614
Phone: (949) 860-1587 Fax: (949) 860-1889
www.klca.com

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Job #: 06048
October 16, 2009
July 20, 2009

"Glenwood at McSweeney Farms"
Hemet, CA

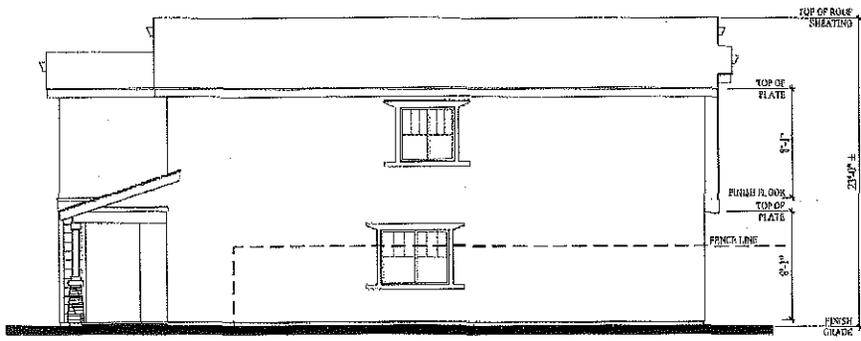
Woodside Homes

11670 Pierce Street, Suite 100
Riverside, CA 92509
Phone: 951-710-1900

PLAN 4 - SECOND FLOOR PLAN

D4.2





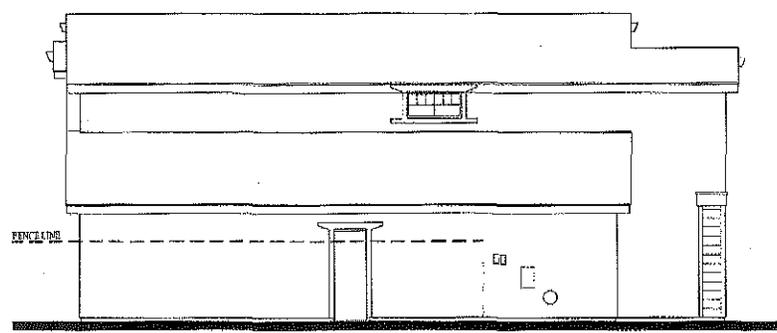
RIGHT ELEVATION



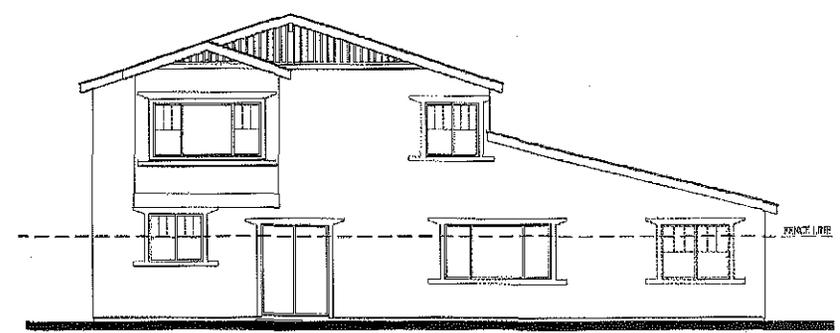
FRONT ELEVATION

CRAFTSMAN
 DESIGN ELEMENTS

ROOF: FLAT SHAKE CONCRETE T.I.R.
 WALLS: STUCCO
 FASCIA: CEMENT-FIBER SIDING & TRIM
 TRIM: WOOD
 ACCENT: STUCCO OVER FOAM
 STONE VENER
 BATTEN BOARD SIDING AT GABLES
 WOOD OUTLOOKERS



LEFT ELEVATION



REAR ELEVATION

PLAN 4A CRAFTSMAN

Kevin L. Crook Architect, Inc.
 1380 Reynolds Ave., #110 Irvine, CA 92614
 Phone: (949) 660-1587 Fax: (949) 660-1588
 www.klcaarch.com

"Glenwood at McSweeny Farms"

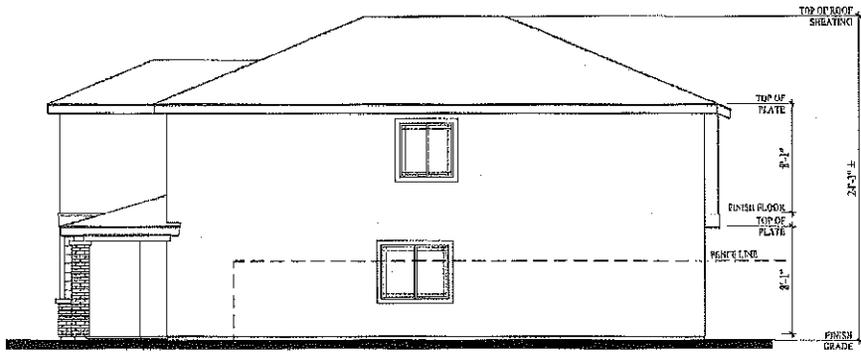
Heinet, CA
 Woodside Homes
 11870 Pierce Street, Suite 100
 Trawside, CA 92606
 Phone: 951-740-1800

PLAN 4A CRAFTSMAN - ELEVATIONS

D4.3



Job #: 06048
 Date: 11-20-09
 July 20, 2009

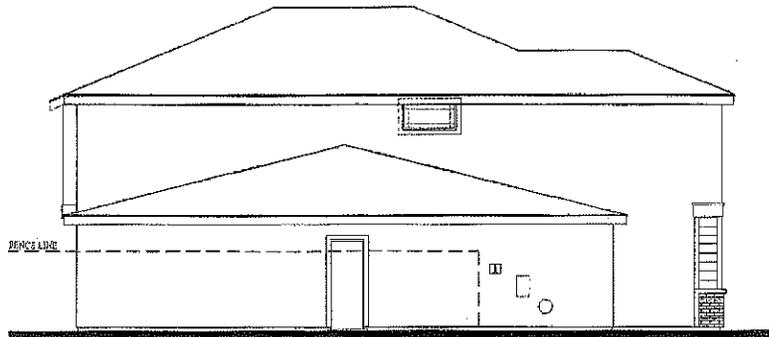


RIGHT ELEVATION

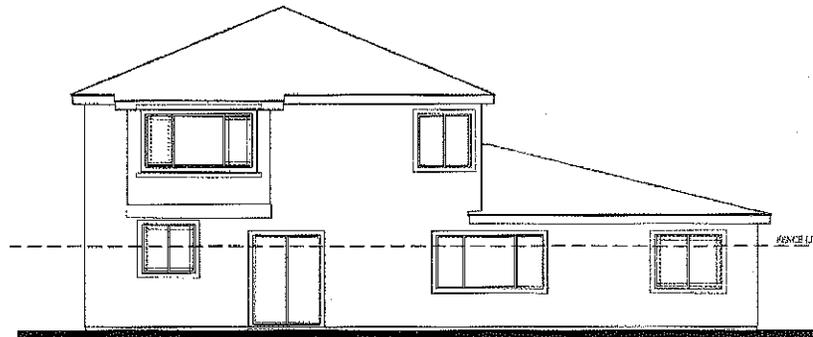


FRONT ELEVATION

PRAIRIE
 ROOF: FLAT CONCRETE TILE
 WALLS: STUCCO
 CEMENT-FIBER SIDING & TRIM
 FASCIA: WOOD
 TRIM: STUCCO OVER FOAM
 ACCENT: BRICK VENEER



LEFT ELEVATION



REAR ELEVATION

PLAN 4B PRAIRIE

Kevin L. Crook Architect, Inc.

1380 Riverside Ave., #110 Irvine, CA 92614
 Phone: (949) 955-1027 Fax: (949) 955-1088
 www.klca.com

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Job #: 09048
 October 16, 2009
 July 26, 2009

"Glenwood at McSweeny Farms"

Hemet, CA

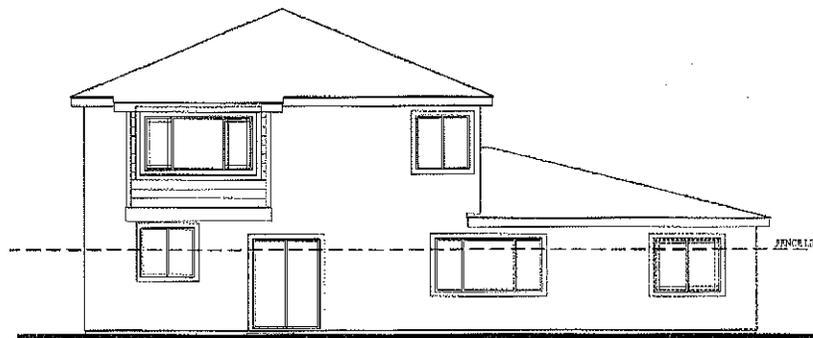
Woodside Homes

11870 Pierce Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1500

PLAN 4B PRAIRIE - ELEVATIONS

D4.4

0 2 4 8 12



ENHANCED REAR ELEVATION
LOT 70 ONLY

PLAN 4B PRAIRIE

Kevin L. Crook Architect, Inc.

1369 Highlands Ave., #110 Irvine, Ca. 92614
Phone: (949) 950-1367 Fax: (949) 950-1369
www.klcaarch.com

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Job #: 08048
October 16, 2008
July 20, 2008

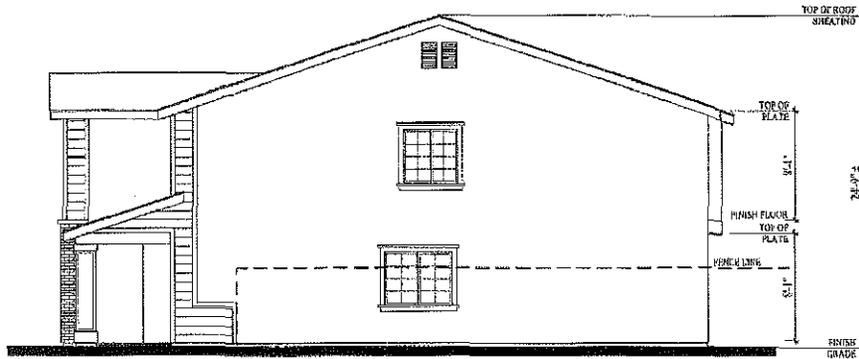
"Glenwood at McSweeny Farms"
Hemet, CA

Woodside Homes
11670 Pierce Street, Suite 100
Irvine, CA 92606
Phone: 951-710-1900

PLAN 4B PRAIRIE - ELEVATIONS

D4.5

0 2 4 8 12



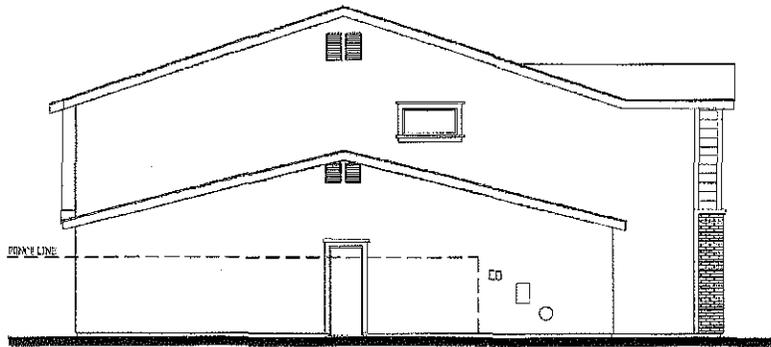
RIGHT ELEVATION



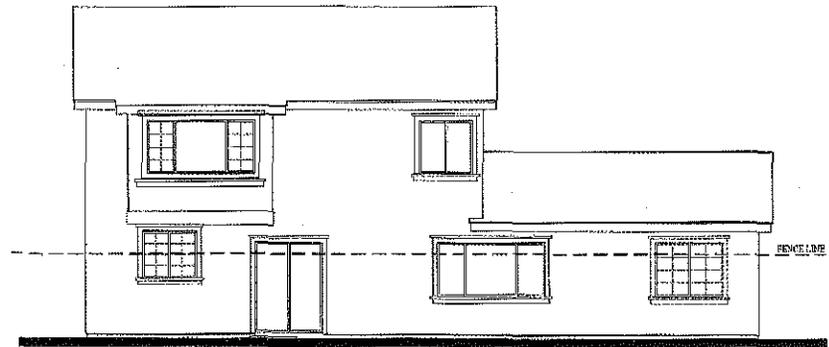
FRONT ELEVATION

FARMHOUSE

DESIGN ELEVATION
 ROOF: FLAT CONCRETE TILE
 WALLS: STUCCO
 CEMENT-FIBER SIDING & TRIM
 FASCIA: WOOD
 TRIM: STUCCO OVER FOAM
 ACCENT: BRICK VENEER



LEFT ELEVATION



REAR ELEVATION

PLAN 4C FARMHOUSE

Kevin L. Crook Architect, Inc.

1320 Reynolds Ave., #110 Irvine, Ca. 92614
 Phone: (949) 850-1257 Fax: (949) 850-1259
 www.klca.com

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Job #: 08048
 October 15, 2009
 July 20, 2009

"Glenwood at McSweeny Farms"

Hemet, CA

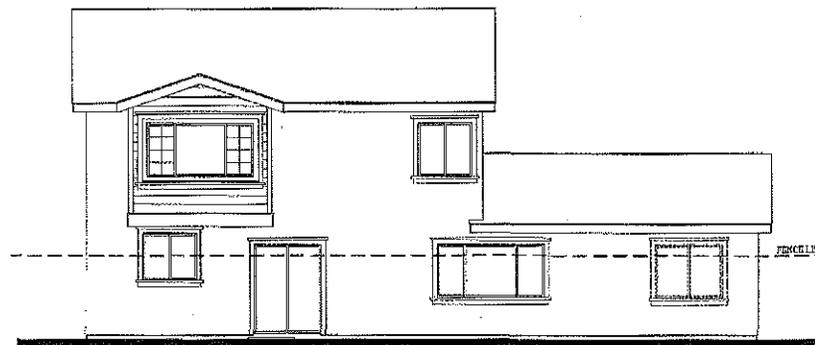
Woodside Homes

11670 Pierce Street, Suite 100
 Riverside, CA 92505
 Phone: 951-710-1900

PLAN 4C FARMHOUSE - ELEVATIONS

D4.6





ENHANCED REAR ELEVATION
LOT 62, 65 ONLY

PLAN 4C FARMHOUSE

Kevin L. Crook Architect, Inc.

1380 Reynolds Ave., #111 Irvine, CA 92614
Phone: (949) 593-1527 Fax: (949) 660-1589
www.klca.com

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Job #: 05048
October 15, 2008
July 20, 2009

"Glenwood at McSweeny Farms"

Essex, CA

Woodside Homes

11870 Pierce Street, Suite 100
Riverside, CA 92505
Phone: 951-710-1900

PLAN 4C FARMHOUSE - ELEVATIONS



**Exhibit
No. 1B
Conditions of
Approval**

**Planning Commission
Public Meeting of
May 21, 2013**



CITY OF HEMET

DRAFT
CONDITIONS OF APPROVAL

PLANNING COMMISSION DATE: May 21, 2013

PROJECT NO.: Site Development Review No. 13-003
APPLICANT: Woodside 05S, LP
AGENT: Trent Heiner
LOCATION: Southwest corner of State Street and South Village Loop
DESCRIPTION: Design and review of 40 single family residential homes within Tract No. 32717-3
OCCUPANCY: This project has been reviewed as a residential occupancy Type, any other use will require further review.

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

STANDARD CONDITIONS

The following conditions of approval were approved by the City Council as standard conditions of approval for all projects. Questions regarding compliance with these conditions should be directed to the Planning Department at (951) 765-2375.

General Requirements

1. Site Development Review No. 13-003 shall become null and void on **May 21, 2015** (two calendar years from the date of approval), unless use in reliance on the approved Site Development Review is established prior to the expiration date. A time extension may be granted by the Planning Commission in accordance with Hemet Municipal Code and the Subdivision Map Act, provided a written request for a time extension is submitted the Planning Department prior to the expiration date. No formal notice of expiration will be given by the City.
2. Approval of Site Development Review No. 13-003 shall become effective on **May 31, 2013** (10 calendar days after action by the Planning Commission) unless appealed to the City Council. The appeal shall be in writing and shall be accompanied by the required fee.

3. The conditions of approval of this project shall supersede all conflicting notations, specifications, dimensions, typical sections, and the like, which may be shown on the tentative project plans.
4. This project site shall be developed in accordance with the approved plan(s) and the conditions contained herein.
5. This project shall comply with all sections of the Zoning and Subdivision Ordinances and all other applicable Local regulations in effect at the time of the building permit application and/or time of recordation, including the I.C.B.O. California Building Code, California Fire Code, and City and State Handicapped Accessibility Requirements (California Code of Regulations, Title 24).
6. Prior to or concurrent with the submittal of building plans for plan check review on this Project, the conditions of approval contained herein shall be photocopied onto the first sheet of the building plans. A copy of the building plans shall be submitted to the Planning Department prior to the issuance of building permits to verify compliance with the conditions of approval and the approved plans.
7. Prior to the issuance of building permits, the Applicant shall be subject to all applicable development fees at the rate in effect at the time of building permit application. Such fees may include, but not be limited to: Park Fees, School Fees, Master Plan Storm Drainage Fees, Permit and Plan Checking Fees, Water and Sewer Service Fees, and Capital Facility Fees.
8. Construction activity shall meet the requirements of Hemet Municipal Code Chapter 30, Article II.
9. Prior to any grading or drainage activity, a grading and/or drainage plan shall be prepared and submitted to the City Engineer and Planning Department for review and approval. No grading or drainage work shall occur without a grading permit and/or the permission of the City Engineer.
10. The Applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the

City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that Applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the Applicant of any Action brought and City shall cooperate with Applicant in the defense of the Action.

11. The Applicant shall be required to remove, replace and/or repair any existing appurtenances damaged or broken during construction. Replacement and repairs shall be in accordance with the City of Hemet Standard Specifications for Public Works Construction.

Planning Requirements

12. The conditions of approval of this project shall be completed in addition to the underlying conditions of approval for Tentative Tract Map No. 32717 approved by the Planning Commission on April 5, 2005 (Resolution No. 05-14).
13. All stone, brick other material accents on the front elevations shall return to the fence line on all side elevations.
14. Extended trim shall be provided on the front elevation windows of Plan 1A.
15. A stone veneer wainscoat shall be provided on the garage of Plan 1A.
16. Contrasting wood trim shall be provided on the planes of front elevation of Plan 1B that do not have a brick veneer treatment.
17. Window shutters shall be provided on the stucco planes of the front elevation of Plan 1B.
18. Extended trim shall be provided for all windows on the front elevation of Plan 2A.
19. Contrasting wood trim shall be provided on the planes of front elevation of Plan 2B.
20. Window shutters shall be provided for all windows on the front elevation of Plan 2B.
21. Window shutters shall be provided on the stucco planes of the front elevation of Plan 2C.

22. Two window shutters shall be provided on the second story, stucco planes of the front elevation of Plan 3B.
23. The brick veneer treatment on Plan 3B shall continue to the top of the columns and garage.
24. Extended trim shall be provided on the first and second story windows of the front elevation of Plan 4A.
25. Extended window trim shall be provided on the windows on the front elevation of Plan 4A.
26. Decorative garage panels with glazing shall be installed to match each elevation.
27. Window shutters shall be provided on the first and second story of the front elevation of Plan 4A.
28. The brick veneer treatment on Plan 4B shall continue to the top of the columns.
29. One set of window shutters shall be added to the front elevation of Plan 4B.
30. Lot No. 2 and Lot No. 28 shall provide enhanced second story elevations to be reviewed and approved by the Community Development Director.
31. All corner lots shall provide enhanced street side elevations to be reviewed and approved by the Community Development Director.
32. Revise the plotting of lots 1, 5 and 31 to increase the front yard setback an additional five (5) feet.
33. All street trees shall be 24" box and installed prior to the Certificate of Occupancy. Street tree species shall be approved by the Planning Division prior to building plan check.
34. Landscape, fencing and irrigation plans for each lots shall be prepared by a licensed landscape architect and be consistent with the Preliminary Landscape Plan submitted with Site Development Review No. 13-003. Plans shall be submitted and approved by the Planning Division prior to the issuance of building permits, and be in accordance with the Hemet Municipal Code Article XLVII, regarding water efficient landscape requirements.
35. Block walls or fencing constructed adjacent to street side yards shall have a minimum landscape area of 2.5 feet between the planting of vines and shrubs adjacent to the street side yard wall.

Please contact the BUILDING DEPARTMENT for compliance with the following conditions:

Building Code Requirements

36. Prior to occupancy, smoke detectors shall be installed in accordance with California Building Code, Section R314.2.
37. As part of the plan submittal, a detailed structural analysis, in compliance with Chapter 16 of the California Building Code for the building's intended use, shall be provided.
38. The electrical, plumbing and mechanical systems shall be in accordance with all applicable codes adopted by the City at the time of building permit issuance.
39. Project shall comply with all Green Building Code requirements adopted by the City at the time of building permit issuance.

Agency Approvals

40. Prior to the issuance of a building permit, Eastern Municipal Water District approval shall be obtained.

General

41. Utilities shall be underground.

Security

42. All exterior doors shall be constructed of solid wood core, minimum of 1 and 3/4-inch thick or of metal construction.
43. Doors utilizing a cylinder lock shall have a minimum five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of 1-inch.
44. All exterior sliding glass doors or windows shall be equipped with metal guide tracks at the top and bottom and shall be constructed so that the door or window cannot be lifted from the track when in the closed or locked position.

Please contact the PUBLIC WORKS DEPARTMENT for compliance with the following conditions:

Public Works Requirements

45. This project, SDR 13-003, shall be in full conformance with the approved Conditions of Approval for Tract 32717-3.

END

**Attachment
No. 2
Adjacent Zoning Map**

**Planning Commission
Public Meeting of
May 21, 2013**

SITE DEVELOPMENT REVIEW NO. 13-003 ZONING MAP



Attachment No. 3 Aerial Map

Planning Commission
Public Meeting of
May 21, 2013

SITE DEVELOPMENT REVIEW NO. 13-003

AERIAL MAP

SITE



Attachment

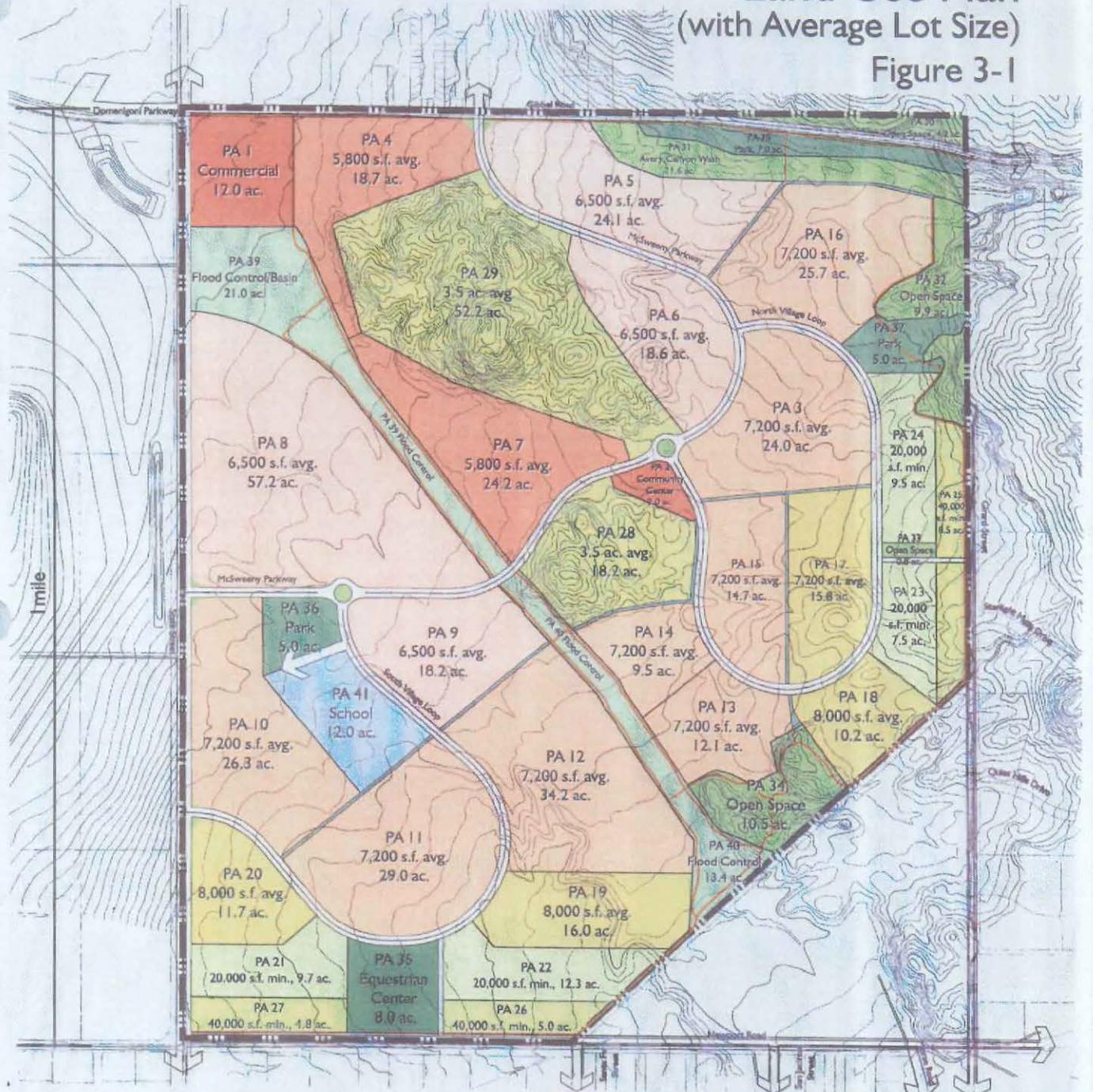
No. 4

**McSweeney Farms
Illustrative Site Plan**

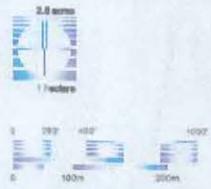
**Planning Commission
Public Meeting of
May 21, 2013**

Land Use Plan (with Average Lot Size)

Figure 3-1



- | | |
|--|---|
| Commercial | Open Space |
| R-1 (5,800 sq.ft. avg.) | Cactus Valley Channel |
| R-1 (6,500 sq.ft. avg.) | Park |
| R-1 (7,200 sq.ft. avg.) | Equestrian Center |
| R-1 (8,000 sq.ft. avg.) | School |
| R-1 (20,000 sq.ft. avg.) | Equestrian Trail |
| R-1 (40,000 sq.ft. avg.) | Paseo |



City of Hemet

Attachment

No. 5

**Planning Area 20
Design Standards**

**Planning Commission
Public Meeting of
May 21, 2013**

- Driveway serving four (4) or less dwelling units, shall have no parking within the travel way and shall have a minimum paved width twelve feet (12') for one-way traffic or twenty feet (20') for two-way traffic.
- Streets or driveways where on-street parking will be limited to one side only shall have a minimum paved width of twenty-eight feet (28').
- Street or driveways with on-street parking permitted on both sides shall have a minimum paved width of thirty-two feet (32').
- Lots with a width of thirty feet (30') shall have side or rear loading garages. Front loading garages will not be permitted.

6.7 R-1-7,200 Single Family Residential

Planning Areas 18-20

6.7.1 Permitted Uses

The following uses are permitted in seven thousand two hundred square feet (7,200 sf) Lots:

- Detached single-family dwellings;
- Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, lakes, clubhouses, stables and trails;
- Uses and structures customarily incidental or necessary to residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas; and,
- Accessory living spaces (i.e. "granny flats") as permitted in R-1 by the city of Hemet Zoning Ordinance.

6.7.2 Development Standards

- Minimum lot size: Seven thousand two hundred square feet (7,200 sf) with an overall average lot size of eight thousand square feet (8000 sf)
- Lot depth: Minimum lot depth shall be one hundred feet (100').
- Lot Width: Minimum lot width shall sixty feet (60') to be measured at building setback. Minimum frontage at cul-de-sacs and knuckles shall be forty feet (40').
- Front setback: Twenty feet (20') minimum from back of right-of-way. Rear Setback: twenty feet (20')
- Side setback:
- Side abutting street: Ten feet (10') minimum from property line.
- Porches: Porches may extend into the required front and side yard

setbacks subject to a limitation of fifty percent (50%) of the required setback.

- Projections: Eaves, cornices, chimneys, outside staircases, balconies and other similar architectural features may project three feet (3') into any required front, rear or side setback, or within two feet (2') of the property line, whichever is the least projection into the setback. These setbacks must be consistent with applicable fire and building codes regarding separation of structures.
- Building Height: Thirty-five feet (35') maximum. Architectural features and chimneys which do not exceed the height limit by more than ten feet (10') will be permitted.
- Private Streets: streets and driveway standards (not including alleys). Private streets and driveway shall be established in accordance with the following standards.
 - Driveway serving four (4) or less dwelling units, shall have no parking within the travel way and shall have a minimum paved width twelve feet (12') for one-way traffic or twenty feet (20') for two-way traffic.
 - Streets or driveways where on-street parking will be limited to one side only shall have a minimum paved width of twenty-eight feet (28').
 - Street or driveways with on-street parking permitted on both sides shall have a minimum paved width of thirty-two feet (32').

6.8 R-R-20,000 Rural Residential

Planning Areas 21-24

6.8.1 Permitted Uses

The following uses are permitted in R-1-20,000 residential areas:

- Detached single-family dwellings;
- Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, lakes, clubhouses, stables and trails;
- Uses and structures customarily incidental or necessary to residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas;
- Accessory living spaces (i.e. "granny flats"); and,
- Horsekeeping, as permitted by the Hemet Zoning Ordinance Rural Residential zones.

6.8.2 Development Standards

Attachment No. 6

Planning Area 10 Site
Photographs of
existing product

Planning Commission
Public Meeting of
May 21, 2013

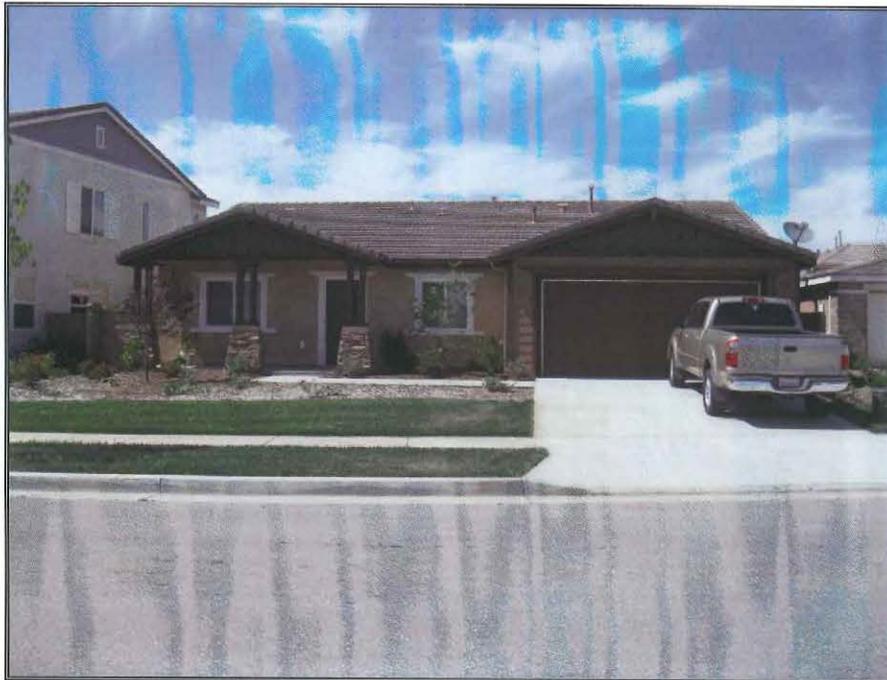
McSweeny Farms PA 10 Site Photographs



Plan 1 – Craftsman



Plan 2 - Farmhouse



Plan 2 - Craftsman



Plan 3 - Craftsman



Plan 4 - Craftsman

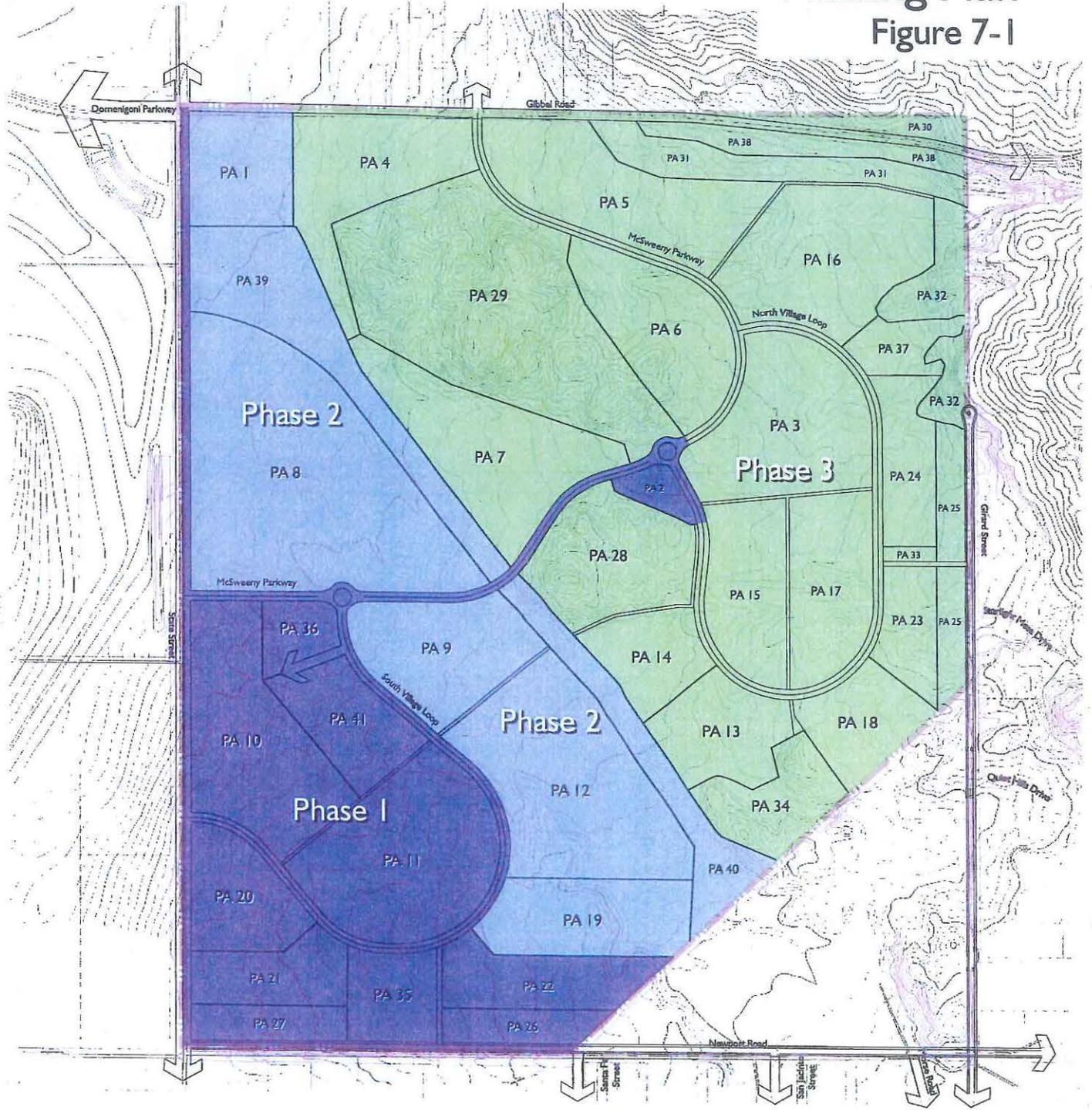
Attachment No. 7

Phasing Map for McSweeney Farms Specific Plan

Planning Commission
Public Meeting of
May 21, 2013

McSweeney Farms Specific Plan

Phasing Plan
Figure 7-1



City of Hemet

Legend	
	Phase 1
	Phase 2
	Phase 3