

# PLANNING COMMISSION

## AGENDA

### REGULAR MEETING OF THE HEMET PLANNING COMMISSION

City Council Chambers

450 East Latham Avenue, Hemet CA 92543

January 7, 2014

6:00 PM

*If you wish to make a statement regarding any item on the agenda, please complete a Speaker Card and hand it to the clerk. When the Chairman calls for comments from the public on the item you wish to address, step forward to the lectern and state your name and address. **Only testimony given from the lectern will be heard by the Planning Commission and included in the record.***

#### 1. CALL TO ORDER:

**Roll Call:** Chairman John Gifford, Vice Chairman Greg Vasquez, and Commissioners Michael Perciful, Vince Overmyer, and Rick Crimeni

**Invocation and Flag Salute:** Commissioner Perciful

#### 2. APPROVAL OF MINUTES: None

#### 3. PUBLIC COMMENTS:

*Anyone who wishes to address the Commission regarding items **not on the agenda** may do so at this time. Please line up at the lectern when the Chairman asks if there are any communications from the public. When you are recognized, please give your name and address. Please complete a Speaker Card and hand it to the Clerk so that we have an accurate recording of your name and address for the minutes.*

### PUBLIC HEARING ITEMS

#### **Meeting Procedure for Public Hearing Items:**

1. Receive Staff Report Presentation
2. Commissioners report any Site Visit or Applicant Contact, and ask questions of staff
3. Open the Public Hearing and receive comments from the applicant and the public.
4. Close the Public Hearing
5. Planning Commission Discussion and Motion

4. **SITE DEVELOPMENT REVIEW NO. 13-008 (WOODSIDE HOMES AT McSWEENEY FARMS SPECIFIC PLAN)**

APPLICANT: Woodside Homes  
AGENT: Trent Heiner  
PLANNER: Carole L. Kendrick, Assistant Planner  
LOCATIONS: Lansing Street, Tivoli Court and Suncup Street within the McSweeney Farms Specific Plan

**DESCRIPTION:** A request for Planning Commission review and approval of a Site Development Review application for the design of the 29 remaining single family residential homes within Tract No. 32717-2 (Chestnut) and consideration of a Notice of Determination that the project is consistent with an Environmental Impact Report (EIR) that was adopted for the underlying project, Specific Plan No. 01-02. The proposed project is located on Lansing Street, Tivoli Court and Suncup Street within Planning Area 11 of the McSweeney Farms Specific Plan (SP No. 01-02).

**Recommended Action:**

*That the Planning Commission Adopt Planning Commission Resolution Bill No.14-001 APPROVING SDR 13-008 subject to the findings and conditions of approval and direct staff to file a Notice of Determination with the County Clerk.*

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**DEPARTMENT REPORTS**

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5. **CITY ATTORNEY REPORTS:** *Verbal report from the Assistant City Attorney on items of interest to the Planning Commission.*
6. **COMMUNITY DEVELOPMENT DIRECTOR REPORTS:** *Verbal reports from Community Development Director Elliano*
- A. Overview of new planning legislation effective in 2014.
7. **PLANNING COMMISSIONER REPORTS:** *Commissioner reports on meetings attended, future agenda items or other matters of Planning interest.*
- A. Chairman Gifford
  - B. Vice Chair Vasquez
  - C. Commissioner Perciful
  - D. Commissioner Overmyer
  - E. Commissioner Crimeni

**8. FUTURE AGENDA ITEMS:**

- A.** SPA for McSweeney Farms
- B.** CUP for Multi-tenant office building
- C.** WRCOG Presentation regarding Regional Climate Action Plan
- D.** Regent Properties – Ramona Creek SP, TTM and DEIR
- E.** General Plan Consistency Zoning Program – Phase II

- 9. ADJOURNMENT:** To the meeting of the City of Hemet Planning Commission scheduled for **January 21, 2014 at 6:00 P.M.** to be held at the City of Hemet Council Chambers located at 450 E. Latham Avenue, Hemet, California 92543.

**NOTICE TO THE PUBLIC:**

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Planning Department counter of City Hall located at 445 E. Florida Avenue during normal business hours. Agendas for Planning Commission meetings are posted at least 72 hours prior to the meeting. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in the meeting, please contact the Planning Department office at (951) 765-2375. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to insure accessibility to the meeting. (28 CFR 35.102-35.104 ADA Title II).



## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*  
Carole L. Kendrick, Assistant Planner *CK*

DATE: January 7, 2014

RE: **SITE DEVELOPMENT REVIEW NO. 13-008 (WOODSIDE HOMES AT MCSWEENEY FARMS SPECIFIC PLAN)** - A request for Planning Commission review and approval of a Site Development Review application for the design of the 29 remaining single family residential homes within Tract No. 32717-2 (Chestnut) and consideration of a Notice of Determination that the project is consistent with an Environmental Impact Report (EIR) that was adopted for the underlying project, Specific Plan No. 01-02. The proposed project is located on Lansing Street, Tivoli Court and Suncup Street within Planning Area 11 of the McSweeney Farms Specific Plan (SP No. 01-02).

### **PROJECT APPLICANT INFORMATION**

Owner/Applicant: Woodside Homes  
Agent: Trent Heiner  
Project Location: Lansing Street, Tivoli Court and Suncup Street within the McSweeney Farms Specific Plan  
APN Information: 454-410-001 through 008; 454-411-004 through 09; 454-412-001 and 005; and 454-412-016 through 028.  
Lot Area: 7.23 Acres (Gross) 5.15 Acres (Net)

### **STAFF RECOMMENDATION**

The Planning Department recommends that the Planning Commission:

1. Adopt the attached Planning Commission Resolution Bill No. 14-001 (Attachment No. 1), approving SDR 13-008 subject to the findings and conditions of approval; and
2. Direct staff to file a Notice of Determination with the County Clerk.

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City of Hemet - Planning Department   
Planning Commission Meeting of January 7, 2014

**PROJECT BACKGROUND**

The McSweeney Farms Specific Plan (SP No. 01-02) is a development of 673.0 acres that permit approximately 1,640 dwelling units, commercial and community uses, drainage facilities and open space located east of State Street and south of Gibbel Road. The Specific Plan has existing entitlements for ten (10) Tentative Tract Maps and several Site Development Review applications. An overall map of the McSweeney Farms Specific Plan Land Use Map is shown in Exhibit 5. The following timeline is specific to the proposed project.

The Specific Plan was originally proposed and developed by Sun-Cal as the master developer who subsequently lost control of the property during the economic recession. Raintree Investments, the current owner, purchased the property in 2009 and has taken on the responsibilities of the master developer.

Two homebuilders, Woodside Homes and Lennar Homes, constructed and sold a portion of the 310 lots in Phase 1 of the Specific Plan (see Attachment No. 5) in 2007-08. Phase 1 of the project currently has 227 Certificates of Occupancy. At present, Woodside Homes is the only active builder at McSweeney Farms, and is in the process of completing homes in Planning Area 10 of the Specific Plan and completing grading in Planning Area 20. The proposed application would complete the single family residential units in Phase 1 of the Specific Plan.

<b>McSweeney Farms Timeline</b>		
<b>Date</b>	<b>Project</b>	<b>Action</b>
November 25, 2003	Specific Plan (SP) No. 01-02	Approved by the City Council
April 5, 2005	Tentative Tract Map No. 32529 (Phase 1 Map) Planning Areas 2, 10, 11, 20, 21, 22, 26, 27, 35, 36 and 41	Approved by the Planning Commission
April 5, 2005	Tentative Tract Map No. 32717 (Phase 1) Planning Areas 10, 11, 20, 21, 22, 26 and 27	Approved by the Planning Commission (Recorded)
December 6, 2005	Site Development Review No. 05-17 (Planning Area 11)	Approved by the Planning Commission
September 5, 2006	Tentative Tract Map No. 34659 (Master Map)	Approved by the Planning Commission

The proposed project is located within Tentative Tract Map (TTM) 32717-2 and Planning Area No. 11 of the Specific Plan (see Attachment No. 5). Condition of Approval No. 15 for Tentative Tract Map (TTM) No. 32717 (the underlying map) requires that the Planning Commission review and approve site development plans for architecture and site layout prior to the issuance of building permits. The Applicant, Woodside Homes, has submitted a Site Development Review

application in compliance with the approved Tentative Tract Map conditions.

On December 6, 2005, Site Development Review (SDR) No. 05-017 was approved by the Planning Commission (Resolution No. 05-049) for Planning Area 11. The lot plotting, architectural elevations, floor plans, landscape plans and fence & walls plans for the proposed project were reviewed and approved under Site Development Review (SDR) No. 05-17 for a total of 118 lots. Lennar Homes constructed 89 of the 118 lots in 2006 and 2007. The remaining 29 lots have remained vacant due to the impacts of the recession. Woodside Homes recently purchased the vacant lots remaining in Planning Area 11. Site Development Review No. 13-008 would revise the lot plotting, architectural elevations, floor plans, landscape plans and fence & wall plans on the 29 remaining lots located in Planning Area 11, to reflect the similar architectural elevations and floors plans that were approved under SDR09-002 (Planning Area 10) and which were also constructed by Woodside Homes. The lots in Tract No. 32717-2 are required to be a average of 7,200 square feet minimum.

The proposed project site is partially developed with single family residences. The property to the north and east of the site contains single family homes under construction. To the south and west of the site are existing single family residential homes.

Tract No. 32717-2 includes an existing pocket park that is located on the northeast corner of Lansing Street and Tivoli Court. A 5.0 acre neighborhood park is located further to the north and has been recently completed by the master builder. The closest school is Diamond Valley Middle School located north of the project on State Street.

The McSweeney Farms Specific Plan includes an 8.0 acre equestrian center (Planning Area 35) located southeast of the proposed project, as well as a 5.0 acre park (Planning Area 36) located northeast of the proposed project. The equestrian center has not been constructed at this time. The equestrian center is required to be constructed prior to the 295 Certificate of Occupancy, however Raintree Investments has advised staff that they will be submitting a Specific Plan Amendment to the modify the milestone and proposal for Planning Area 35 . The build out of Planning Area 10 and 20 will bring the total Certificates of Occupancy to 281. The Community Center was completed on May 17, 2007 and serves as a focal point for the project in addition to providing recreation, social activities and administrative services.

The following table indicates land uses immediately surrounding the project site.

	LAND USE	ZONING	GENERAL PLAN
<b>PROJECT SITE</b>	Vacant Residential Lots	McSweeney Farms Specific Plan (SP 01-02)	SP (Specific Plan)
<b>NORTH</b>	Single Family Residential (Planning Area 11)	McSweeney Farms Specific Plan (SP 01-02)	SP (Specific Plan)
<b>EAST</b>	Vacant (Planning Areas 12 & 19)	McSweeney Farms Specific Plan (SP 01-02)	SP (Specific Plan)
<b>SOUTH</b>	Single Family Residential (Planning Areas 20 & 21)	McSweeney Farms Specific Plan (SP 01-02)	SP (Specific Plan)
<b>WEST</b>	Single Family Residential (Planning Areas 10 & 20)	McSweeney Farms Specific Plan (SP 01-02)	SP (Specific Plan)

The project setting is illustrated and described in more detail by the attached items:

- General Plan Land Use Designation Map (Attachment No. 2)
- Adjacent Zoning Map (Attachment No. 3)
- Aerial Map (Attachment No. 4)

**PROJECT DESCRIPTION**

The Applicant is requesting approval of Site Development Review No. 13-008 for the development of the 29 remaining single-family residences within Tentative Tract Map (TTM) No. 32717-2. Tract No. 32717-2 is composed of 118 lots on 27.4 acres located in the northwest area of the McSweeney Farms Specific Plan (SP No. 01-02) within Planning Area 11. Lennar Homes constructed single family residences on 89 of 118 lots. The existing and proposed homes take access from South Village Loop.

As shown in the attached plans, lots range in size from 6,000 square feet to 17,056 square feet. The average lot size is 7,740 square feet. The proposed residences range in size from 1,953 to 2,854 sq. ft. and provide a mixture of single story and two stories with 34.5% of the single story product and 65.5% of the two-story products. The existing residences range in size from 2,621 to 3,407 sq. ft and consist of all two story products (see Attachment Nos. 7 and 8). The three (3) proposed plan types are equally distributed throughout the remainder of the project.

The proposed architecture will include craftsman, prairie and California ranch styles that are consistent with the McSweeney Farms Specific Plan and the existing Lennar Homes located in Planning Area 11. The craftsman units propose a combination of stucco and siding, stone veneer accents, wood gables and a concrete tile roof. The prairie design utilizes stucco, wood fascia, brick veneer and a concrete tile roof. The California ranch architecture includes a combination of stucco and siding, wood fascia, stone veneer and a flat concrete tile roof.

The Applicant is proposing three (3) different floor plans with three (3) different architectural elevations for each home. The table below summarizes the proposed dwelling unit types:

<b>WOODSIDE HOMES (PROPOSED)</b>					
<b>Plan Type</b>	<b># of Beds/Baths</b>	<b>Dwelling Unit Size</b>	<b># of Arch. Elevations</b>	<b># of Stories</b>	<b>Garage Type</b>
Plan 2	4 bedrooms /2 bathrooms	1,953 sq. ft.	3	1	2 car front-entry
Plan 3	3 bedrooms w/4 bedroom option/2 bathrooms w/3 bathroom option	2,376 sq. ft. 2,512 sq. ft (w/ optional suite)	3	2	2 car front-entry w/ third car tandem
Plan 4	4 bedrooms w/5 bedroom option/ 2 bathrooms w/3 bathroom option	2,683 sq. ft. 2,854 sq. ft (w/ optional den)	3	2	2 car front-entry w/ third car tandem
<b>LENNAR HOMES (EXISTING)</b>					
<b>Plan Type</b>	<b># of Beds/Baths</b>	<b>Dwelling Unit Size</b>	<b># of Arch. Elevations</b>	<b># of Stories</b>	<b>Garage Type</b>
Plan 2621	4 bedrooms /3 bathrooms	2,621 sq. ft.	3	2	2 car front-entry
Plan 3060	4 bedrooms w/3 bathrooms	3,060 sq. ft.	3	2	2 car side-entry and 1 car front-entry
Plan 3407	5 bedrooms w/2-3/4 bathrooms	3,407 sq. ft.	3	2	2 car front-entry w/ storage area

The project includes specific enhancements to include window boxes, shutters, veneer treatments to return to fence or roof line, enhanced elevations for second story lots that back onto streets, and enhanced street side elevations, in order to ensure that the product has the same level of architectural quality as the existing tracts.

Woodside Homes is proposing one (1) street tree per home and two (2) street trees on corner lots. Front yard landscaping will consist of a minimum of one (1) tree per lot with a mixture of shrubs, groundcover, turf and vines. The Applicant proposes to emphasize plants of a drought tolerant nature in compliance with the City's Water Efficient Landscaping requirements.

The project site currently has a six (6) foot high split face block wall with caps located adjacent to the South Village Loop. The interior fencing will mainly consist of wood fencing, with the exception of corner lots and wall returns that require block wall construction.

### **GENERAL PLAN CONSISTENCY**

This project will be building a portion of the homes that were anticipated when the Specific Plan was approved. The project is consistent with the Specific Plan which was previously determined to be consistent with the City's General Plan.

The project is also consistent with Land Use Goal (LU 1.11) that promotes comprehensive, cohesive and well-designed residential projects through the preparation of a Specific Plan. Phase 1 of the McSweeney Farms Specific Plan is partially constructed with a well established neighborhood character. The project as proposed will reflect the existing neighborhood character by following the architectural style and plotting within the development consistent with Community Development Goal CD-12.4.

### **COMPLIANCE WITH THE MCSWEENEY FARMS SPECIFIC PLAN**

The McSweeney Farms Specific Plan establishes specific development standards relative to setbacks, building height, etc. for each of the 29 residential Planning Areas. Staff has reviewed the proposed project to verify compliance with these development standards. Based on the information provided in the table below, the project meets and/or exceeds the minimum development standards of Specific Plan No. 01-2

In addition, the project complies with the design guidelines as set forth in the McSweeney Farms Specific Plan (SP 01-02) which requires that residential uses provide at least a varied garage setback from the front façade of the residential building and provide building façade variations at a minimum of four (4) planes on the front and two (2) planes on the sides and rear.

DEVELOPMENT STANDARDS PER SP 01-02	PLANNING AREA 11 MINIMUM	PROPOSED
Front Setback Minimum	20 feet	20 feet-26 feet (varies)
Side Setback Minimum	5 feet	5 feet-12 feet (varies)
Street Side Setback and Corners Minimum	10 feet	10 feet-16 feet (varies)
Rear Setback Minimum	20 feet	20 feet-73 feet (varies)
Building Height	35 feet (maximum)	25 Feet 1 Inches

**Design Guidelines Consistency**

The overall intent of the single family design guidelines is to encourage quality residential development that utilizes innovative design concepts which foster conservation, diversity and community life; homes which have clear identifiable entries that will enhance the street scene; homes that will be built in proportion to the lot sizes; visual diversity with a variety of architectural elements; living areas being designed towards the street rather than garages; open space for recreational activity; and pedestrian friendly designs to common destinations (Single-Family Residential Design Guidelines Page 1). Upon review of the site development plans, the proposed architecture and home plans are consistent with the intent of the design guidelines.

Each home proposed with the project will have similar architectural styles and roofing materials, multiple building planes, a component of the plans with garages that are not front-dominant, a 25-percent change in building materials and varied setbacks. Several of the existing homes in Planning Area No. 11 of the project have the same architectural styles and building materials, so therefore compliance with the neighborhood is met. In addition, the project complies with the McSweeney Farms Specific Plan (SP 01-02) requirement to provide at least a five (5) foot garage setback from the front façade of the residential building and provide building façade variations at a minimum of four (4) planes on the front and two (2) planes on the sides and rear, to prevent the massing associated with a “square design”.

**STAFF CONCERNS**

During the analysis of the proposed project, staff identified several concerns that are not directly related to the proposed project but impact the entire Specific Plan. Staff has since discussed these concerns with Raintree Investments and determined that these issues will not delay the Site Development Review for Woodside Homes.

- Equestrian Center (Planning Area 35) – Per Tentative Tract Map 32529 (Phase 1), the equestrian center is required to be constructed during Phase 1 of the McSweeney Farms Specific Plan and by the 250<sup>th</sup> Certificate of Occupancy. The McSweeney Farms Specific Plan (SP 01-02) requires the equestrian center to be constructed by the 295<sup>th</sup> Certificate of Occupancy during Phase 1 of the project development. However, a subsequent map, Tentative Tract Map 33961 (Phase 2) requires the construction of the equestrian center by the 300<sup>th</sup> Certificate of Occupancy in Phase 2 of the project development. The master developer (Raintree Investments) has indicated their intent is to process an amendment to the Specific Plan to correct the inconsistencies regarding the equestrian center timing and propose alternative uses for the site. Woodside Homes is currently building out Planning Area 10 and has begun grading in Planning Area 20. The completion of both Planning Area 10 and 20 will place the Certificate of Occupancy count at 281. The only remaining lots in Phase 1 are 29 lots in Planning Area 11.
- Paseo's (Planning Area 10 & 11) – TTM 32717 requires landscaped paseos located in Planning Area 10 & 11 to be constructed once 60% of each Planning Area is complete. Planning Area 11 (previously Lennar Homes) has constructed more than 60% of the area, but did not construct the paseo. The 29 remaining lots in Planning Area 11 would require a future developer to construct the paseo prior to the issuance of any building permit. Planning Area 10 (Woodside Homes) has not completed their portion of the paseo, because it's irrigation lines tie into the paseo for the Planning Area 11. Woodside Homes has acquired the paseo land in Planning Area 11 and has agreed to complete the paseo's prior to the issuance of the 15<sup>th</sup> building permit under this application. (Condition No. 13)

### **TRANSPORTATION UNIFORM MITIGATION FEE (TUMF)**

At the time of building permit issuance, the proposed project is subject to payment of the required fees relative to the Western Riverside County Transportation Uniform Mitigation Fee Program (TUMF) pursuant to Chapter 58, Article III, Section 58-70.2 (f) of the Hemet Municipal Code.

### **MULTI-SPECIES HABITAT CONSERVATION PLAN (MSHCP)**

Pursuant to Chapter 31, Section 31-16 (8) of the Hemet Municipal Code, only development proposals for which discretionary approval had been given prior to February 12, 2004, are exempt from provisions of the MSHCP Fee Ordinance. Therefore, pursuant to Hemet Municipal Code Section 31.7, this project is subject to the payment of MSHCP fees. The fees are to be paid in full at the time of issuance of a certificate of occupancy or request for final inspection, whichever occurs first.

## AIRPORT LAND USE COMPATIBILITY

The project is located on the east side of State Street and south of Gibbel Road. The site is not within the Hemet Ryan Airport Influence area, and is outside the area that may be subject to Airport Land Use Commission review. Therefore, the project can be considered compatible with the Airport Land Use Plan.

## CEQA REVIEW

1. CEQA. The City Council adopted an Environmental Impact Report (EIR) by Resolution No. 3779 on November 10, 2003 for Specific Plan No. 01-02 and a Notice of Determination was filed in accordance with CEQA requirements on November 12, 2003. There has been no legal challenge brought against the project or the environmental determination. Staff has reviewed the EIR previously approved for the project in light of the Applicant's submittal of Site Development Review No. 13-008. The Planning Commission has concluded that Site Development Review No. 13-008 is a subsidiary and implementing approval or permit contemplated under the larger project and that Specific Plan No. 01-02 complies with the City's Zoning Ordinance, Single-Family Design Guidelines and other applicable standards. The Planning Commission finds that Site Development Review No. 13-008 will not result in an increase in the density or intensity of the project and will not result in project changes that were not previously analyzed under the approved EIR. As such, Site Development Review No. 13-008 and any effects it may have on the environment, fall within the scope of, and were analyzed under the previously approved EIR for the project. Furthermore, based on the Planning Department staff's knowledge of the project and surrounding developments, the Planning Commission concludes that there has been no change in circumstances under which the project is being undertaken that would require additional analysis under CEQA. Finally, the Planning Commission has not been presented with any information contrary to this conclusion nor any information from which it could be fairly argued that Site Development Review No. 13-008 involves new significant effects on the environment or substantially increases the severity of a previously identified effect. Based thereon, the Planning Commission makes the following findings in accordance with CEQA Guidelines Section 15162:
  - A. Site Development Review No. 13-008 does not propose substantial changes to Specific Plan No. 01-02 that would require major revisions to the existing EIR; and,
  - B. No substantial changes have occurred in the circumstances under which Specific Plan No. 01-02 or Site Development Review No. 13-008 are being undertaken that would require major revisions to the EIR; and,

- C. No new information has been presented from which it may be fairly argued that Site Development Review No. 13-008 may involve a new significant environmental effect or a substantial increase in the severity of previously identified significant effects, or demonstrated that a mitigation measure previously found to be infeasible is now feasible.

### **POLICIES, REQUIREMENTS AND GUIDELINES REVIEW**

The proposed project's Development Plans (Attachment No. 1 - Exhibit 1A) were reviewed by the Design Review Committee (DRC) for consistency with the City's applicable policies, requirements and guidelines.

### **PUBLIC COMMUNICATIONS RECEIVED**

The Hemet Municipal Code does not require that Site Development Review applications to provide a public notice or advertisement in the newspaper. However, staff determined that the existing residents within McSweeny Farms should be provided an opportunity to review and comment on the proposed project. Property owners located within 1,000 foot radius of the project site were notified of the public meeting on December 19, 2013 with a 10 day hearing notice in addition to a public notice in the Press Enterprise.

### **REPORT SUMMARY**

Site Development Review No. 13-008 pertains to the site review of 29 single family residences within the McSweeny Farms Specific Plan (SP No. 01-02), to complete the build-out of existing lots within Tract Map No. 32717-2.

An Environmental Impact Report (EIR) was adopted for the underlying project, Specific Plan No. 01-02. For the reasons stated above, the Planning Department believes that the EIR adequately addresses the current project, and thus, a Notice of Determination can be filed for Site Development Review (SDR) No. 13-008.

The design proposed by Site Development Review (SDR) No. 13-008 conforms to and is consistent with development standards provided for the Specific Plan, conditions of approval for Tract Map No. 32717, the Zoning Ordinance and the pertinent Design Guidelines. For these reasons, and as more fully discussed in the Staff Report and accompanying attachments, the Planning Department recommends approval of the project. The Planning Commission's actions are final unless appealed to the City Council within ten working days.

Respectfully submitted,

*Carole L. Kendrick*  
Carole L. Kendrick  
Assistant Planner

Reviewed By:

*Emery Papp*  
Emery Papp  
Principal Planner

CK

### ATTACHMENTS

- 1) Planning Commission Resolution Bill No. 14-001  
Exhibit 1A - Development Plan  
Exhibit 1B - Conditions of Approval
- 2) General Plan Land Use Designation Map
- 3) Adjacent Zoning Map
- 4) Aerial Map
- 5) McSweeny Farms Land Use Plan
- 6) Planning Area 11 Design Standards for McSweeny Farms
- 7) Site Development Review No. 05-017 Approved Development Plan
- 8) Site Photographs of Lennar Product in Planning Area 11

### INCORPORATED HEREIN BY REFERENCE

City of Hemet General Plan  
City of Hemet General Plan EIR  
City of Hemet Zoning Ordinance  
City of Hemet Subdivision Ordinance  
Contents of City of Hemet Planning Department Project File Site Development Review Nos. 05-017 and 13-008, Tentative Tract Map Nos. 32717, 32529 and 34659, and McSweeny Farms Specific Plan No. 01-02

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City of Hemet - Planning Department   
Planning Commission Meeting of January 7, 2014

# Attachment No. 1

Resolution Bill No.  
14-001

Planning Commission  
Public Meeting of  
January 7, 2014



CITY OF HEMET  
Hemet, California

RESOLUTION BILL NO. 14-001

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA APPROVING SITE DEVELOPMENT REVIEW NO. 13-008 FOR 29 SINGLE FAMILY HOMES WITHIN TENTATIVE TRACT MAP NO. 32717-2 LOCATED ON LANSING STREET, TIVOLI COURT AND SUNCUP STREET (APN'S: 454-410-001 THRU 008; 454-411-004 THRU 009; 454-412-001 THRU 005; AND 454-412-016 THRU 028)

WHEREAS, an application for Site Development Review No. 13-008 was duly filed by:

Owner/Applicant: Woodside Homes  
Agent: Trent Heiner  
Project Location: Lansing Street, Tivoli Court and Suncup Street  
Lot Area: 7.23 acres (gross)/5.15 acres (net)

WHEREAS, the Planning Commission is authorized to review and approve, conditionally approve or deny Site Development Review No. 13-008 pursuant to Condition of Approval No. 15 for Tentative Tract Map No. 32717; and

WHEREAS, the Applicant has requested approval of Site Development Review No. 13-008 for the development of 29 single family homes in compliance with the Hemet Municipal Code and the Conditions of Approval for TTM No. 32717. The Planning Commission adopted Resolution No. 05-14 approving TTM No. 32717 on April 5, 2005; and

WHEREAS, the City Council approved an Environmental Impact Report for Specific Plan No. 01-02 on November 10, 2003. The Community Development Director has evaluated the project to determine if any new environmental impacts would be created as a result of the proposed project in compliance with the California Environmental Quality Act (CEQA) guidelines and has determined that no additional environmental analysis is needed; and

WHEREAS, on December 26, 2013, the City gave public notice by advertising in the Press Enterprise and by mailing to property owners within 1,000 feet of the project

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Planning Commission Resolution Bill No. 14-001  
SITE DEVELOPMENT REVIEW NO. 13-008 – WOODSIDE HOMES

1 site regarding the holding of a public meeting at which the project would be considered;  
2 and  
3

4 **WHEREAS**, the Planning Commission of the City of Hemet has considered oral  
5 and written comments, pro and con, as presented by the Planning Department, the  
6 applicant and other interested parties at a public meeting held on January 7, 2014.  
7

8 **NOW, THEREFORE**, the Planning Commission of the City of Hemet now finds,  
9 determines and resolves as follows:  
10

11 **SECTION 1: SITE DESIGN REVIEW PROJECT FINDINGS**  
12

13 In light of the record before it, including the staff report dated January 7, 2014, and all  
14 evidence and testimony heard at the public meeting of this item, the Planning  
15 Commission hereby finds as follows:  
16

17 A. Condition of Approval No. 15 for TTM No. 32717 requires that the Site  
18 Development Review satisfy each of the findings under Hemet Municipal Code  
19 Section 90-1455. The Planning Commission hereby finds and determines that  
20 each of these requirements is satisfied as follows:  
21

- 22 1. The project complies with all provisions of Article XLI (Site Development  
23 Plan Review) of the Hemet Zoning Code – Chapter 90 of the Hemet  
24 Municipal Code and all other relevant city regulations, polices and  
25 guidelines.  
26

27 The proposed residential development is consistent with Article XLI in that  
28 the application is being reviewed and approved by the Hemet Planning  
29 Commission as required by this section and the Conditions of Approval for  
30 Tentative Tract Map No. 32717 and Site Development Review No. 13-008.  
31 Further, the proposed residential development is in conformance with the  
32 development standards of Specific Plan No. 01-02 relative to setbacks,  
33 building height, walls and landscaping. The minimum setback for  
34 Planning Area 11 of the McSweeney Farms Specific Plan is 20 feet for the  
35 front and rear and five (5) feet on the sides, with ten (10) feet at all street  
36 corners. All minimum setbacks have been met as illustrated in the  
37 Planning Commission staff report for Site Development Review No. 13-  
38 008 dated January 7, 2014. The applicant is also in compliance with the  
39 Single Family Residential Design Guidelines as described in the Project  
40 Analysis of the same staff report.  
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2. The following are so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, so that there will be no adverse effect on surrounding property:

a. Buildings, structures and improvements.

The proposed residential development complies with all of the required setbacks and development standards of Specific Plan No. 01-02 so that there will be no adverse effect on surrounding property or traffic congestion because the homes are placed in compliance with the Hemet Municipal Code – Section 90-315 and Specific Plan No. 01-02. All other improvements are required to conform to City standards.

b. Vehicular ingress and internal circulation.

The proposed street system design is consistent with all City standards and the approved TTM No. 32717. Main vehicular access to the subdivision is provided via South Village Loop for the project. All other homes will take access from an internal street system. These access points will help maintain efficient traffic flow in and out of the residential neighborhood. The new streets are designed to meet City standards as provided in Condition of Approval Nos. 54 and 70 through 84 of TTM No. 32717. Therefore, there will be no adverse impact on surrounding property.

c. Setbacks.

All required setbacks of Specific Plan No. 01-02 and the Uniform Building Code have been complied with as explained in the Planning Commission staff report for Site Development Review No. 13-008 dated January 7, 2014.

d. Height of buildings.

The maximum building height in Specific Plan No. 01-02 is restricted to 35 feet. The proposed dwelling units do not exceed the maximum height requirements as all proposed homes are approximately 25 feet tall or less, so there will be no adverse impact on surrounding property.

1 e. Service areas.

2  
3 The City requirements for trash service areas applicable to this  
4 project are the standard residential curb-side pick up and therefore,  
5 there will be no adverse impact on surrounding property.  
6

7 f. Walls.

8  
9 The applicant is proposing to use wooden fences on the interior  
10 side-yards and the front yard, with decorative split-face block on all  
11 street side-yards throughout the project in compliance with the  
12 approved conditions and Specific Plan No. 01-02 standards.  
13

14 g. Landscaping.

15  
16 The landscaping requirements for this project include front yard  
17 landscaping and slopes. All paseos, street trees and other off-site  
18 landscaping are required under Site Development Review No. 13-  
19 008. Landscaping will be provided for each home in compliance  
20 with the Conditions of Approval for TTM No. 32717 and Specific  
21 Plan No. 01-02 in that all front yards will have a variety of trees,  
22 shrubs and sod, and all slopes will be hydroseeded for erosion  
23 control.  
24

25 3. Underground utilities.

26  
27 All utilities will be underground in compliance with City standards and the  
28 Conditions of Approval for TTM No. 32717.  
29

30 4. Proposed lighting is located as to reflect the light away from adjoining  
31 properties.

32  
33 Since this is a residential development, street lights are provided per City  
34 standards which will not be directed to reflect on the homes of adjoining  
35 properties.  
36

37 5. Proposed signs will not, by size, location, color or lighting, interfere with  
38 traffic or limit visibility.

39  
40 Entry monumentation signage has been constructed at the intersection of  
41 State Street and the South Village Loop per Specific Plan No. 01-02,  
42 There is no entry monumentation under review for this project due to the  
43 fact that the entry monumentation has already been constructed at the  
44 northwest corner of Planning Area 10.  
45

1 6. All applicable public easements and rights-of-way have been dedicated or  
2 offered for dedication.  
3

4 All applicable public easements and rights-of-way have been dedicated  
5 with the final map, as reviewed and approved by the City Council and in  
6 compliance with City Standards.  
7

8 B. Condition of Approval No. 15 requires the Site Development Review to comply  
9 with the City of Hemet Residential Design Guidelines and to be architecturally  
10 compatible with adjacent residences. The Planning Commission hereby finds  
11 and determines that Site Development Review No. 13-008 satisfies this  
12 Condition of Approval as follows:  
13

14 1. The overall intent of the design guidelines is to encourage: quality  
15 residential development that utilizes innovative design concepts which  
16 foster conservation, diversity and community life; homes which have clear  
17 identifiable entries that will enhance the street scene; homes that will be  
18 built in proportion to the lot sizes; visual diversity with a variety of  
19 architectural elements; living areas being designed toward the street  
20 rather than garages; open space for recreational activity; and pedestrian  
21 friendly designs to common destinations (Single-Family Residential  
22 Design Guidelines Page 1). Upon review of the site development plans,  
23 the proposed architecture and home plans are consistent with the intent of  
24 the design guidelines. As illustrated in the Planning Commission staff  
25 report dated January 7, 2014, this project meets the intent of the design  
26 guidelines.  
27

28 2. The proposed single-family architecture is in compliance with the design  
29 guidelines outlined in Specific Plan No. 01-02 and with the Single-Family  
30 Residential Design Guidelines. Each home proposed with the project will  
31 have similar architecture styles and roofing materials, multiple building  
32 planes, garages that are not front-dominant, a 25-percent change in  
33 building materials and varied setbacks. Since the homes to the north of  
34 this project will have similar architectural styles, compliance with the  
35 neighborhood is met. In addition, the project complies with the McSweeney  
36 Farms Specific Plan (SP 01-02) requirement to provide at least a five (5)  
37 foot garage setback from the front façade of the residential building and  
38 provide building façade variations at a minimum of four (4) planes on the  
39 front and two (2) planes on the sides and rear.  
40  
41

1 C. Condition of Approval Nos. 21 and 24 impose additional site specific conditions  
2 on the Project with which the Site Development Review must comply. The  
3 Planning Commission hereby finds and determines that Site Development  
4 Review No. 13-008 satisfies the other site specific Conditions of Approval of TTM  
5 No. 32717 as follows:  
6

- 7 1. The project is conditioned that all interior streets shall have parkways  
8 adjacent to the curb. Street trees shall be planted at a minimum of one (1)  
9 tree for every 40-feet of street frontage. The applicant is providing  
10 parkway sidewalks and street trees in accordance with City standards and  
11 this condition.  
12

## 13 **SECTION 2: ENVIRONMENTAL REVIEW**

14 The Planning Commission, in light of the whole record before it, including but not limited  
15 to, the City's local CEQA Guidelines and thresholds of Significance, the  
16 recommendation of the Community Development Director as provided in the Staff  
17 Report dated January 7, 2014, all documents incorporated therein by reference, and  
18 any other evidence (within the meaning of Public Resources Code §21080(e) and  
19 §21082.2) within the record or provided at the public hearing of this matter, hereby finds  
20 and determines as follows:  
21  
22  
23

- 24 1. **CEQA.** The City Council adopted an Environmental Impact Report (EIR) by  
25 Resolution No. 3779 on November 10, 2003 for Specific Plan No. 01-02 and a  
26 Notice of Determination was filed in accordance with CEQA requirements on  
27 November 12, 2003. There has been no legal challenge brought against the  
28 project or the environmental determination. Staff has reviewed the EIR previously  
29 approved for the project in light of the applicant's submittal of Site Development  
30 Review No. 13-008. The Planning Commission has concluded that Site  
31 Development Review No. 13-008 is a subsidiary and implementing approval or  
32 permit contemplated under the larger project and that Specific Plan No. 01-02  
33 complies with the City's Zoning Ordinance, Single-Family Design Guidelines, and  
34 other applicable standards. The Planning Commission finds that Site  
35 Development Review No. 13-008 will not result in an increase in the density or  
36 intensity of the project and will not result in project changes that were not  
37 previously analyzed under the approved EIR. As such, Site Development  
38 Review No. 13-008 and any effects it may have on the environment, fall within  
39 the scope of, and were analyzed under the previously approved EIR for the  
40 project. Furthermore, based on the Planning Department staff's knowledge of  
41 the project and surrounding developments, the Planning Commission concludes  
42 that there has been no change in circumstances under which the project is being  
43 undertaken that would require additional analysis under CEQA. Finally, the  
44 Planning Commission has not been presented with any information contrary to  
45 this conclusion nor any information from which it could be fairly argued that Site

---

**Planning Commission Resolution Bill No. 14-001**  
**SITE DEVELOPMENT REVIEW NO. 13-008 – WOODSIDE HOMES**

1 Development Review No. 13-008 involves new significant effects on the  
2 environment or substantially increases the severity of a previously identified  
3 effect. Based thereon, the Planning Commission makes the following findings in  
4 accordance with CEQA Guidelines Section 15162:  
5

6 A. Site Development Review No. 13-008 does not propose substantial  
7 changes to Specific Plan No. 01-02 that would require major revisions to  
8 the existing EIR.  
9

10 B. No substantial changes have occurred in the circumstances under which  
11 Specific Plan No. 01-02 or Site Development Review No. 13-008 is being  
12 undertaken that would require major revisions to the EIR.  
13

14 C. No new information has been presented from which it may be fairly argued  
15 that Site Development Review No. 13-008 may involve a new significant  
16 environmental effect, or a substantial increase in the severity of previously  
17 identified significant effects, or demonstrated that a mitigation measure  
18 previously found to be infeasible is now feasible.  
19

- 20  
21 3. **MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP).** The  
22 project is found to be consistent with the MSHCP. The project is located outside  
23 of any MSHCP criteria area and mitigation is provided through payment of the  
24 MSHCP Mitigation Fee.  
25

26 **SECTION 3: PLANNING COMMISSION ACTIONS**  
27

- 28 1. **NOTICE OF DETERMINATION.** In compliance with Public Resources Code  
29 §21152 and CEQA Guidelines §15075, the Community Development Director  
30 shall prepare a Notice of Determination concerning the findings made in Section  
31 2 of this Resolution, and within five (5) working days of project approval, file a  
32 Notice with the Riverside County Clerk for posting.  
33

- 34 2. **APPROVE SITE DEVELOPMENT REVIEW NO. 13-008.** Site Development  
35 Review No. 13-008, for the review of the site development and architecture for  
36 the 29 remaining single-family homes, is hereby approved as described in the  
37 site development package attached hereto as Exhibit "A" and subject to the  
38 conditions of approval set forth in Exhibit "B", attached hereto and incorporated  
39 herein by this reference. Any modification to the conditions of approval shall be  
40 in compliance with the City of Hemet Zoning Ordinance, and other applicable  
41 state and local ordinances.  
42

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**PASSED, APPROVED AND ADOPTED** this 7<sup>th</sup> day of January, 2014, by the following vote:

AYES:  
NOES:  
ABSTAIN:  
ABSENT:

\_\_\_\_\_  
John Gifford, Chairman  
Hemet Planning Commission

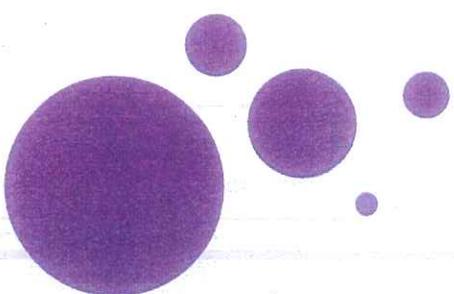
ATTEST:

\_\_\_\_\_  
Melissa Couden, Records Secretary  
Hemet Planning Commission

# **Exhibit No. 1A**

## **Development Plan**

**Planning Commission  
Public Meeting of  
January 7, 2014**



**WOODSIDE HOMES @ CHESTNUT  
TRACT 32717-2**

Woodside Homes  
11870 Pierce Street #250  
Riverside, CA 92505

City of Hemet - Planning  
RECEIVED

NOV 21 2013  
PROJECT

SDR 13-008

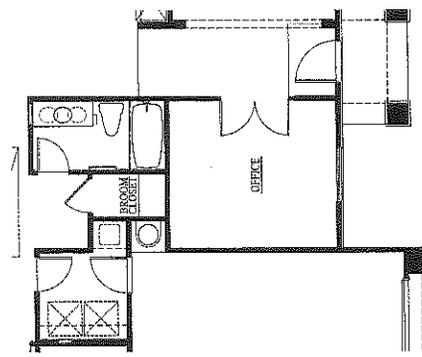
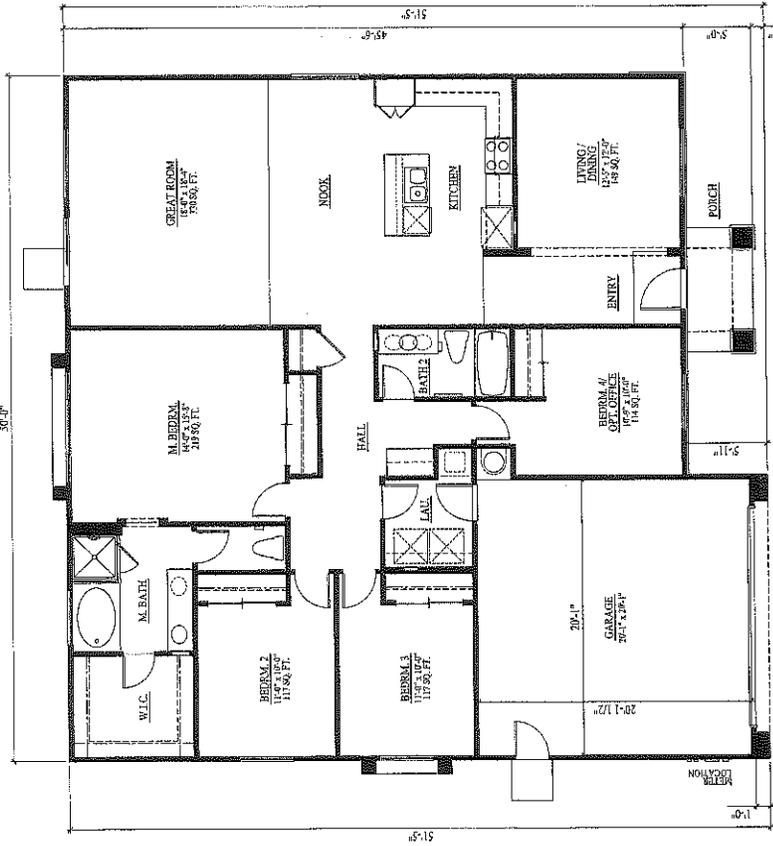
# Chestnut (32717-2)

## Table of Contents

Site Plan .....	I
Floor plans and Elevations.....	II
Line of Sight.....	III
Landscape Plan.....	IV



DATE	DESCRIPTION	BY	APP'D
10/15/11	PRELIMINARY PLAN		
11/15/11	FINAL PLAN		
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OPT. OFFICE / BROOM CLOSET

AREA TABULATION

CONDITIONED SPACE	1863 SQ. FT.
FLOOR PLAN TOTAL	
UNCONDITIONED SPACE	
GARAGE	422 SQ. FT.
PORCH - "A" & "C"	101 SQ. FT.
PORCH - "B"	45 SQ. FT.

PLAN 2 - FLOOR PLAN



Kevin L. Crook Architect, Inc.

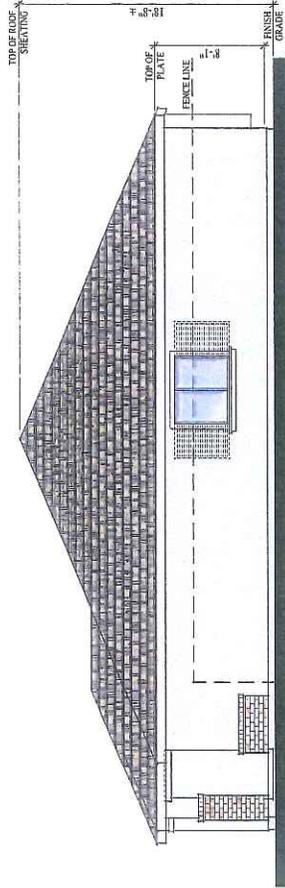
1380 Reynolds Ave., #10 Irvine, CA 92614  
 Phone: (949) 850-1234  
 Fax: (949) 850-1235  
 Email: kcrook@kcrook.com

0-1000 1/13/03

Hemet, CA

Woodside Homes

11670 Pierce Street, Suite 100  
 Hemet, CA 97331  
 Project: 98-110-1800



RIGHT ELEVATION

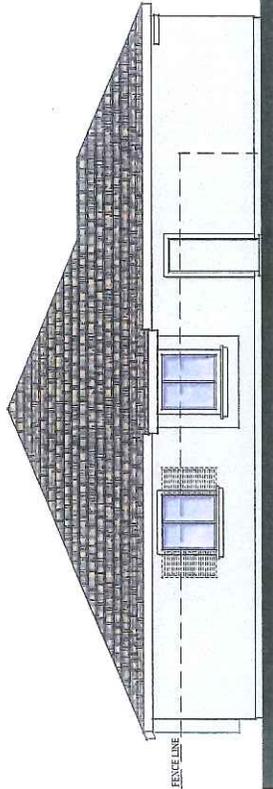
PRAIRIE  
 FINISH GRADE  
 ROOF:  
 WALLS:  
 FASCIA:  
 TRIM:  
 ACCENT:

FLAT SHAKE CONCRETE TILE  
 STUCCO  
 WOOD  
 STUCCO OVER FOAM  
 BRICK VENEER

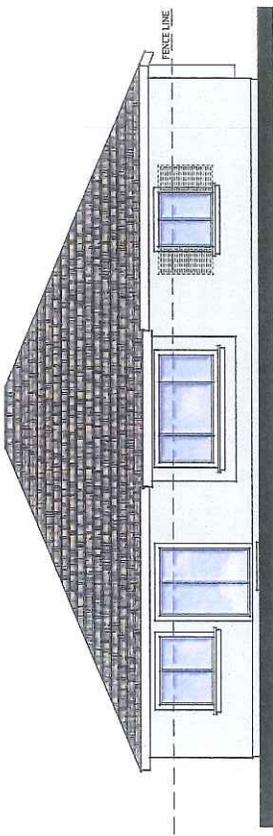
BRICK CHIMNEY  
 FINISH GRADE  
 TOP OF PLATE FINISH GRADE



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

PLAN 2A - PRAIRIE

Kevin L. Crook Architect, Inc.

1340 Riverside Ave., #110 Irvine, CA 92614  
 Phone: (949) 660-1357 Fax: (949) 660-1388  
 www.kcrook.com

Kevin L. Crook Architect, Inc. is an Equal Opportunity Employer. Minorities and women are encouraged to apply. All offers of employment are subject to background checks and drug testing.

Job #: J-13932  
 October 7, 2015

Hemet, CA

Woodside Homes

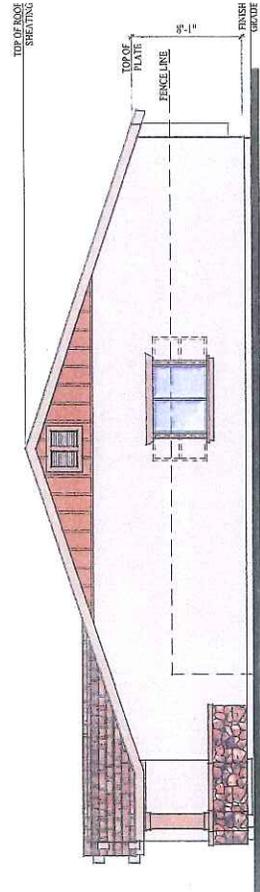
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 Riverside, CA 92506  
 Phone: 951-710-1900

D2.2





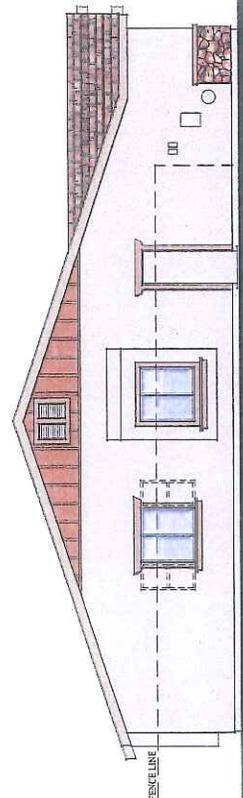
FRONT ELEVATION



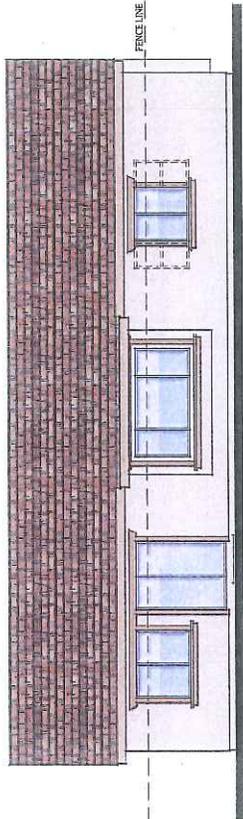
RIGHT ELEVATION

- CRAFTSMAN**  
 ROOF: FLAT SHAKE CONCRETE TILE  
 WALLS: STUCCO  
 FASCIA: WOOD OVER FOAM  
 ACCENT: STONE VENEER  
 BATTEN BOARD SIDING AT GABLES  
 WOOD OUTLOOKERS

FINISH GRADE  
 FENCE LINE  
 TOP OF FLATE  
 TOP OF ROOF SHEATING



LEFT ELEVATION



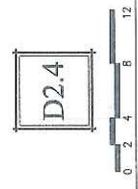
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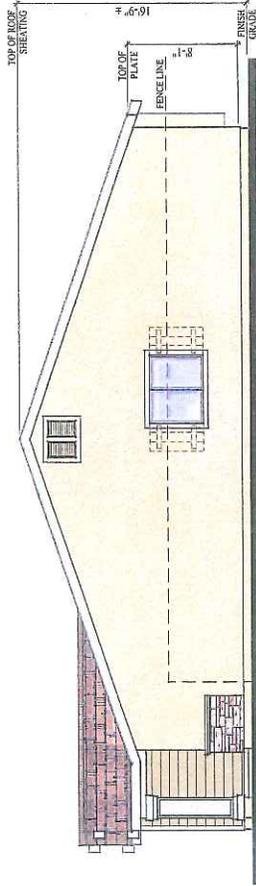
PLAN 2B - CRAFTSMAN

Kevin L. Crook Architect, Inc.  
 1380 Broadway, Suite 711  
 Denver, CO 80202  
 Phone: (303) 733-7111 Fax: (303) 733-7159  
 www.klca.com

Job #: 13032  
 October 7, 2013

Hemet, CA  
 Woodside Homes  
 11870 Pierce Street, Suite 100  
 Upland, CA 91786  
 Phone: 951-710-1500



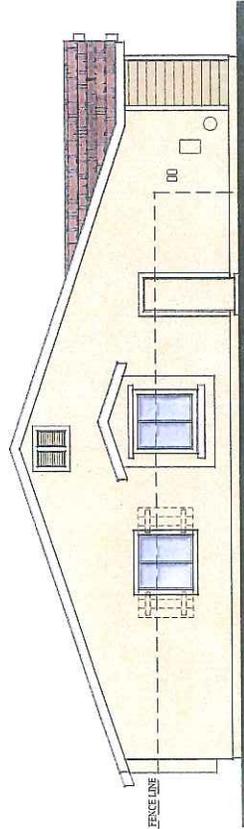


RIGHT ELEVATION

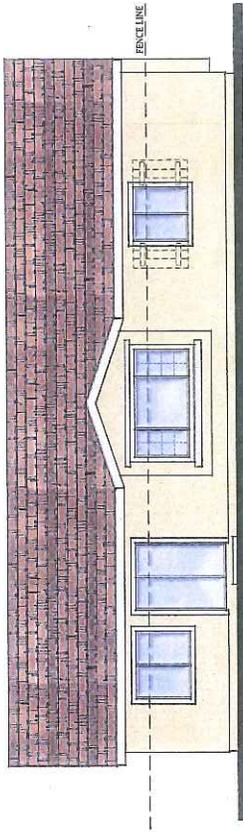
CALIFORNIA RANCH

- DESIGN ELEMENTS
- ROOF: FLAT CONCRETE TILE
  - WALLS: STUCCO
  - FASCIA: CEMENT-FIBER SIDING & TRIM
  - TRIM: WOOD
  - ACCENT: STONE OVER FOAM
  - WOOD OUTLOOKERS

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LEFT ELEVATION



REAR ELEVATION



FRONT ELEVATION

PLAN 2C - CALIFORNIA RANCH

Kevin L. Crook Architect, Inc.  
 1380 Regency Avenue, #110, Irvine, CA 92614  
 Phone: (949) 261-1100  
 www.klca.com

Doc # 13992  
 October 7, 2013

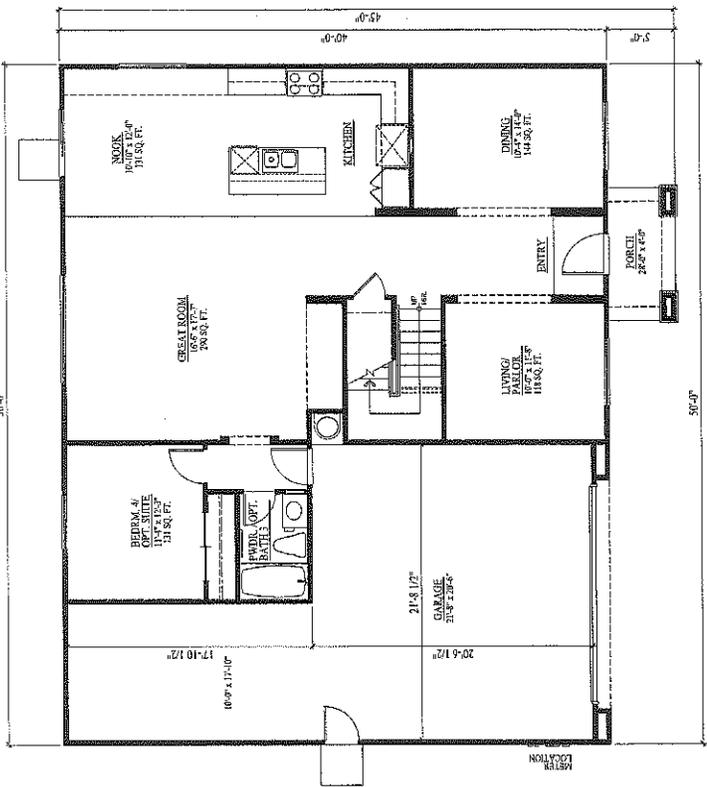
Hemet, CA

Woodside Homes

11570 Pierce Street, Suite 100  
 Hemet, CA 97331  
 Phone: 851-710-1390

D2.5





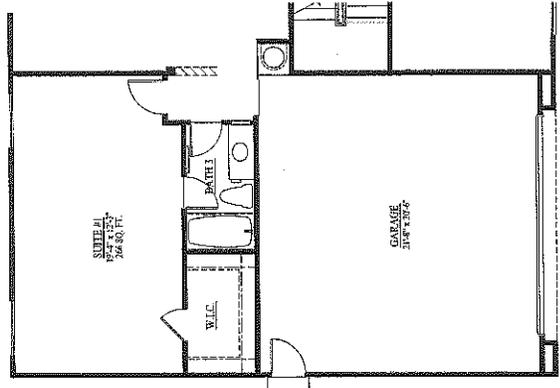
PLAN 3 FIRST FLOOR PLAN

AREA TABULATION

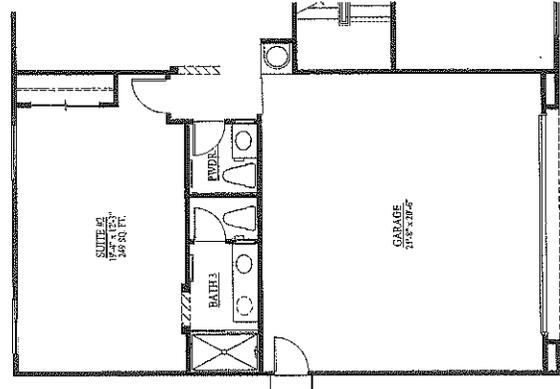
CONDITIONED SPACE	AREA
FIRST FLOOR AREA	1226 SQ. FT.
SECOND FLOOR AREA	1050 SQ. FT.
TOTAL DWELLING	2276 SQ. FT.
OPTIONAL SUITE	+136 SQ. FT.
TOTAL DWELLING	2512 SQ. FT.
UNCONDITIONED SPACE	
PORCH "A" & "C"	151 SQ. FT.
PORCH "B"	657 SQ. FT.
COURT	657 SQ. FT.



Hemet, CA  
**Woodside Homes**  
 11870 Pierce Street, Suite 100  
 Livermore, CA 94550  
 Phone: 925-770-1300

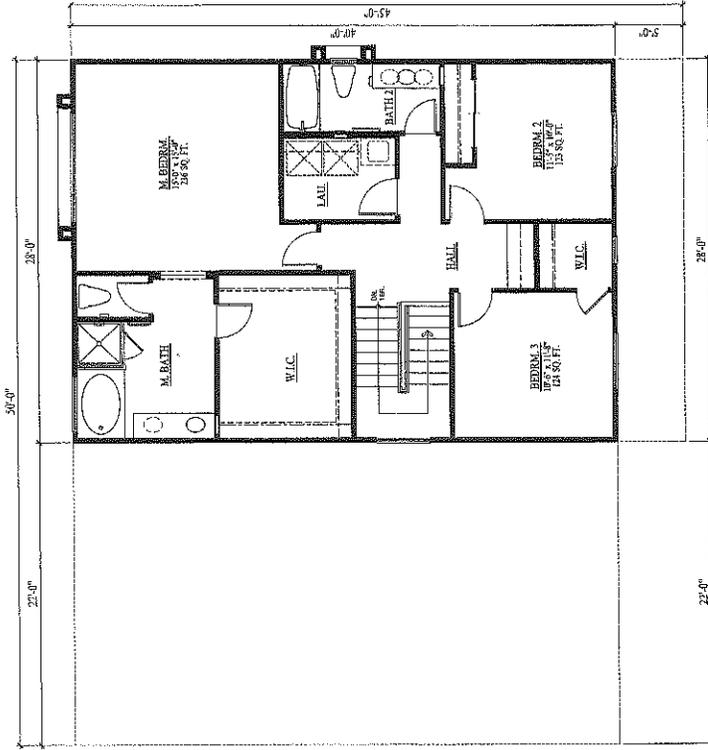


OPTIONAL SUITE #1



OPTIONAL SUITE #2

**Kevin L. Crook Architect, Inc.**  
 1300 Redwood Ave., #100 Irvine, CA 92614  
 Phone: (949) 660-1657 Fax: (949) 660-1859  
 100 # 1-3903  
 October 7, 2013



PLAN 3 SECOND FLOOR PLAN

Kevin L. Crook Architect, Inc.  
 1200 Reynolds Ave., #110 Irvine, CA 92614  
 Phone: (949) 261-1100 Fax: (949) 261-1109  
 www.klca.com

See also: 13953  
 October 7, 2013

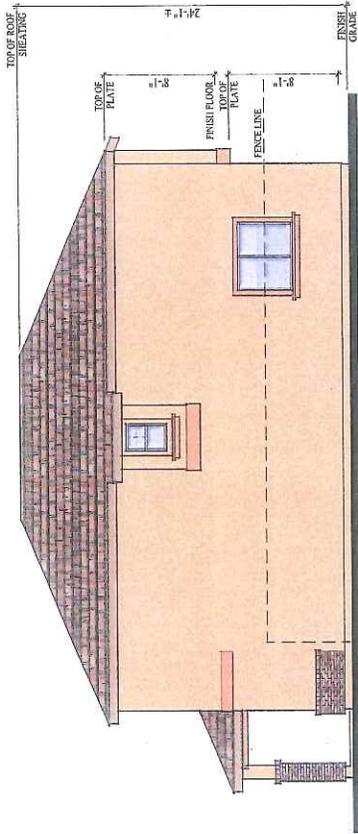
Hemet, CA

Woodside Homes

11870 Phoebe Street, Suite 100  
 Hemet, CA 97331  
 Phone: 951-710-1300

D3.2

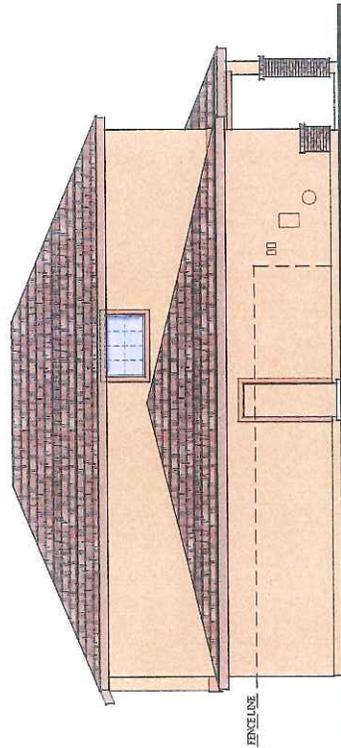




RIGHT ELEVATION

**PRAIRIE**  
 ROOF ELEMENTS  
 WALLS: STUCCO  
 FASCIA: STUCCO OVER FOAM  
 ACCENT: BRICK VENEER

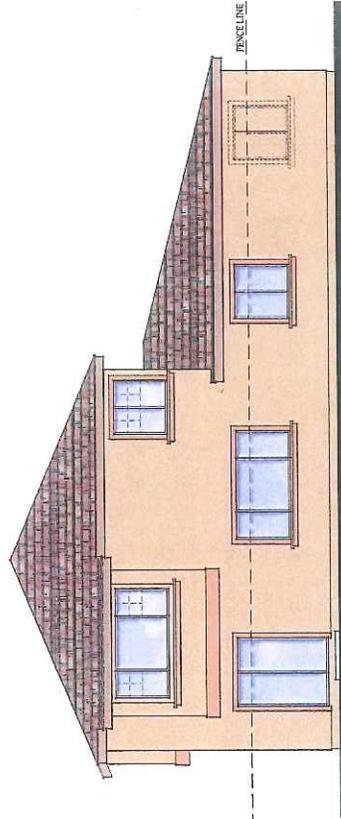
NOTE: ALL WALLS TO BE FINISHED WITH STUCCO OVER FOAM. ACCENT OF WOOD, ALUMINUM OR BRICK. SEE PLAN FOR MATERIAL SPECIFICATIONS.



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION

PLAN 3A PRAIRIE

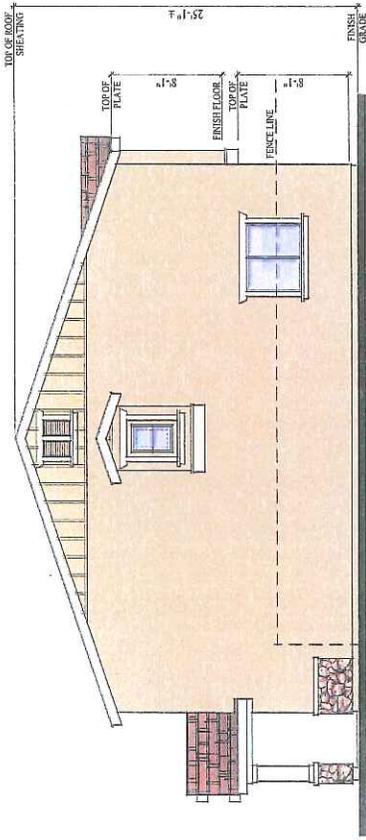
Kevin L. Crook Architect, Inc.  
 1350 Reynolds Ave., #110 Irvine, Ca. 92614  
 Phone: (949) 660-1666  
 Fax: (949) 660-1668  
 Website: www.klca.com  
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Hemet, CA  
**Woodside Homes**  
 11870 Pierce Street, Suite 100  
 Rowland, CA 92580  
 Phone: 951-710-1800

Job # 1305  
 October 7, 2013

D3.3

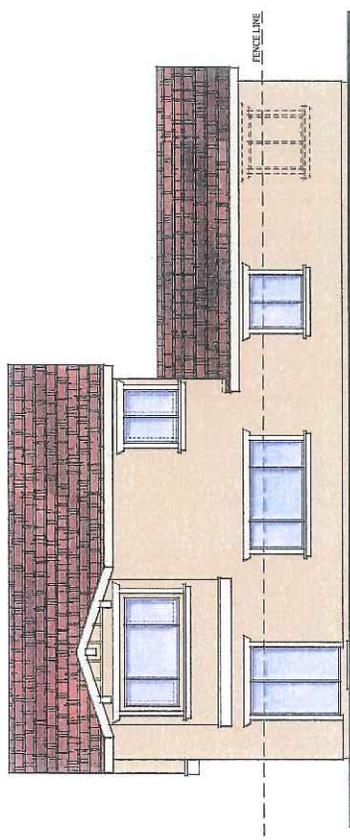




RIGHT ELEVATION

**CRAFTSMAN**  
 ROOF: FLAT SHAKE CONCRETE TILE  
 WALLS: STUCCO  
 TRIM: STUCCO OVER FOAM  
 ACCENT: STONE VENEER  
 BATTEN BOARD SIDING AT GABLES  
 WOOD OULOOKERS

NOTE: SEE PLAN FOR WALL THICKNESS AND DOOR SIZES.



LEFT ELEVATION

REAR ELEVATION



FRONT ELEVATION

PLAN 3B - CRAFTSMAN

Kevin L. Crook Architect, Inc.  
 1300 Alvarado Parkway East  
 Suite 100  
 Fremont, CA 94538  
 Phone: (925) 841-1300  
 Fax: (925) 841-1588  
 www.klca.com

Job #: 13092  
 October 7, 2013

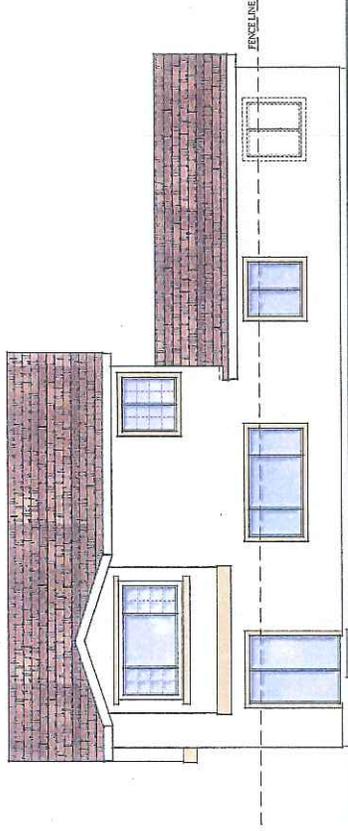
Hemet, CA  
**Woodside Homes**  
 11870 Pleace Street, Suite 100  
 Hemet, CA 97331  
 Phone: 951-571-1900

D3.4

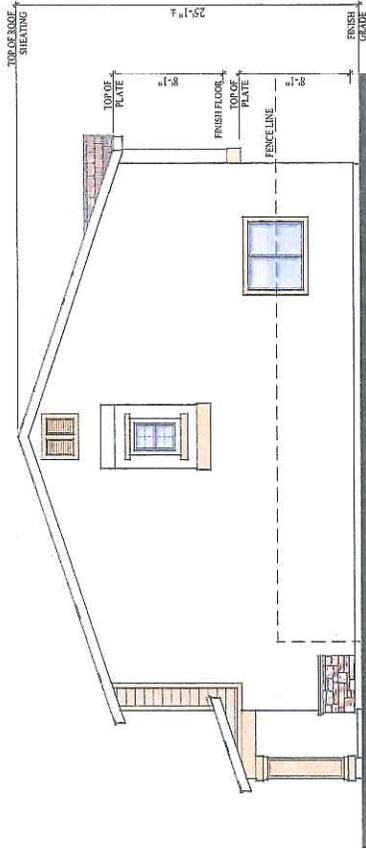




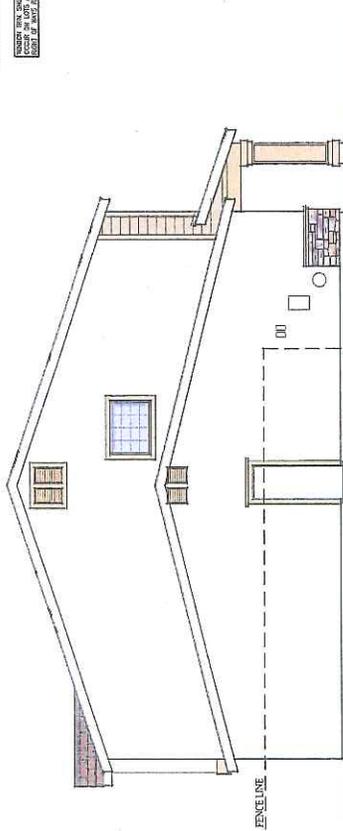
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

CALIFORNIA RANCH

DESIGN ELEMENTS

- ROOF: FLAT CONCRETE TILE
- WALLS: CEMENT-FIBER SIDING & TRIM
- FASCIA: WOOD
- TRIM: STUCCO OVER FOAM
- ACCENT: WOOD OUTLOOKERS

DESIGN BY KEVIN L. CROOK ARCHITECT, INC.  
 1380 BROADWAY, SUITE 100  
 HERNET, CA 92514  
 (951) 963-1188  
 WWW.KLCAARCH.COM

PLAN 3C CALIFORNIA RANCH

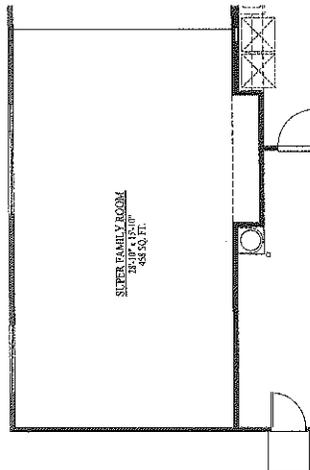
Kevin L. Crook Architect, Inc.  
 1380 Broadway, Suite 100, Irvine, CA 92614  
 Phone: (949) 963-1188  
 Fax: (949) 963-1189  
 www.klcaarch.com

Job #: 13092  
 October 7, 2013

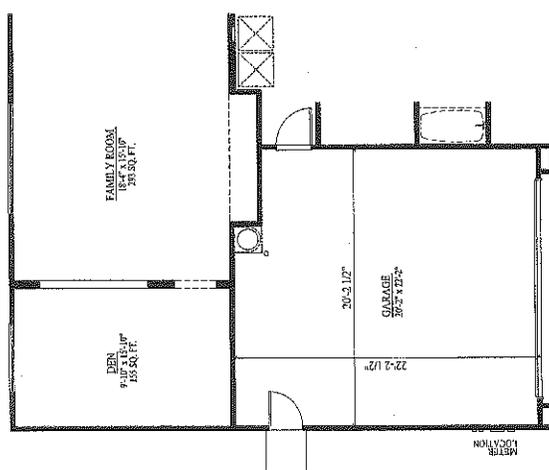
Hemet, CA  
**Woodside Homes**  
 11870 Pierce Street, Suite 100  
 Hemet, CA 92343  
 Phone: 951-718-1000

D3.6

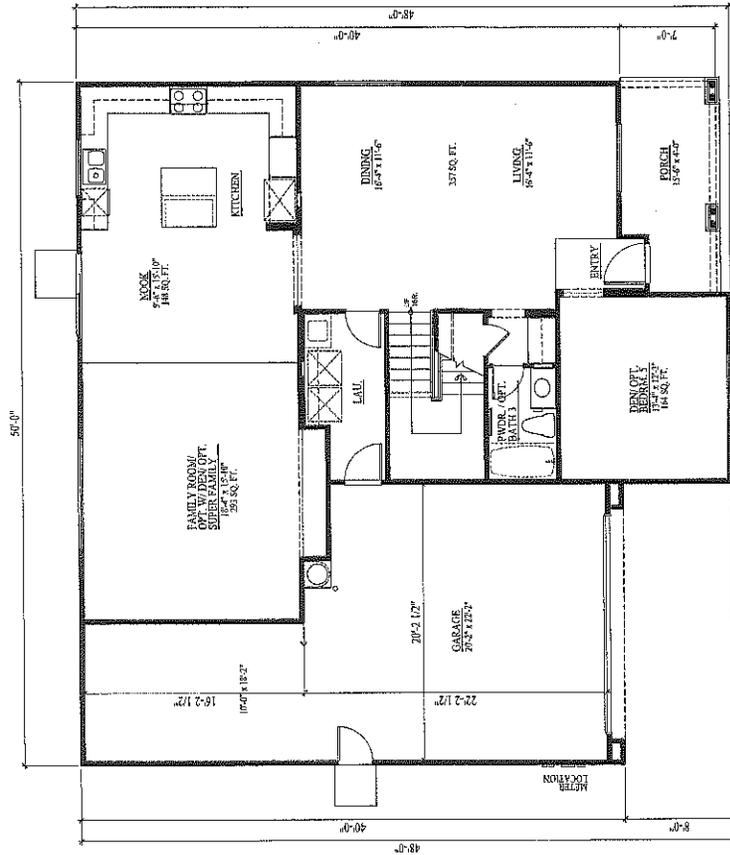




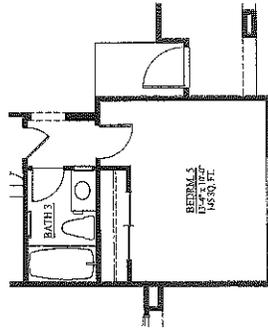
OPTIONAL SUPER FAMILY ROOM



OPTIONAL FAMILY ROOM W/ DEN



PLAN 4 FIRST FLOOR PLAN



OPTIONAL BEDROOM 5 & BATH 3

AREA TABULATION

CONDITIONED SPACE	1478 SQ. FT.
FIRST FLOOR AREA	1205 SQ. FT.
SECOND FLOOR AREA	2883 SQ. FT.
TOTAL DWELLING	4173 SQ. FT.
OPTIONAL SUPER FAMILY ROOM W/ DEN	2854 SQ. FT.
TOTAL DWELLING W/ OPTION	621 SQ. FT.
UNCONDITIONED SPACE	100 SQ. FT.
GARAGE	240 SQ. FT.
PORCH	120 SQ. FT.
ENTRY	100 SQ. FT.
SUPER FAMILY/ FAMILY W/ DEN	450 SQ. FT.

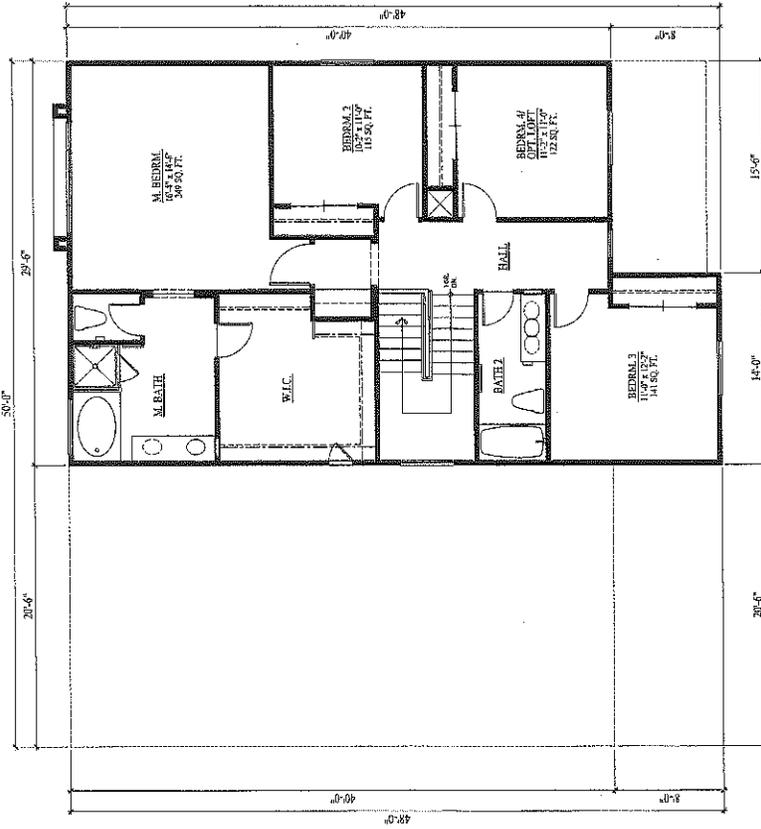
Kevin L. Crook Architect, Inc.  
 1330 Reynolds Ave., #110 Irvine, Ca. 92614  
 Phone: (949) 453-1059  
 www.klca.com

Job #: 13002  
 October 7, 2013

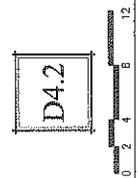
Hemet, CA  
**Woodside Homes**  
 11970 Pierre Street, Suite 100  
 Hemet, CA 97331  
 Phone: 951-710-1930

D4.1





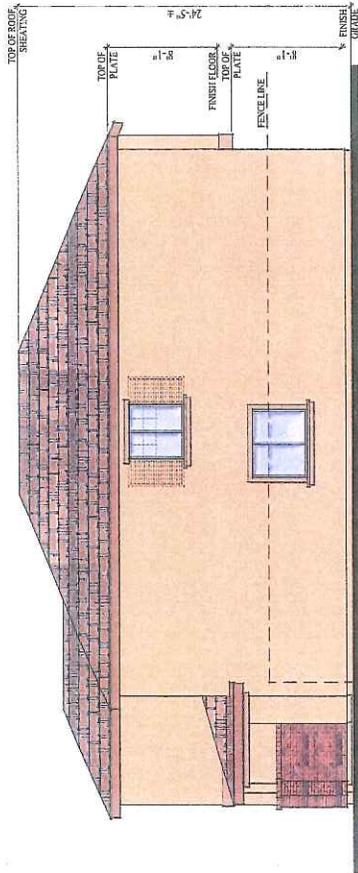
PLAN 4 SECOND FLOOR PLAN



Kevin L. Crook Architect, Inc.  
 1320 Woodside Ave., #101  
 Menlo Park, CA 94025  
 Phone: (650) 321-1500  
 Fax: (650) 321-1503  
 www.klca.com

Hemet, CA  
 Woodside Homes  
 11870 Pierce Street, Suite 100  
 Hemet, CA 97330  
 Phone: 951-718-1900

Job #: 13222  
 October 7, 2013

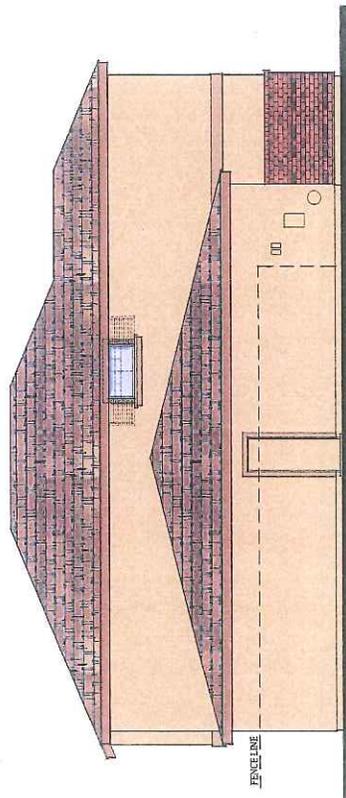


RIGHT ELEVATION

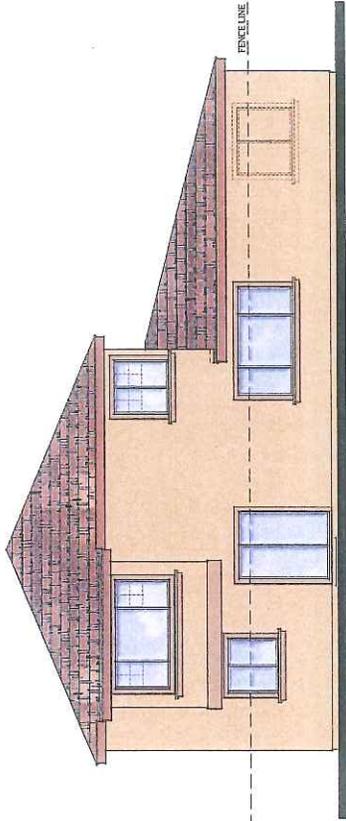
PRAIRIE  
 HENCK ELEMENTS  
 ROOF:  
 WALLS:  
 TRIM:  
 ACCENT:

FLAT SHAKE CONCRETE TILE  
 STUCCO  
 STUCCO OVER FOAM  
 BRICK VENEER

FINISH GRADE  
 FINISH GRADE  
 FINISH GRADE



LEFT ELEVATION



REAR ELEVATION



FRONT ELEVATION

PLAN 4A PRAIRIE

Kevin L. Crook Architect, Inc.  
 1380 Woodside Ave., # 110, Fremont, CA 94538  
 Phone: (925) 885-1100 Fax: (925) 885-1100  
 www.klca.com

Job #: 13092  
 October 7, 2013

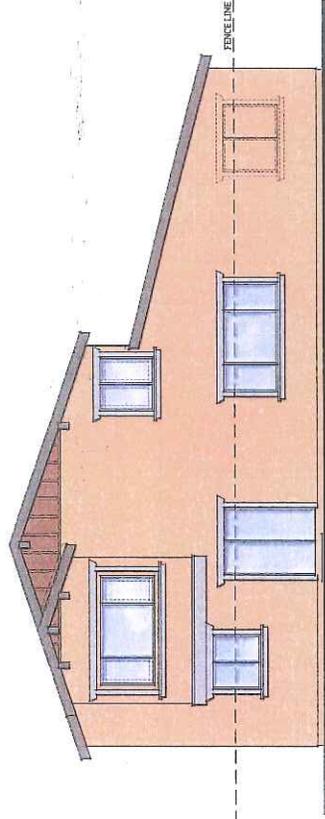
Hemet, CA  
**Woodside Homes**  
 11870 Pierce Street, Suite 100  
 Phone: 851-710-1900

D4.3

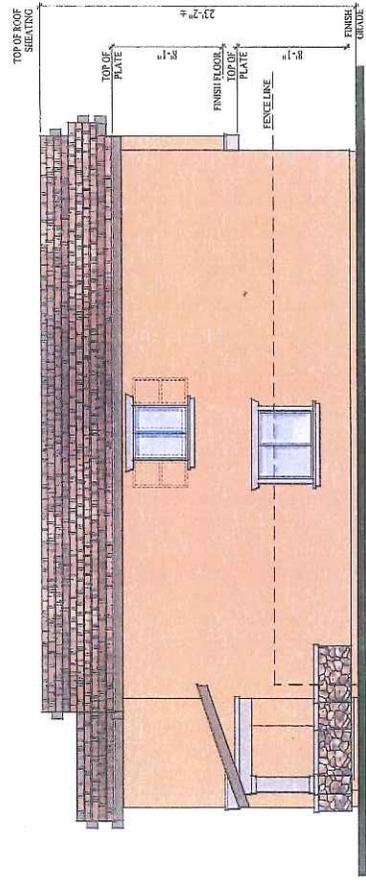




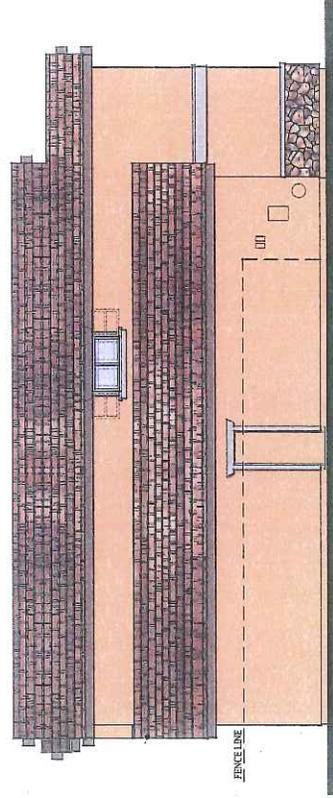
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

**CRAFTSMAN**  
 REGIONAL ELEMENTS  
 ROOF: FLAT SHAKE CONCRETE TILE  
 WALLS: STUCCO  
 TRIM: STUCCO OVER FOAM  
 ACCENT: STONE VENEER  
 BATTEN BOARD SIDING AT GABLES  
 WOOD OUTLOOKERS

NOTE: ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE

PLAN 4B CRAFTSMAN

Kevin L. Crook Architect, Inc.  
 1500 Reynolds Ave., Suite 200  
 Phoenix, AZ 85024  
 Phone: (602) 998-1888  
 www.klca.com

Job #: 13092  
 October 7, 2013

Hemet, CA

Woodside Homes

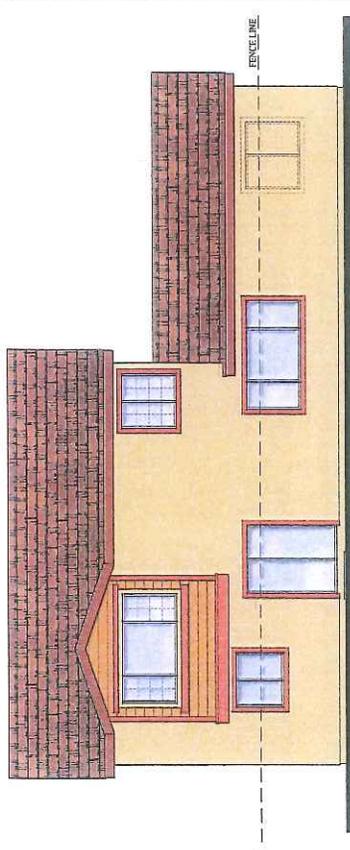
11570 Pierce Street, Suite 100  
 Hemet, CA 97331  
 Phone: 951-710-1800

D4.4

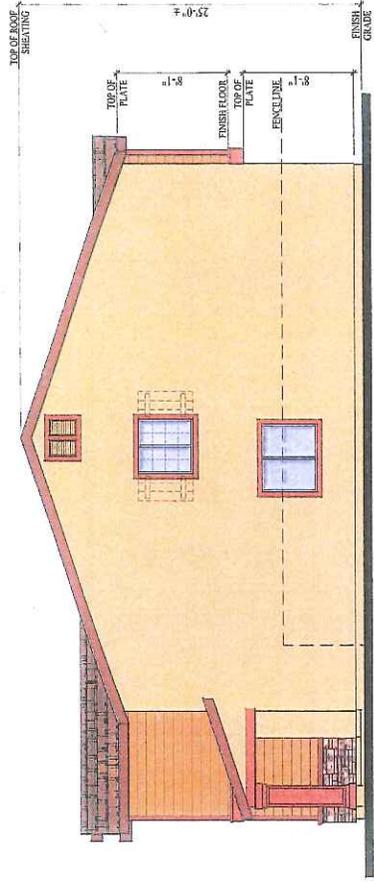




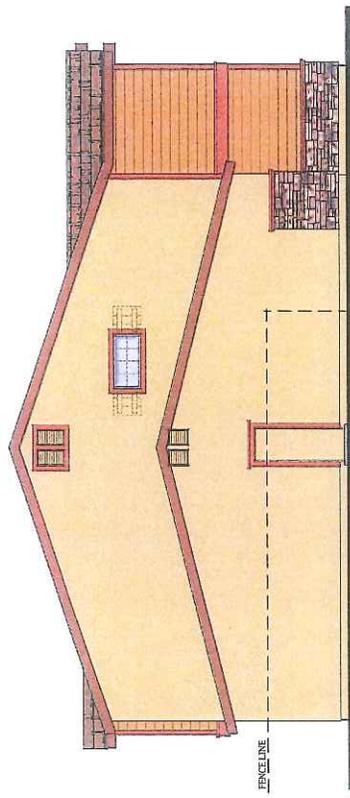
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

**CALIFORNIA RANCH**  
 FINISH ELEMENTS  
 ROOF: FLAT CONCRETE TILE  
 WALLS: FLIGHT CLAY  
 CEMENT-FIBER SIDING & TRIM  
 WOOD  
 FASCIA: WOOD  
 STUCCO OVER FOAM  
 TRIM: STUCCO  
 ACCENT: STUCCO  
 WOOD OUTLOOKERS

NOT TO SCALE  
 ALL DIMENSIONS ARE IN FEET AND INCHES  
 UNLESS OTHERWISE SPECIFIED

PLAN 4C - CALIFORNIA RANCH

Kevin L. Crook Architect, Inc.  
 1386 Park Ave. Suite 100  
 Phone: (949) 662-1387 Fax: (949) 662-1389  
 www.klca.com

Job #: 13092  
 October 7, 2013

Hemet, CA

Woodside Homes

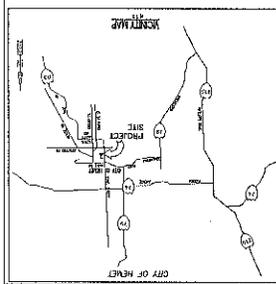
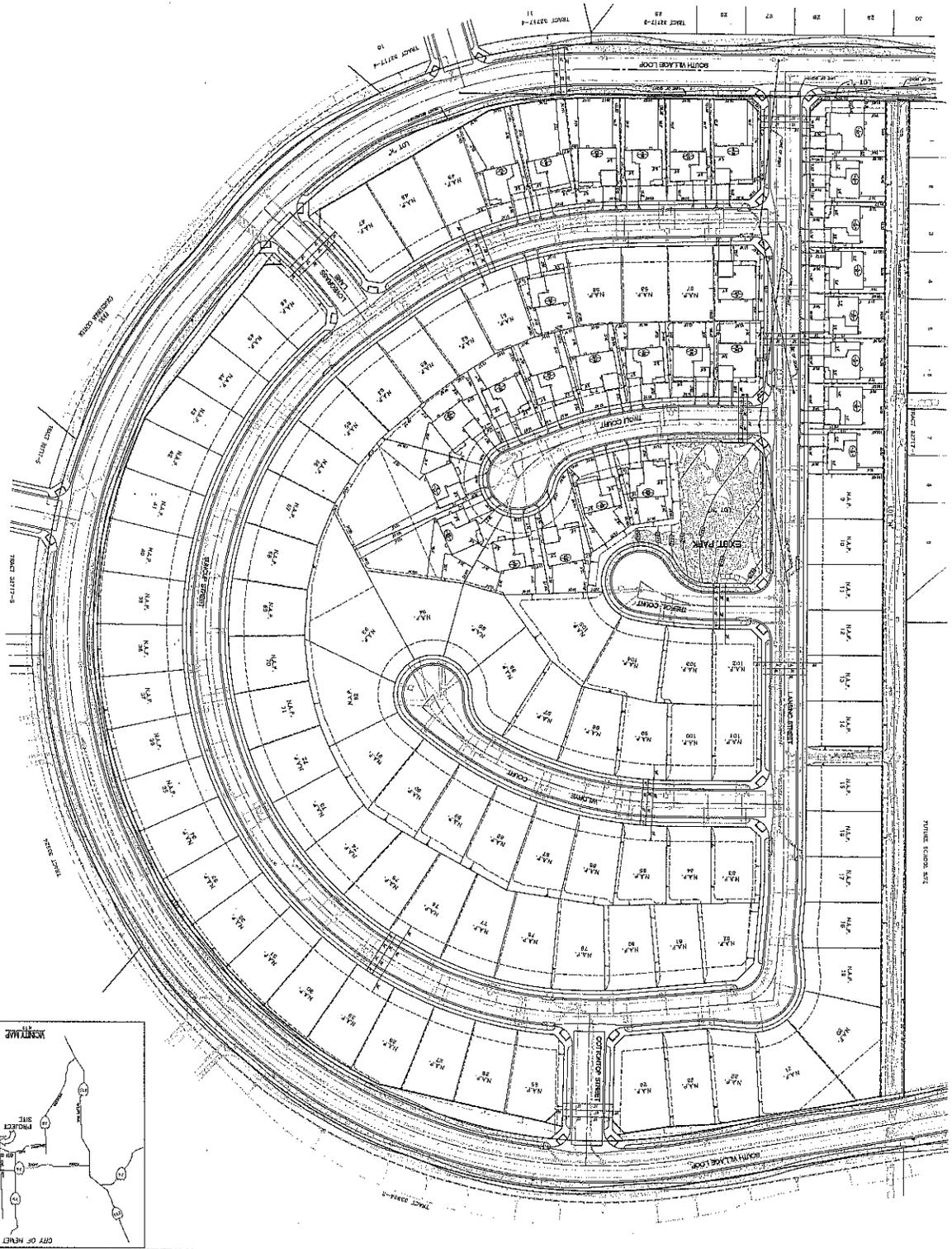
11870 Parcels Street, Suite 100  
 Phone: 951-710-1900

D4.6



NO. 1	DATE	REVISIONS	APPROVED

TRACT MAP NO. 32717-2  
 LINE OF SIGHT EXHIBIT  
 LOTS 1-8; 50-56; 60; 106-118





**Exhibit  
No. 1B  
Conditions of  
Approval**

**Planning Commission  
Public Meeting of  
January 7, 2014**



CITY OF HEMET

**DRAFT**  
**CONDITIONS OF APPROVAL**

**PLANNING COMMISSION DATE:** January 7, 2014

**PROJECT NO.:** Site Development Review No. 13-008  
**APPLICANT:** Woodside Homes  
**AGENT:** Trent Heiner  
**LOCATION:** Southwest corner of State Street and South Village Loop  
**DESCRIPTION:** Design and review of the 29 remaining single family residential homes within Tract No. 32717-2  
**OCCUPANCY:** This project has been reviewed as a residential occupancy Type, any other use will require further review.

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

**STANDARD CONDITIONS**

The following conditions of approval were approved by the City Council as standard conditions of approval for all projects. Questions regarding compliance with these conditions should be directed to the Planning Department at (951) 765-2375.

General Requirements

1. Site Development Review No. 13-008 shall become null and void on **January 7, 2016** (two calendar years from the date of approval), unless use in reliance on the approved Site Development Review is established prior to the expiration date. A time extension may be granted by the Planning Commission in accordance with Hemet Municipal Code and the Subdivision Map Act, provided a written request for a time extension is submitted the Planning Department prior to the expiration date. No formal notice of expiration will be given by the City.
2. Approval of Site Development Review No. 13-008 shall become effective on **January 18, 2014** (10 calendar days after action by the Planning Commission) unless appealed to the City Council. The appeal shall be in writing and shall be accompanied by the required fee.

3. The conditions of approval of this project shall supersede all conflicting notations, specifications, dimensions, typical sections, and the like, which may be shown on the tentative project plans.
4. This project site shall be developed in accordance with the approved plan(s) and the conditions contained herein.
5. This project shall comply with all sections of the Zoning and Subdivision Ordinances and all other applicable Local regulations in effect at the time of the building permit application and/or time of recordation, including the I.C.B.O. California Building Code, California Fire Code, and City and State Handicapped Accessibility Requirements (California Code of Regulations, Title 24).
6. Prior to or concurrent with the submittal of building plans for plan check review on this Project, the conditions of approval contained herein shall be photocopied onto the first sheet of the building plans. A copy of the building plans shall be submitted to the Planning Department prior to the issuance of building permits to verify compliance with the conditions of approval and the approved plans.
7. Prior to the issuance of building permits, the Applicant shall be subject to all applicable development fees at the rate in effect at the time of building permit application. Such fees may include, but not be limited to: Park Fees, School Fees, Master Plan Storm Drainage Fees, Permit and Plan Checking Fees, Water and Sewer Service Fees, and Capital Facility Fees.
8. Construction activity shall meet the requirements of Hemet Municipal Code Chapter 30, Article II.
9. Prior to any grading or drainage activity, a grading and/or drainage plan shall be prepared and submitted to the City Engineer and Planning Department for review and approval. No grading or drainage work shall occur without a grading permit and/or the permission of the City Engineer.
10. The Applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the

California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that Applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the Applicant of any Action brought and City shall cooperate with Applicant in the defense of the Action.

11. The Applicant shall be required to remove, replace and/or repair any existing appurtenances damaged or broken during construction. Replacement and repairs shall be in accordance with the City of Hemet Standard Specifications for Public Works Construction.

#### Planning Requirements

12. The conditions of approval of this project shall be completed in addition to the underlying conditions of approval for Tentative Tract Map No. 32717 approved by the Planning Commission on April 5, 2005 (Resolution No. 05-14).
13. All neighborhood paseo's located in Planning Areas 10 and 11 shall be constructed prior to the issuance of the 15<sup>th</sup> building permit of Site Development Review No. 13-008.
  - a. Paseo design submitted to the Planning Division for review and approval: Variations on the paseo shall be accomplished through the use of crib walls, pocket areas for benches, and rest areas. Care shall be given to sidewalk width and material to promote a variety of active uses – for example, a 6-foot sidewalk with a 4-foot adjacent D&G pathway.
14. In the event that a Specific Plan Amendment is not submitted or approved for the modification and timing to Planning Area 35 (Equestrian Center), no permits shall be issued for Phase II of the McSweeney Farms Specific Plan until the equestrian center is constructed and finalized.
15. All stone, brick other material accents on the front elevations shall return to the fence line on all side elevations.
16. Lot Nos. 50, 51, 53 and 54 shall provide enhanced second story elevations to be reviewed and approved by the Community Development Director.
17. All corner lots shall provide enhanced street side elevations to be reviewed and approved by the Community Development Director.

18. All street trees shall be 24" box and installed prior to the Certificate of Occupancy. Street tree species shall be approved by the Planning Division prior to building plan check.
19. Landscape, fencing and irrigation plans for each lots shall be prepared by a licensed landscape architect and be consistent with the Preliminary Landscape Plan submitted with Site Development Review No. 13-008. Plans shall be submitted and approved by the Planning Division prior to the issuance of building permits, and be in accordance with the Hemet Municipal Code Article XLVII, regarding water efficient landscape requirements.
20. Block walls or fencing constructed adjacent to street side yards shall have a minimum landscape area of 2.5 feet between the planting of vines and shrubs adjacent to the street side yard wall.

***Please contact the BUILDING DEPARTMENT for compliance with the following conditions:***

Building Code Requirements

21. Prior to occupancy, smoke detectors shall be installed in accordance with California Residential Code, Section R314.3.
22. As part of the plan submittal, a detailed structural analysis, in compliance with Chapter 16 of the California Building Code for the building's intended use, shall be provided.
23. The electrical, plumbing and mechanical systems shall be in accordance with all applicable codes adopted by the City at the time of building permit issuance.
24. Project shall comply with all Green Building Code requirements adopted by the City at the time of building permit issuance.

Setbacks and Openings

25. Indicate side yard clearance at Lot 115 next to 116.

Agency Approvals

26. Prior to the issuance of a building permit, Eastern Municipal Water District approval shall be obtained.

General

27. Utilities shall be underground.

Security

28. All exterior doors shall be constructed of solid wood core, minimum of 1 and 3/4-inch thick or of metal construction.
29. Doors utilizing a cylinder lock shall have a minimum five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of 1-inch.
30. All exterior sliding glass doors or windows shall be equipped with metal guide tracks at the top and bottom and shall be constructed so that the door or window cannot be lifted from the track when in the closed or locked position.

***Please contact the PUBLIC WORKS DEPARTMENT for compliance with the following conditions:***

Public Works Requirements

31. This project, SDR 13-008, shall be in full conformance with the approved Conditions of Approval for Tract 32717-2.

**END**

**Attachment**

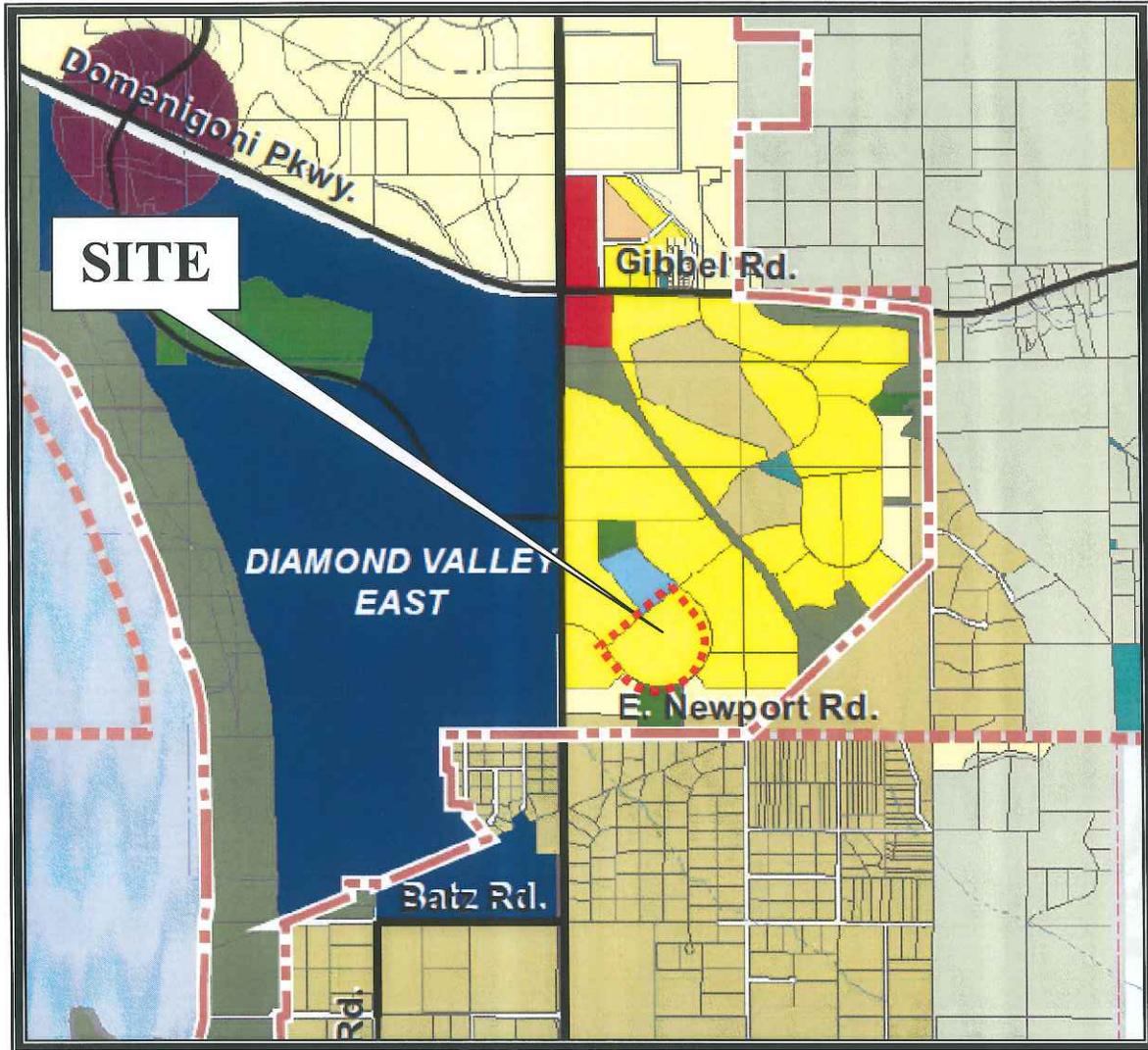
**No. 2**

**General Plan Land  
Use Designation Map**

**Planning Commission  
Public Meeting of  
January 7, 2014**

# SITE DEVELOPMENT REVIEW NO. 13-008

## GENERAL PLAN LAND USE DESIGNATION



### Land Use Designations

<b>RR</b> Rural Residential (0.0 - 2.0 du/ac)	<b>NC</b> Neighborhood Commercial (FAR 0.35)	<b>ARPT</b> Airport	<b>QP/C</b> Quasi-Public/Cultural
<b>HR</b> Hillside Residential (0.0 - 0.5 du/ac)	<b>CC</b> Community Commercial (FAR 0.40)	<b>OP</b> Office Professional (FAR 2.0)	<b>PF</b> Public Facilities
<b>LDR</b> Low Density Residential (2.1 - 5.0 du/ac)	<b>RC</b> Regional Commercial (FAR 0.50)	<b>BP</b> Business Park (FAR 0.60)	<b>SCH</b> School
<b>LMDR</b> Low Medium Density Residential (5.1 - 8.0 du/ac)	<b>MU</b> Mixed Use (Varies)	<b>I</b> Industrial (FAR 0.45)	<b>P</b> Park/Recreation
<b>MDR</b> Medium Density Residential (8.1 - 18.0 du/ac)			<b>OS</b> Open Space
<b>HDR</b> High Density Residential (18.1 - 30.0 du/ac)			<b>A</b> Agriculture
<b>VHDR</b> Very High Density Residential (30.1 - 45.0 du/ac)			

<b>NC</b> Neighborhood Commercial (FAR 0.35)	<b>ARPT</b> Airport
<b>CC</b> Community Commercial (FAR 0.40)	<b>OP</b> Office Professional (FAR 2.0)
<b>RC</b> Regional Commercial (FAR 0.50)	<b>BP</b> Business Park (FAR 0.60)
<b>MU</b> Mixed Use (Varies)	<b>I</b> Industrial (FAR 0.45)

### Environmental Management Area

Areas subject to MSHCP criteria

<b>ARPT</b> Airport	<b>QP/C</b> Quasi-Public/Cultural
<b>OP</b> Office Professional (FAR 2.0)	<b>PF</b> Public Facilities
<b>BP</b> Business Park (FAR 0.60)	<b>SCH</b> School
<b>I</b> Industrial (FAR 0.45)	<b>P</b> Park/Recreation
	<b>OS</b> Open Space
	<b>A</b> Agriculture

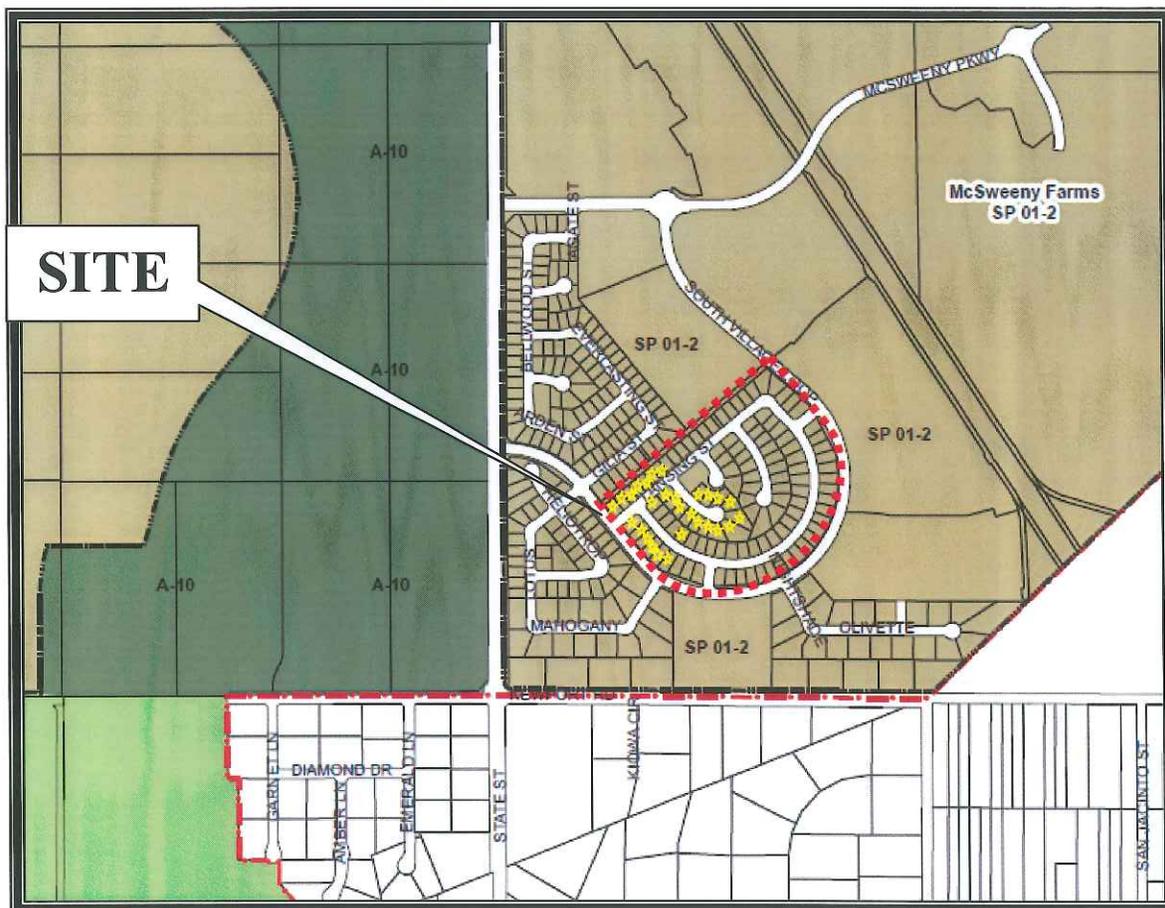
Interim Airport Overlay Zone

# Attachment No. 3 Adjacent Zoning Map

Planning Commission  
Public Meeting of  
January 7, 2014

# SITE DEVELOPMENT REVIEW NO. 13-008

## ZONING MAP



# Attachment No. 4 Aerial Map

Planning Commission  
Public Meeting of  
January 7, 2014

# SITE DEVELOPMENT REVIEW NO. 13-008

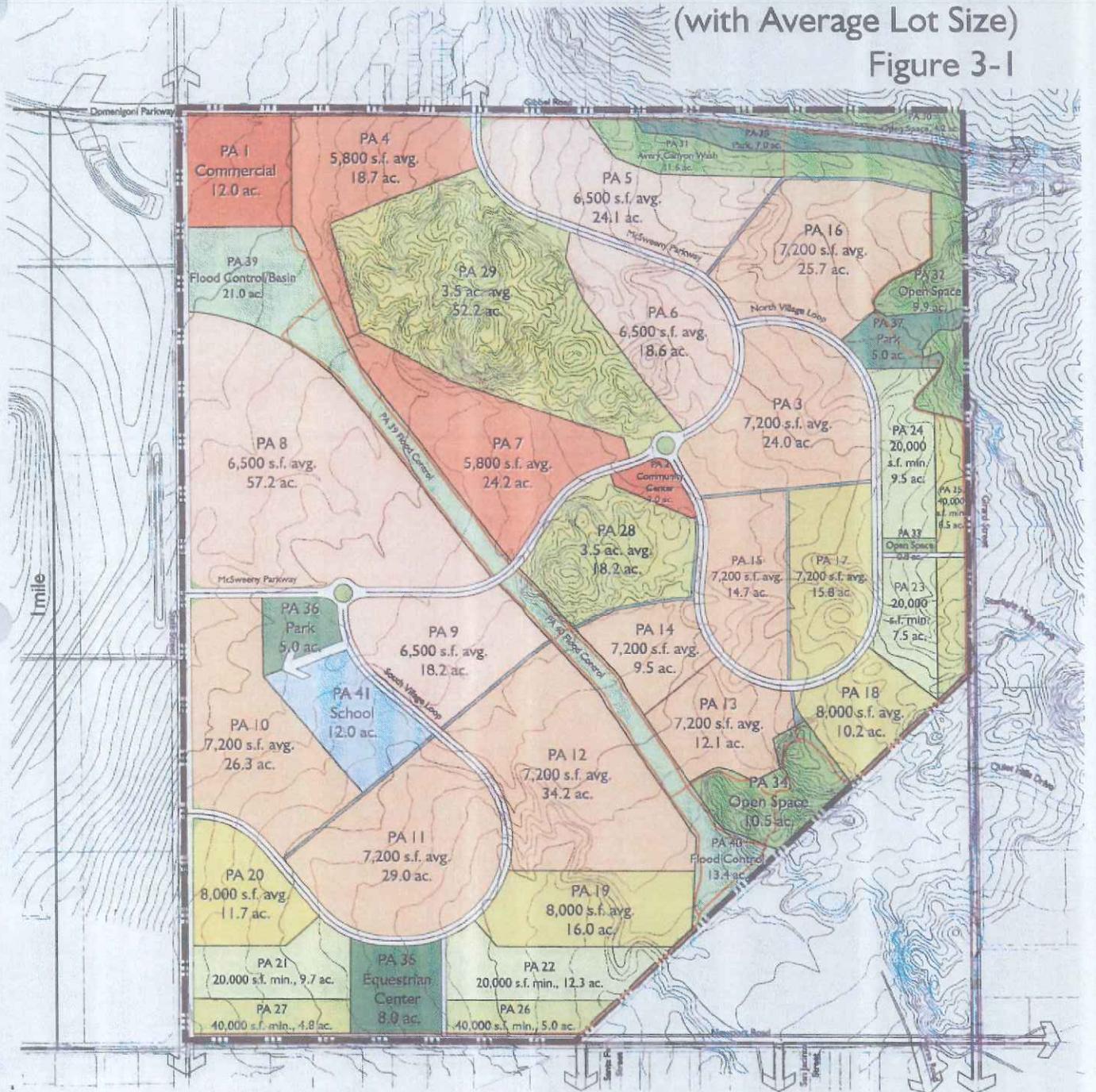
## AERIAL PHOTO



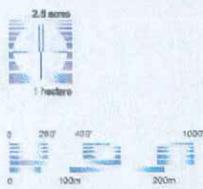
**Attachment  
No. 5  
McSweeney Farms  
Land Use Plan**

**Planning Commission  
Public Meeting of  
January 7, 2014**

# Land Use Plan (with Average Lot Size) Figure 3-1



1 mile



City of Hemet

- |  |                          |  |                       |
|--|--------------------------|--|-----------------------|
|  | Commercial               |  | Open Space            |
|  | R-1 (5,800 sq.ft. avg.)  |  | Cactus Valley Channel |
|  | R-1 (6,500 sq.ft. avg.)  |  | Park                  |
|  | R-1 (7,200 sq.ft. avg.)  |  | Equestrian Center     |
|  | R-1 (8,000 sq.ft. avg.)  |  | School                |
|  | R-1 (20,000 sq.ft. avg.) |  | Equestrian Trail      |
|  | R-1 (40,000 sq.ft. avg.) |  | Paseo                 |

**Attachment**

**No. 6**

**Planning Area 11  
Design Standards**

**Planning Commission  
Public Meeting of  
January 7, 2014**

- Fifteen Feet (15').
- Side setback: five feet (5')
- 0-foot side yards may be employed where:
  - Side yard windows which are on the 0-foot lot line are either glass block, glass panels which prohibit direct viewing into adjacent yards, or where clear windows are located at least six feet (6') above the floor line.
  - Where design considerations are provided which promote privacy for all homeowners such as private courtyards, patio areas, building orientation, or other treatments as approved by the Planning Commission.
- Side abutting street: ten feet (10') minimum from property line
- Private Open Space: one half acre (0.5 ac) of private park area shall be provided for every one hundred (100) units.
- Porches: Porches may extend into the required front and side yard setbacks up to ten feet (10'), subject to a limitation of fifty percent (50%) of the required setback.
- Eaves may extend into the required front and side yard setbacks up to three feet (3').
- Building Height: Thirty-five feet (35') maximum. Architectural features and chimneys which do not exceed the height limit by more than ten feet (10') will be permitted.
- Private Streets: street and driveway standards (not including alleys). Private streets and driveway shall be established in accordance with the following standards.
  - Driveways serving four (4) or less dwelling units, shall have no parking within the travel way and shall have a minimum paved width of twelve feet (12') for one-way traffic or twenty feet (20') for two-way traffic.
  - Streets or driveways where on-street parking will be limited to one side only shall have a minimum paved width of twenty-eight feet (28').
  - Street or driveways with on-street parking permitted on both sides shall have a minimum paved width of thirty-two feet (32').

## 6.6 R-1-6,000 Single Family Residential

### *Planning Areas 3, 10-17*

#### *6.6.1 Permitted Uses*

The following uses are permitted in the six thousand square feet (6,000 sf) Lots:

- Detached single-family dwellings;
- Public and private neighborhood or community non-commercial

## McSweeney Farms Specific Plan 01-2

recreation centers and facilities including, but not limited to swimming pools, tennis courts, lakes, clubhouses, stables and trails;

- Uses and structures customarily incidental or necessary to residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

Each planning area with lot sizes below seven thousand two hundred square feet (7,200 sf) shall provide a pocket park with a minimum of two (2) of the following amenities:

- Barbeque areas
- Picnic tables
- Pools
- Spas
- Tot Lots
- Other similar recreation uses which are found to be consistent with the purpose and intent of this chapter by the Planning Commission.

### *6.6.2 Development Standards*

- Minimum lot size: Six thousand square feet (6,000 sf) with an overall average lot size of seven thousand two hundred square feet (7,200 sf).
- Lot Depth: Minimum lot depth shall be one hundred feet (100').
- Lot Width: Minimum lot width shall be sixty feet (60') to be measured at building setback. Minimum lot frontage at cul-de-sacs and knuckles shall be forty feet (40').
- Front setback: Twenty feet (20') minimum from back of right-of-way. Rear Setback: Twenty feet (20')
- Side setback: Five feet (5')
- Side abutting street: ten feet (10') minimum from property line.
- Private Open Space: one half acre (0.5 ac) of private park area shall be provided for every one hundred (100) units.
- Porches: Porches may extend into the required front and side yard setbacks up to fifty percent (50%) of the required setback.
- Projections: Eaves, cornices, chimneys, outside staircases, balconies and other similar architectural features may project three feet (3') into any required front, rear or side setback, or within one foot (1') of the property line, whichever is the least projection into the setback. These setbacks must be consistent with applicable fire and building codes regarding separation of structures.
- Building Height: Thirty-five feet (35') maximum. Architectural features and chimneys which do not exceed the height limit by more than ten feet (10') will be permitted.
- Private Streets: streets and driveway standards (not including alleys). Private streets and driveway shall be established in accordance with the following standards.

- Driveway serving four (4) or less dwelling units, shall have no parking within the travel way and shall have a minimum paved width twelve feet (12') for one-way traffic or twenty feet (20') for two-way traffic.
- Streets or driveways where on-street parking will be limited to one side only shall have a minimum paved width of twenty-eight feet (28').
- Street or driveways with on-street parking permitted on both sides shall have a minimum paved width of thirty-two feet (32').
- Lots with a width of thirty feet (30') shall have side or rear loading garages. Front loading garages will not be permitted.

## 6.7 R-1-7,200 Single Family Residential

### *Planning Areas 18-20*

#### *6.7.1 Permitted Uses*

The following uses are permitted in seven thousand two hundred square feet (7,200 sf) Lots:

- Detached single-family dwellings;
- Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, lakes, clubhouses, stables and trails;
- Uses and structures customarily incidental or necessary to residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas; and,
- Accessory living spaces (i.e. "granny flats") as permitted in R-1 by the city of Hemet Zoning Ordinance.

#### *6.7.2 Development Standards*

- Minimum lot size: Seven thousand two hundred square feet (7,200 sf) with an overall average lot size of eight thousand square feet (8000 sf)
- Lot depth: Minimum lot depth shall be one hundred feet (100').
- Lot Width: Minimum lot width shall sixty feet (60') to be measured at building setback. Minimum frontage at cul-de-sacs and knuckles shall be forty feet (40').
- Front setback: Twenty feet (20') minimum from back of right-of-way. Rear Setback: twenty feet (20')
- Side setback:
- Side abutting street: Ten feet (10') minimum from property line.
- Porches: Porches may extend into the required front and side yard

# Attachment No. 7

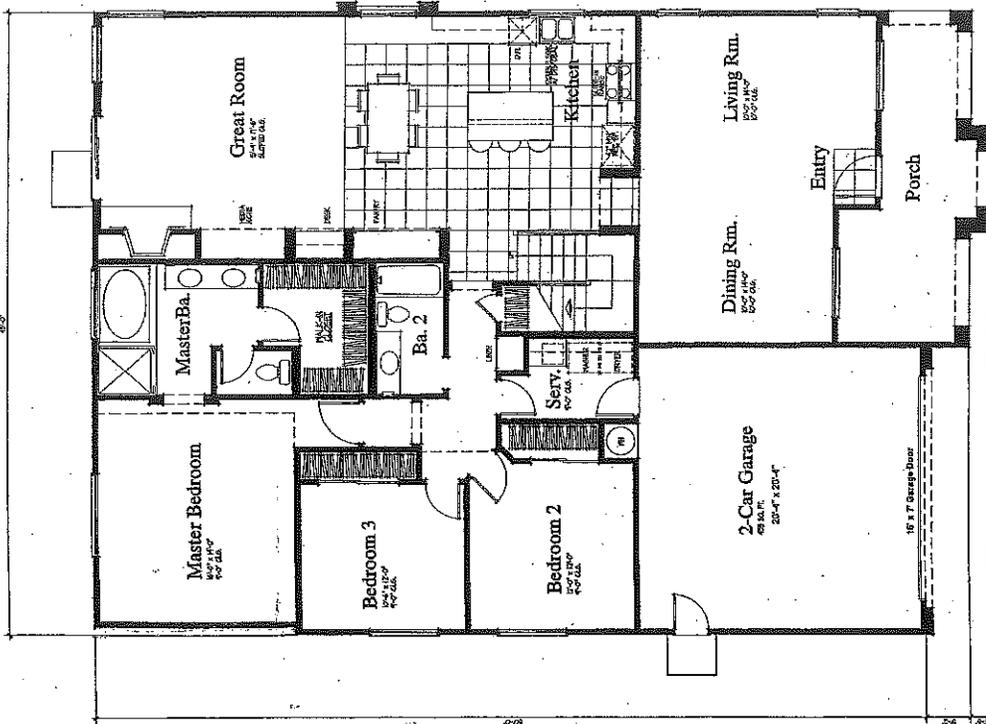
SDR 05-017 Previously Approved  
Development Plan for Lennar Homes  
in Planning Area 11

Planning Commission  
Public Meeting of  
January 7, 2014

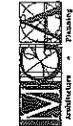
# Chestnut

at

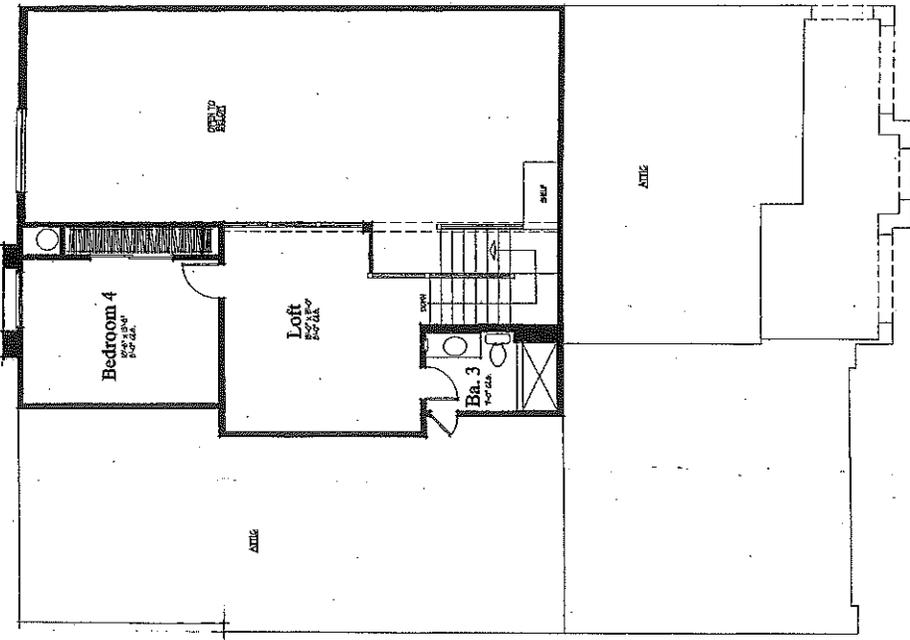




FIRST FLOOR PLAN  
2155 sq. ft.  
total: 2621 sq. ft.



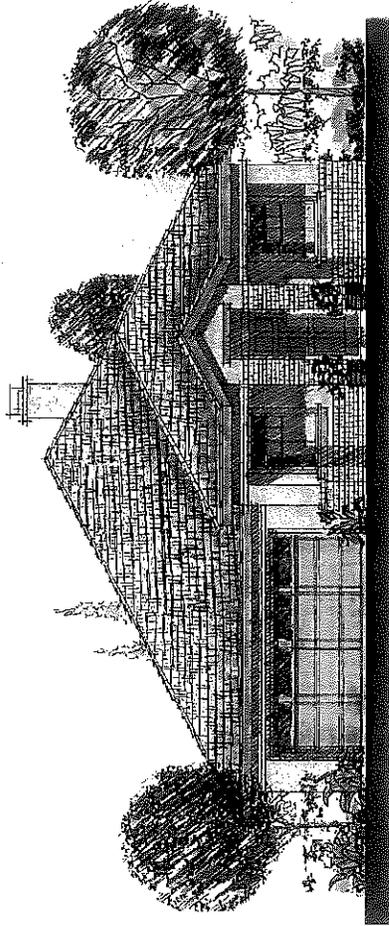
PLAN 2621  
Mack Gross & Associates, Inc.



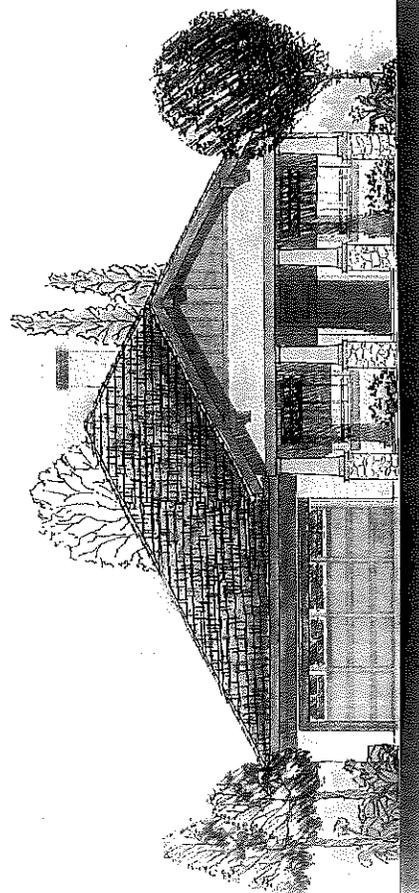
SECOND FLOOR PLAN  
466 sq. ft.

LENNAR HOMES E.I.  
CHESTNUT AT MCSWEENEY FARMS

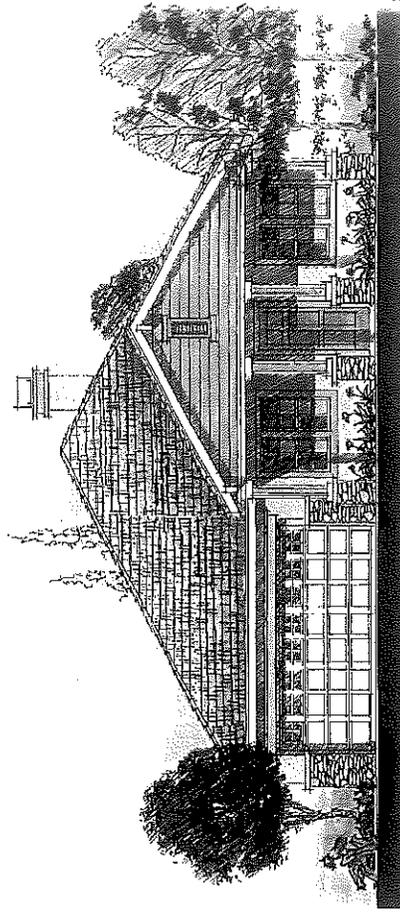
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"A"  
Prairie



"B"  
Craftsman



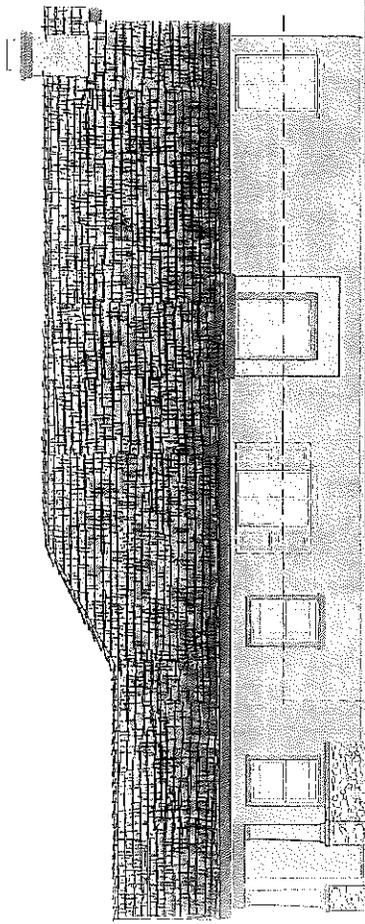
"C"  
California Ranch

LENNAR HOMES EI  
CHESTNUT AT MCSWEENEY FARMS

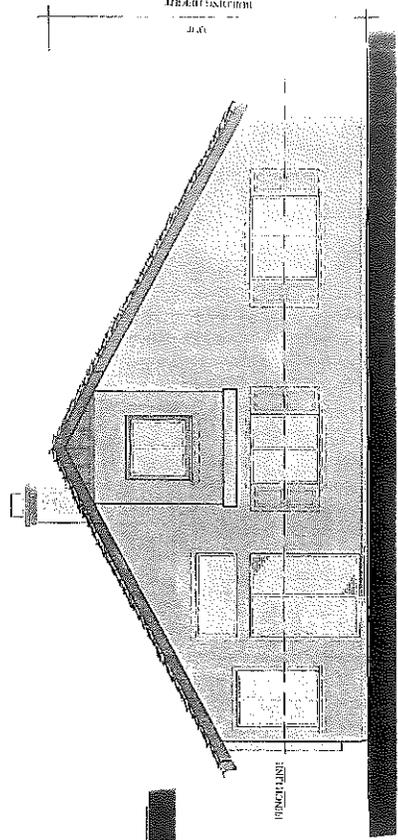
PLAN 2621  
Mark Gross & Associates, Inc.



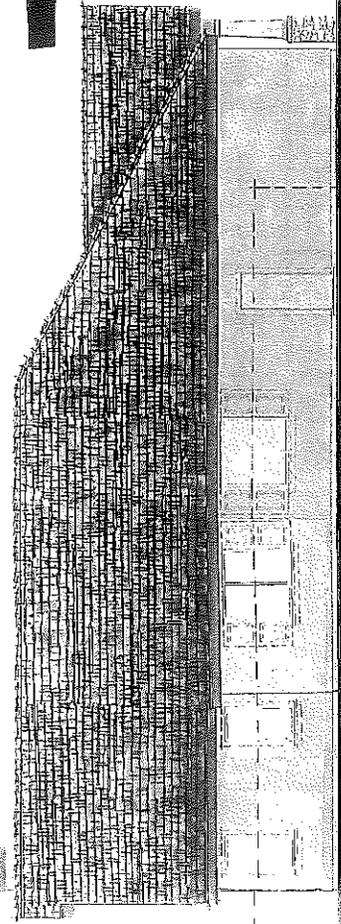
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Right Side Elevation



Rear Elevation



Left Side Elevation

MATERIAL NOTES

- CONCRETE/FLY ROOF TILE
- POLYWOOD RAFTERS/BRK
- OVERHANG - 12"
- POLY FIBER INSULATION OVER
- TYPE METAL SECTIONAL GARAGE DOOR
- TYPE GLASS AT TOP PANES
- SHUTTERS
- 2" X 4" BRK

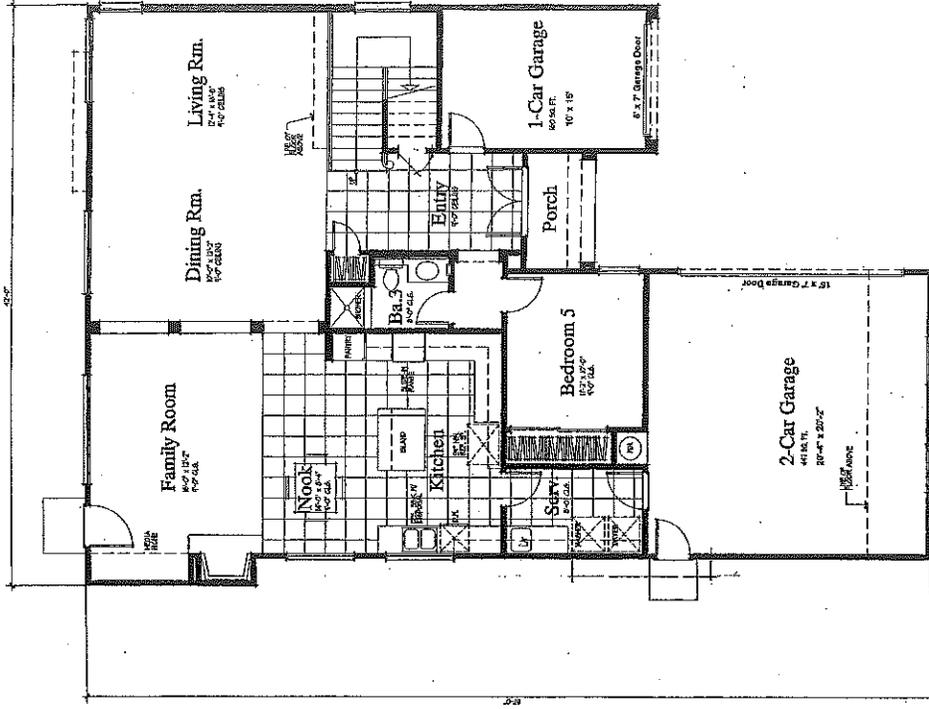
Note: Enhanced side and rear elevations when visible from a public right of way.

LENNAR HOMES EI  
CHESTNUT AT MCSWEENEY FARMS

ELEVATION "B"  
Approved by MARK CROSS & ASSOCIATES, INC.  
All rights reserved

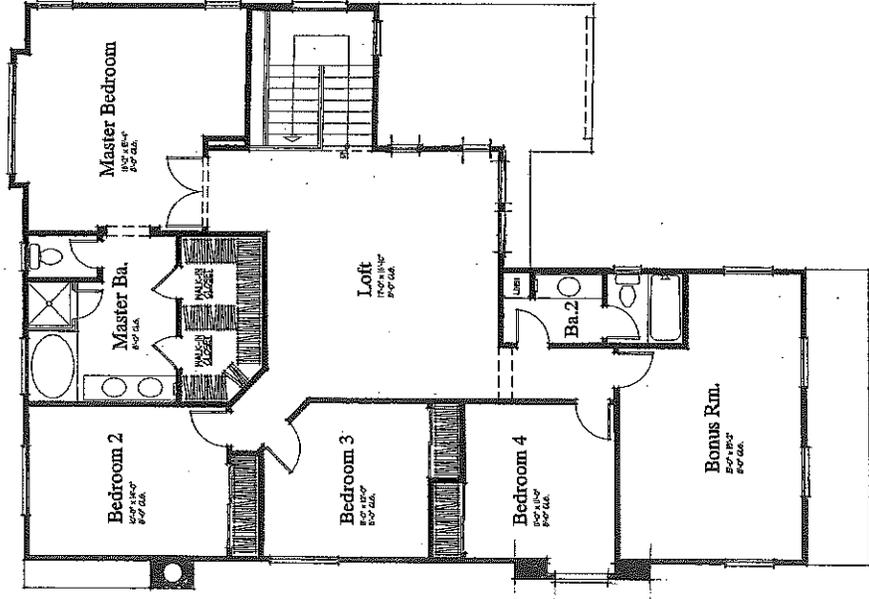
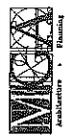
PLAN 2621  
Mark Cross & Associates, Inc.





FIRST FLOOR PLAN  
1395 sq. ft.  
total: 3060 sq. ft.

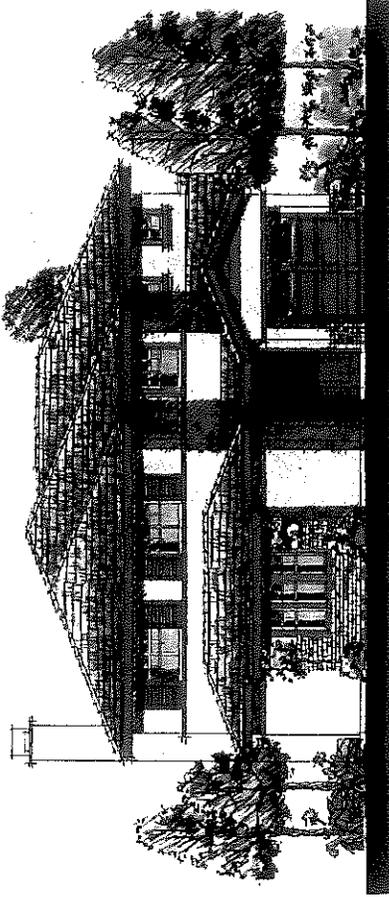
PLAN 3060  
Mark Gross & Associates, Inc.



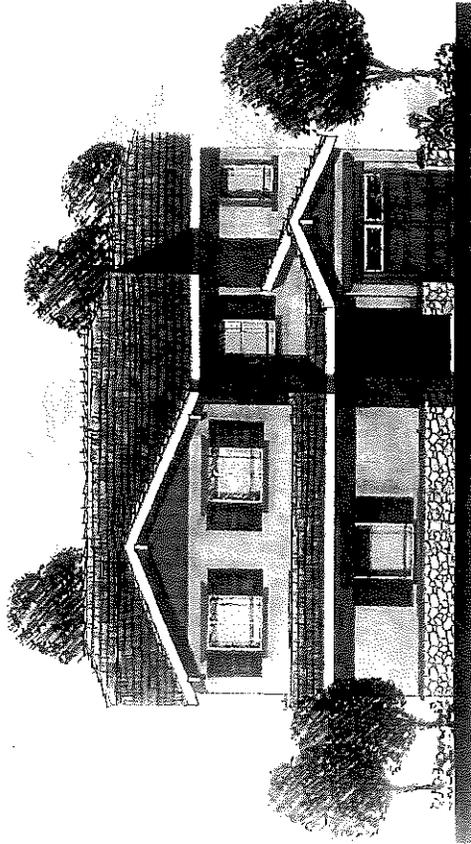
SECOND FLOOR PLAN  
1665 sq. ft.

LENNAR HOMES E.I.  
CHESTNUT AT MCSWEENEY FARMS

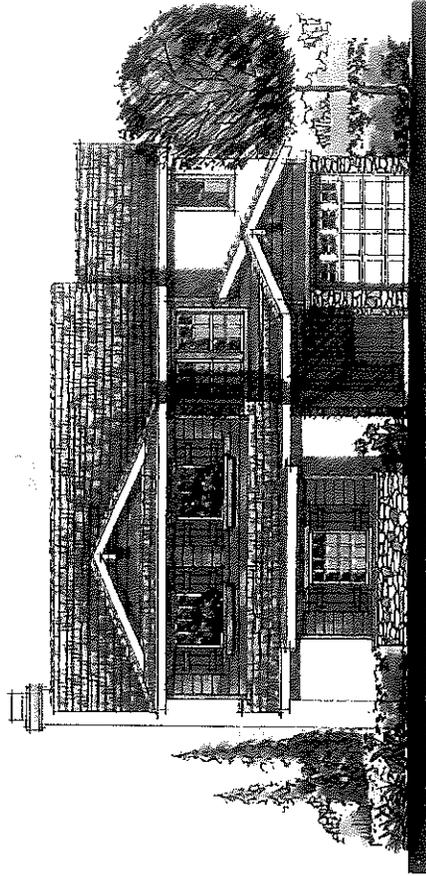
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"A"  
Prairie



"B"  
Craftsman



"C"  
California Ranch

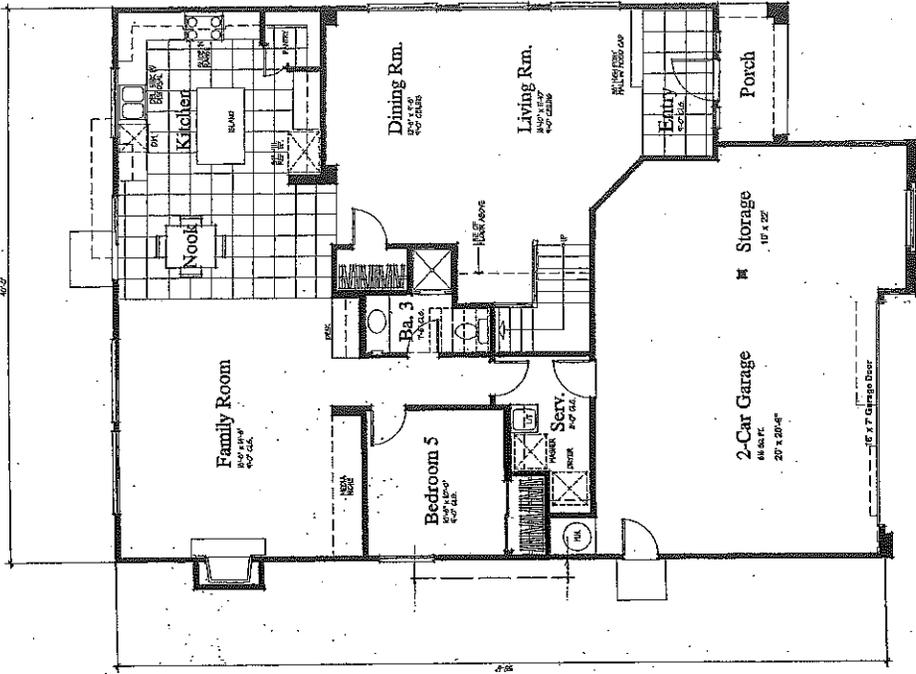
LENNAR HOMES EI  
CHESTNUT AT MCSWEENEY FARMS

PLAN 3060  
Mark Gross & Associates, Inc.

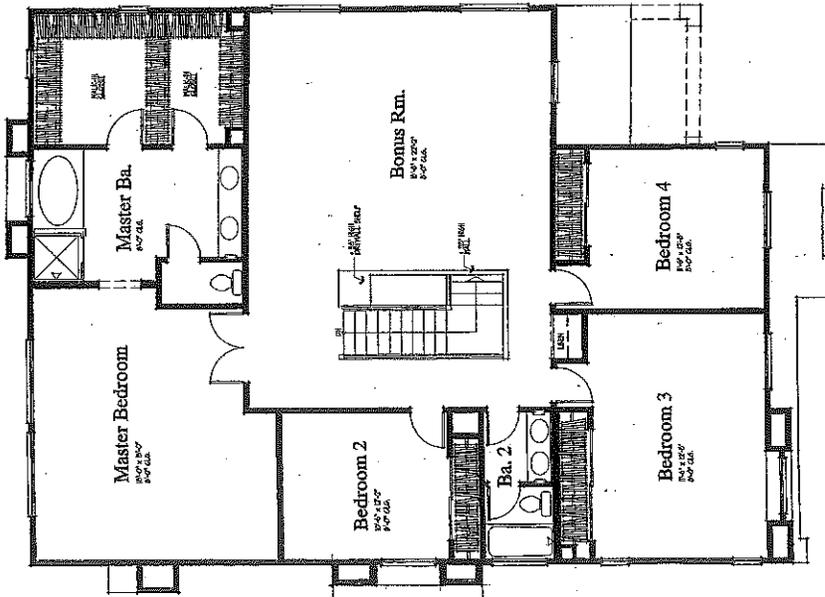


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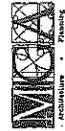




FIRST FLOOR PLAN  
1483 sq. ft.  
total: 3407 sq. ft.



SECOND FLOOR PLAN  
1924 sq. ft.

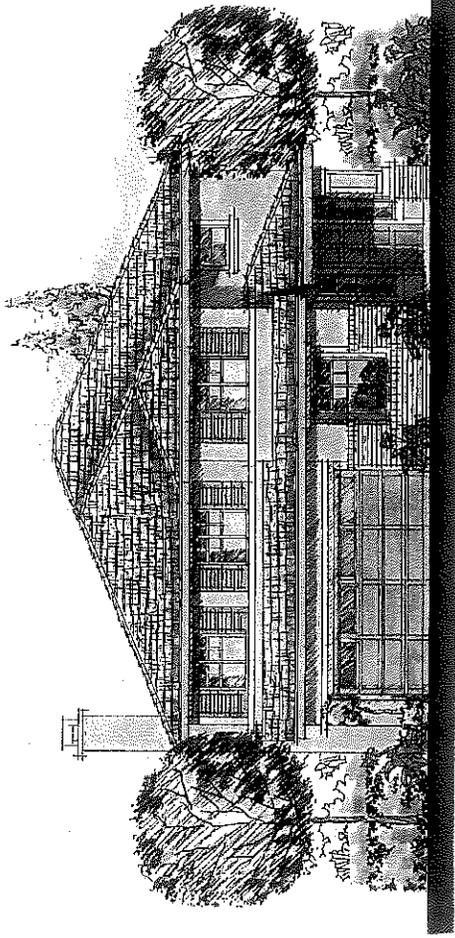


PLAN 3407  
Mark Gross & Associates, Inc.

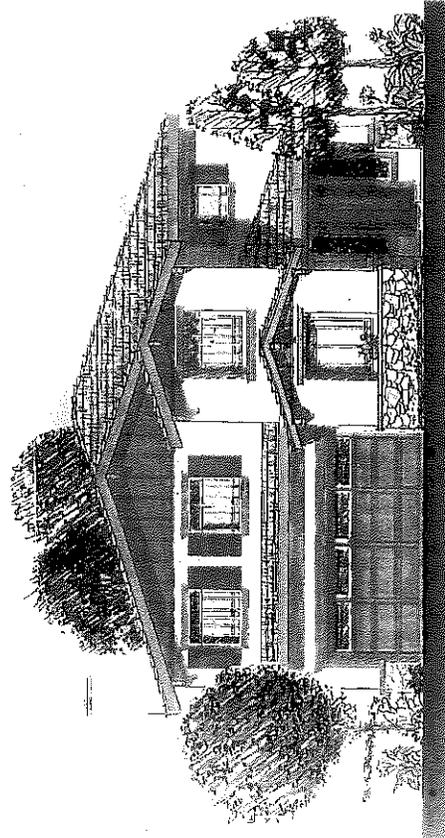
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LENNAR HOMES E.I.  
CHESTNUT AT MCSWEENEY FARMS

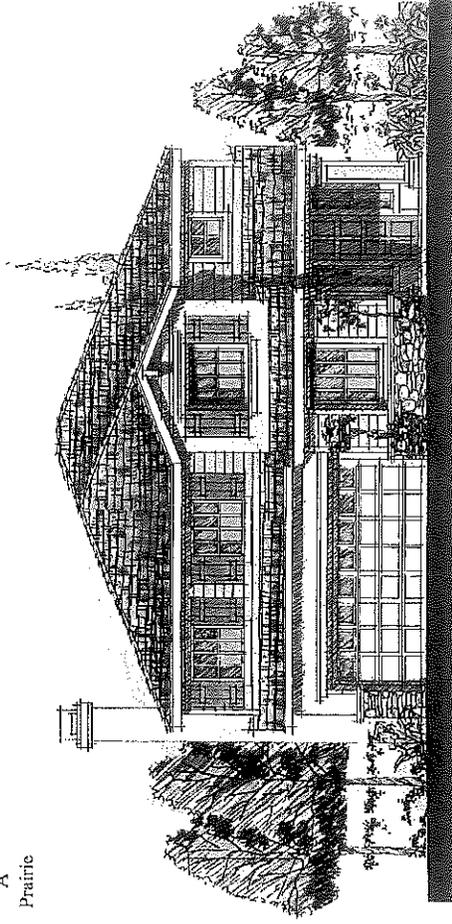
32 acf



"A"  
Prairie



"B"  
Craftsman



"C"  
California Ranch

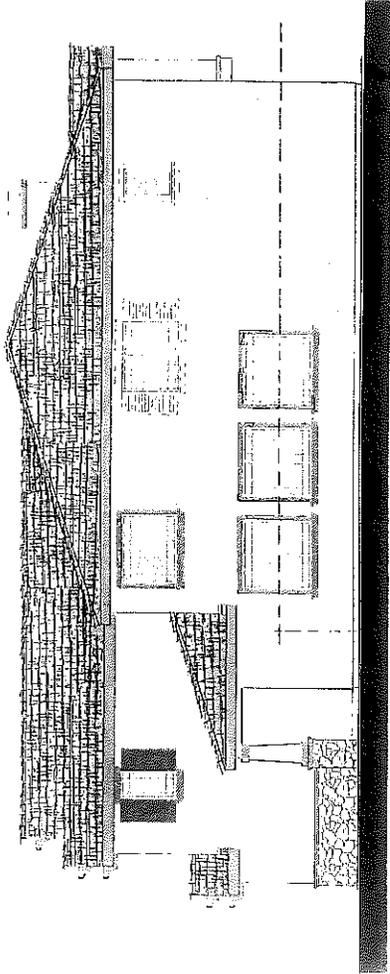
LENNAR HOMES EI  
CHESTNUT AT MCSWEENEY FARMS

PLAN 3407

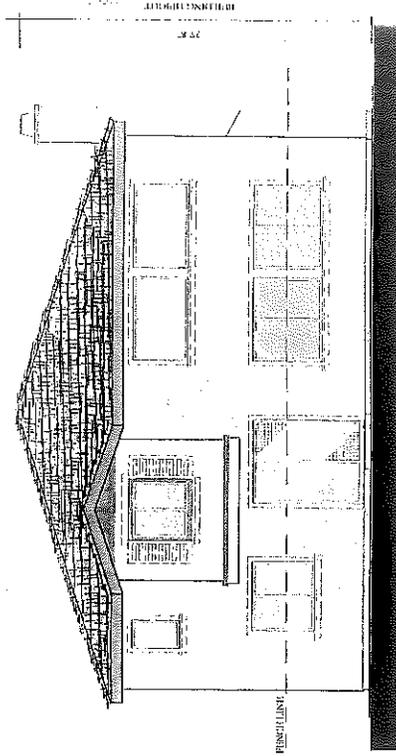
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Mark Gross & Associates, Inc.





Right Side Elevation

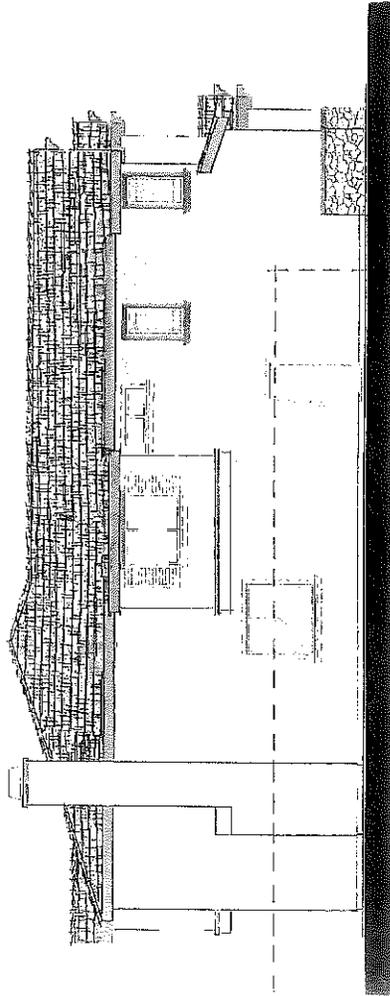


Rear Elevation

MATERIAL NOTES

- CONCRETE FLAT ROOF TILE
- BOARD & BATT SIDING
- OVERLAP - 1/2"
- 1/2" STUCCO OVER
- AT DOORS & WINDOWS
- 1/2" METAL SECTIONAL LAMINATE INDOOR
- 1/2" STUCCO OVER
- WOOD OUTDOORS
- 1/2" STUCCO OVER
- STUCCO OVER

Note: Enhanced side and rear elevations when visible from a public right of way.



Left Side Elevation

LENNAR HOMES EI  
CHESTNUT AT MCSWEENEY FARMS

ELEVATION "B"

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PLAN 3407  
Mark Gross & Associates, Inc.

# Attachment No. 8

Site Photographs of Lennar  
Product in Planning Area 11

Planning Commission  
Public Meeting of  
January 7, 2014

# Site Development Review No. 13-008

## Site Photographs



Existing Lennar Home Located in Planning Area 11



Existing Lennar Home Located in Planning Area 11



Existing Lennar Home Located in Planning Area 11



Existing Lennar Home Located in Planning Area 11



Existing Lennar Home Located in Planning Area 11



Existing Lennar Home Located in Planning Area 11



Existing Lennar Home Located in Planning Area 11



Existing Lennar Home Located in Planning Area 11



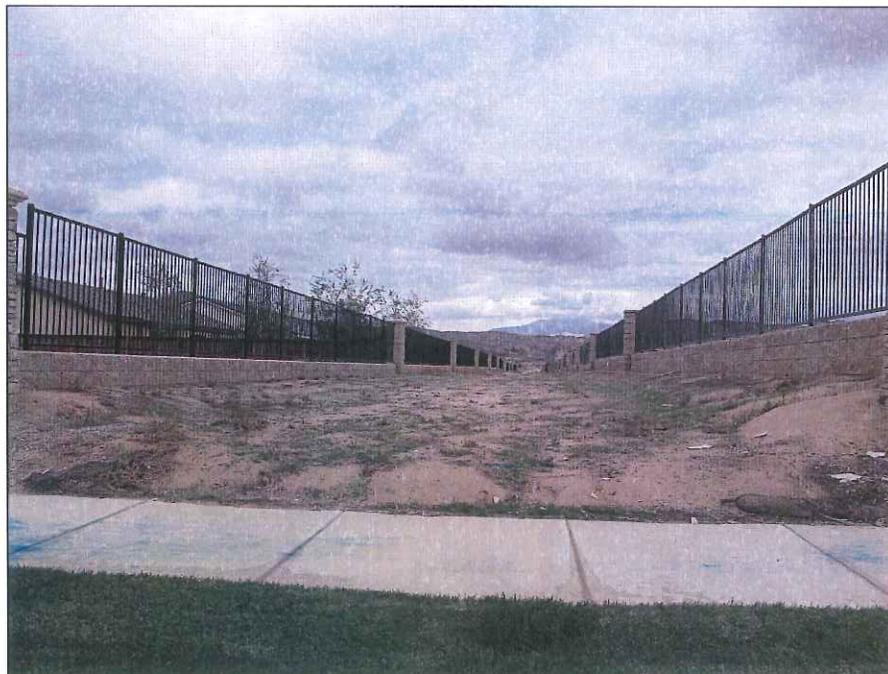
Rear elevations of the existing Lennar Homes in Planning Area 11



Rear elevations of the existing Lennar Homes in Planning Area 11



Rear elevations of the existing Lennar Homes in Planning Area 11



Undeveloped paseo located between Planning Area 10 & 11