

**AGENDA**

**REGULAR MEETING OF THE HEMET PLANNING COMMISSION**

**City Council Chambers**

**450 East Latham Avenue, Hemet CA 92543**

**April 1, 2014**

**6:00 PM**

*If you wish to make a statement regarding any item on the agenda, please complete a Speaker Card and hand it to the clerk. When the Chairman calls for comments from the public on the item you wish to address, step forward to the lectern and state your name and address. **Only testimony given from the lectern will be heard by the Planning Commission and included in the record.***

**1. CALL TO ORDER:**

**Roll Call:** Chairman John Gifford, Vice Chairman Greg Vasquez, and Commissioners Michael Perciful, Vince Overmyer, and Rick Crimeni

**Invocation and Flag Salute:** Commissioner Perciful

**2. APPROVAL OF MINUTES:**

**A.** Minutes of the March 18, 2014 Planning Commission Meeting

**3. PUBLIC COMMENTS:**

*Anyone who wishes to address the Commission regarding items **not on the agenda** may do so at this time. Please line up at the lectern when the Chairman asks if there are any communications from the public. When you are recognized, please give your name and address. Please complete a Speaker Card and hand it to the Clerk so that we have an accurate recording of your name and address for the minutes.*

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**PUBLIC HEARING ITEMS**

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**Meeting Procedure for Public Hearing Items:**

1. Receive Staff Report Presentation
2. Commissioners report any Site Visit or Applicant Contact, and ask questions of staff
3. Open the Public Hearing and receive comments from the applicant and the public.
4. Close the Public Hearing
5. Planning Commission Discussion and Motion

4. **RAMONA CREEK SPECIFIC PLAN NO. 12-001, GPA 12-005, TTM 36510 & DRAFT ENVIRONMENTAL IMPACT REPORT** - A request for Planning Commission review and recommendation to the City Council regarding the establishment of the proposed Ramona Creek Specific Plan establishing 954 residential units and 649,044 square feet of commercial space; consideration of an associated General Plan Amendment to the Land Use Element to modify the mix of residential units and commercial acreage in Mixed Use Area No. 1 and to change the land use designation on 44.9 acres from Low Density Residential (2.1 – 5.0 d.u./ac.) to Low Medium Density Residential (5.1 – 8.0 d.u./ac.); and consideration of a master tentative tract map to subdivide the site into 37 large lots. The Planning Commission will also consider the Draft Environmental Impact Report (EIR) that has been prepared to assess the environmental effects of the project.

**PROJECT APPLICANT INFORMATION:**

Owner: Regent Properties  
Authorized Agent: Daniel Gryczman, Regent Properties  
Project Location: Northwest corner of West Florida Avenue and Myers Street  
APN Information: 448-090-003  
Lot Area: 208.9± acres

**RECOMMENDED ACTION:**

*That the Planning Commission:*

1. *Open the Public Hearing and take public testimony regarding the proposed project and Draft EIR, and*
2. *Provide initial review and comments to Staff regarding the Draft Environmental Impact Report (DEIR) (Attachment No. 2) and Draft Ramona Creek Specific Plan (SP 12-001) (Attachment No. 1), GPA 12-005 and TTM No. 36510, and*
3. *Continue the Public Hearing to the May 6, 2014 Planning Commission meeting for formal recommendation to the City Council on SP 12-001, GPA 12-005, TTM 36510 and the DEIR.*

5. **CONDITIONAL USE PERMIT NO. 13-005 (7 DAYS MARKET)** A request for Planning Commission review and approval of a Conditional Use Permit allowing the construction and operation of fuel dispensers and a canopy in conjunction with an existing convenience store, and expansion of the hours of operation to 24 hours a day, located on the northwest corner of Stanford Street and Florida Avenue, with consideration of an environmental exemption pursuant to CEQA Guidelines Section 15301.

Owner: Sanjay Jariwala  
Authorized Agent: Nasser Moghadam  
Project Location: 3660 East Florida Avenue  
Lot Area: 0.62 Acres

## **STAFF RECOMMENDATION**

*The Planning Division recommends that the Planning Commission:*

1. *Adopt the attached Planning Commission Resolution Bill No. 14-006 (Attachment No. 1), approving CUP 13-005 subject to the findings and conditions of approval, and;*
2. *Direct staff to file a Notice of Exemption with the County Clerk.*

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## **DEPARTMENT REPORTS**

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6. **CITY ATTORNEY REPORTS:** *Verbal report from the Assistant City Attorney on items of interest to the Planning Commission.*
  
7. **COMMUNITY DEVELOPMENT DIRECTOR REPORTS:** *Verbal reports from Community Development Director Elliano*
  - A. Report on actions from the March 25, 2014 City Council Meetings.
  
8. **PLANNING COMMISSIONER REPORTS:** *Commissioner reports on meetings attended, future agenda items or other matters of Planning interest.*
  - A. Chairman Gifford
  - B. Vice Chair Vasquez
  - C. Commissioner Perciful
  - D. Commissioner Overmyer
  - E. Commissioner Crimeni
  
9. **FUTURE AGENDA ITEMS:**
  - A. Jasmine Gardens CUP Extension of Time
  - B. CUP for Multi-tenant office building
  - C. General Plan Consistency Zoning Program – Phase II
  - D. Zone Text Amendment for Temporary Signs
  
10. **ADJOURNMENT:** To the meeting of the City of Hemet Planning Commission scheduled for ***April 15, 2014 at 6:00 P.M.*** to be held at the City of Hemet Council Chambers located at 450 E. Latham Avenue, Hemet, California 92543.

### **NOTICE TO THE PUBLIC:**

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Planning Department counter of City Hall located at 445 E. Florida Avenue during normal business hours. Agendas for Planning Commission meetings are posted at least 72 hours prior to the meeting. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in the meeting, please contact the Planning Department office at (951) 765-2375. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to insure accessibility to the meeting. (28 CFR 35.102-35.104 ADA Title II).

PLANNING  COMMISSION

MEETING MINUTES

DATE: MARCH 18, 2014 CALLED TO ORDER: 6:00 P.M.

MEETING LOCATION: City Council Chambers  
450 East Latham Avenue  
Hemet, CA 92543

1. CALL TO ORDER:

PRESENT: Chairman John Gifford, Vice Chairman Greg Vasquez, and Commissioners Rick Crimeni, Vince Overmyer and Michael Perciful  
ABSENT: None

Invocation and Flag Salute: Vice Chairman Greg Vasquez

2. APPROVAL OF MINUTES:

A. Minutes of the Planning Commission meeting of March 4, 2014

It was **MOVED** by Commissioner Rick Crimeni and **SECONDED** by Vice Chairman Greg Vasquez to **APPROVE** the Minutes of the Planning Commission meeting of March 4, 2014.

The **MOTION** was carried by the following vote:

**AYES:** Chairman John Gifford, Vice Chair Greg Vasquez, Commissioners Rick Crimeni, Vince Overmyer and Michael Perciful  
**NOES:** None  
**ABSENT:** None

3. PUBLIC COMMENTS:

There were no members of the public who wished to address the commission regarding items not on the agenda.

**PUBLIC HEARING ITEMS**

**4. ZONING ORDINANCE AMENDMENT (ZOA) NO. 14-002 (Banners in Public Property)**

1       **DESCRIPTION:** A request for Planning Commission review and  
2 recommendation to the City Council regarding a Zoning Ordinance Amendment  
3 to modify Chapter 90, amending Section 90-1316 of the Hemet Municipal Code  
4 to allow the City Engineer to approve special event sign permits for banners  
5 above city streets, in lieu of City Council approval.  
6

7       **APPLICANT:** City of Hemet  
8                       Jorge Biagioni, Engineering Director (Presentation by Deanna  
9                       Robertson, Engineering Department) Deanna Elliano,  
10                      Community Development Director

11       **LOCATIONS:** Citywide  
12

13       CDD Elliano explained that this ordinance refers to banners across Florida Avenue, at  
14 a couple of different locations, which usually advertise nonprofit community events.  
15 Highway 74 is a Caltrans right-of-way and any banners would have to be in concert  
16 with the encroachment guidelines. The change to the ordinance is an attempt to  
17 streamline the process from approval by the City Council and moving it to the  
18 Engineering Department.  
19

20       Deanna Robertson, 27024 Cactus Flower Drive, Menifee, the Administrative Assistant  
21 for the Engineering Department, explained the process for approval of the banners,  
22 indicating they cannot have any kind of logo, picture, Web sites or physical addresses,  
23 nor can they have religious or political statements across the banners. They are  
24 specifically for things that benefit the community or nonprofits. Those events named in  
25 the code must be approved by the City Council attorney; those not specifically named  
26 had to go before the Council.  
27

28       Vice Chair Vasquez questioned the necessity of listing events rather than having  
29 generic language in the code, with Chairman Gifford agreeing to the concept.  
30

31       Assistant City Attorney Vega suggested if they wanted to follow that concept, eliminate  
32 the first sentence in Subsection (b) and start with the second sentence.  
33

34       Chairman Gifford asked to whom an applicant would appeal if their banner was denied.  
35

36       CDD Elliano stated that, under the new ordinance, they would appeal to the City  
37 Council.  
38

39       Vice Chair Vasquez wanted clarification concerning location of banners and Caltrans  
40 encroachment permits and stated he thought these issues could be handled by the  
41 Engineering Department or Planning Department.  
42

43       Chairman Gifford opened the public hearing and invited speakers to the lectern.  
44

45       City Councilwoman Wright, 450 West Florida Avenue, asked about why banners were  
46 not placed across Stetson Avenue and wanted to know if it could be used for banners.  
47

48       Assistant City Attorney Vega stated her understanding that there have to be poles of  
49 certain specifications to support the banners. However, the city can put up appropriate  
50 poles anywhere they wish in the street right-of-way.

1 Ms. Robertson indicated that as far as she knew, Stetson does not have the poles  
2 needed.

3  
4 Commissioner Crimeni said that depending on the cost of the poles, perhaps the city  
5 could make more money.

6  
7 Chairman Gifford closed the public hearing and indicated that the suggestion by Vice  
8 Chair Vasquez could be included in a motion.

9  
10 Assistant City Attorney Vega indicated the change should read as follows to Section 1,  
11 Amendment of Section 90-1316 (B): "Based upon evidence submitted on a case-by-  
12 case basis, upon application to the city, the city engineer or director, as appropriate,  
13 may find and determine that festivals and events have a community-wide benefit and  
14 participation and are therefore eligible."

15  
16 Commissioner Perciful asked if this would reduce the cost of the permits for the  
17 banners.

18  
19 CDD Elliano stated her understanding that there is no permit fee charged for these  
20 banners. It is a matter of staff time to process it and the writing of staff reports to go to  
21 Council.

22  
23 It was **MOVED** by Vice Chair Greg Vasquez and **SECONDED** by Commissioner  
24 Michael Perciful to **ADOPT** Resolution Bill No. 14-005 with the Amendment to  
25 Subsection (b) of Section 90-1316(B) as follows: "Based upon evidence submitted on  
26 a case-by-case basis, upon application to the city, the city engineer or director, as  
27 appropriate, may find and determine that festivals and events have a community-wide  
28 benefit and participation and are therefore eligible."

29  
30 The **MOTION** was carried by the following vote:

31  
32 **AYES:** Chairman John Gifford, Vice Chairman Greg Vasquez, and  
33 Commissioners Michael Perciful, Vince Overmyer and Rick Crimeni  
34  
35 **NOES:** None

## 36 37 DEPARTMENT REPORTS

### 38 39 6. COMMUNITY DEVELOPMENT DIRECTOR REPORTS:

#### 40 41 A. Report on actions from the March 11, 2014 City Council Meeting

42  
43 CDD Elliano reported that there were no planning items on the agenda. However, the  
44 City Council approved a new cooperative agreement with the CHP for doing traffic  
45 enforcement work on Florida Avenue from March 1<sup>st</sup> to August 31<sup>st</sup> of this year.

### 46 47 7. PLANNING COMMISSIONER REPORTS:

48  
49 A. Chairman Gifford reported that he was going with the MWD and the EMWD  
50 on a tour to the Colorado River, and encouraged all commissioners to go if  
they got the opportunity.

- B. Vice Chair Vasquez (Nothing to report)
- C. Commissioner Perciful noted that he will be in Sacramento for a legislative week at the end of April
- D. Commissioner Overmyer stated he will be absent for the next meeting.
- E. Commissioner Crimeni (Nothing to report)

**8. FUTURE AGENDA ITEMS:**

- A. CUP for 7 Days Market
- B. Jasmine Gardens CUP Extension of Time
- C. Regent Properties – Ramona Creek SP, TTM and DEIR
- D. General Plan Consistency Zoning Program – Phase II
- E. Zone Text Amendment for Temporary Signs

**9. ADJOURNMENT**

It was unanimously agreed to **ADJOURN** the meeting at 6:36 p.m. to the regular meeting of the City of Hemet Planning Commission scheduled for **April 1, 2014 at 6:00 p.m.** to be held at the City of Hemet Council Chambers located at 450 E. Latham Avenue, Hemet, CA 92543.

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John Gifford, Chairman  
Hemet Planning Commission

ATTEST:

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Melissa Couden, Records Secretary  
Hemet Planning Commission



## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*  
Ronald Running, Project Planner *RR*

DATE: April 1, 2014

RE: **RAMONA CREEK SPECIFIC PLAN NO. 12-001, GPA 12-005, TTM 36510 & DRAFT ENVIRONMENTAL IMPACT REPORT** - A request for Planning Commission review and recommendation to the City Council regarding the proposed Ramona Creek Specific Plan establishing 954 residential units and 649,044 square feet of commercial space; consideration of an associated General Plan Amendment to the Land Use Element to modify the mix of residential units and commercial acreage in Mixed Use Area No. 1 and to change the land use designation on 44.9 acres from Low Density Residential (2.1 – 5.0 d.u./ac. to Low Medium Density Residential (5.1 – 8.0 d.u./ac.); and consideration of a master tentative tract map to subdivide the site into 37 large lots. The Planning Commission will also consider the Draft Environmental Impact Report (EIR) that has been prepared to assess the environmental effects of the project.

### **PROJECT APPLICANT INFORMATION:**

Owner:	Regent Properties
Authorized Agent:	Daniel Gryczman, Regent Properties
Project Location:	Northwest corner of West Florida Avenue and Myers Street
APN Information:	448-090-003
Lot Area:	208.9+ acres

### **RECOMMENDED ACTION:**

*That the Planning Commission:*

1. Open the Public Hearing and take public testimony regarding the proposed project and Draft EIR, and
2. Provide initial review and comments to Staff regarding the Draft Environmental Impact Report (DEIR) (Attachment No. 2) and Draft Ramona Creek Specific Plan (SP 12-001) (Attachment No. 1), GPA 12-005 and TTM No. 36510, and
3. **Continue the Public Hearing to the May 6, 2014** Planning Commission meeting for formal recommendation to the City Council on SP 12-001, GPA 12-005, TTM 36510 and the DEIR.

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## **BACKGROUND**

Regent Properties is proposing a Specific Plan and associated Master Tentative Tract Map and General Plan Amendment, to establish a master planned development of mixed commercial and residential uses on a 208.9+ acre site located on the northwest corner of West Florida Avenue and Myers Street, as shown in the Locational Map (Attachment A). The project site represents a key western gateway to the City, and is one of the largest vacant land holdings in the City that is under a single ownership. The City's 2030 General Plan recognized this site as having great potential for a comprehensive mixed-use commercial and residential community, and determined that a Specific Plan would be the appropriate land use mechanism to achieve the highest and best use of the property. The proposed Ramona Creek Specific Plan provides a vision, development plan, and implementation program consistent with the City's adopted General Plan for the site.

The proposed Specific Plan contains a development plan along with technical studies to accommodate a proposed project of 954 residential units and 649,044 sq. ft. of commercial and office land uses. The Specific Plan also allows for alternative development scenarios based on market conditions over time, providing flexibility of up to a maximum of 1,077 dwelling units or a maximum of 760,035 square feet of commercial/office uses, provided there is a corresponding reduction in other uses. The Project also includes design guidelines, development standards, and all related infrastructure to serve the development, including circulation networks, on-site drainage facilities, recreational amenities, and utilities. The primary land uses associated with the Project are divided into 10 Planning Areas within the Specific Plan as shown in Attachment B and Attachment 1 to this report. A more detailed overview of the proposed Specific Plan, General Plan Amendment (GPA), and Tentative Tract Map (TTM) is provided in the subsequent sections of this report.

A conceptual land use plan for the project was originally shown to the Planning Commission and City Council at a work study session on August 14, 2012. An additional work study regarding the project was held before the Planning Commission at their meeting of June 4, 2013. In both work study sessions, comments from the City and the public were favorable in regard to the overall land uses and the conceptual design of the project. Over the past several months, the developer and their design team have continued to work with city staff on the more detailed aspects of the project and the infrastructure phasing included in the Specific Plan document. In addition, a Draft Environmental Impact Report (EIR) has been prepared to examine the potential environmental effects of the proposed projects and its alternatives. The proposed Draft Specific Plan, GPA, TTM, and Draft EIR have now been completed and the formal public review period and hearing process has commenced. The Draft Environmental Impact Report (DEIR) was circulated for its 45-day public review and comment period on March 21, 2014. The conclusion of the review period will be on May 5, 2014.

The purpose of this first public hearing before the Planning Commission is to provide an initial overview of the Specific Plan and related applications, as well as the conclusions of the Draft EIR, to members of the Commission and the public. Staff is seeking any comments, clarifications or concerns that the Commission and public may have regarding the project, so that we can respond to them as part of the formal recommended actions and conditions of approval to be presented to the Commission at the second public hearing scheduled for May 6, 2014. Therefore, Staff is proposing that after public comments are received, the Commission continue the open public hearing to your May 6<sup>th</sup> meeting, at which time the Commission will be asked to make a recommendation to the City Council on the proposed project.

The property was previously known as the Garrett Ranch property, and has historically been used for farming. The site is presently vacant agricultural land zoned C-2 (General Commercial), M-2 (General

Industrial), R-1-6 (Single Family Residential), and A-5 (Agricultural). (See Exhibit A.) Adoption of the Specific Plan will replace the present zoning and development standards for the property. Adjacent to the project site includes the existing Florida Promenade commercial development located to the east, the Hemet Auto Mall and Hemet West Mobile Home Park to the south, the undeveloped (but approved) Tres Cerritos Specific Plan to the north, and vacant land area and Warren Road to the west.

## **PROPOSED SPECIFIC PLAN**

### **Project Purpose**

The overall purpose of the Ramona Creek Specific Plan is to provide comprehensive direction for the development of the project area as a distinctive residential community and commercial destination while implementing the goals and policies of the 2030 General Plan. The following guiding principles were identified and are explained in Section 1.1 of the Specific Plan:

- Create a “community”.
- Celebrate uniqueness of place.
- Optimize open space relationships.
- Create connectivity.
- Encourage diversity.
- Integrate environmentally responsible practices.
- Enhance local economic well-being.

The Specific Plan replaces the existing zoning on the property and establishes unique development standards and design guidelines for future development projects. The Specific Plan allows for flexibility in land use mix and density transfers that would not be allowed under conventional zoning.

### **Land Use and Development Plan (Chapter 2)**

The proposed land plan hopes to achieve the intensity that is suitable to a site that is located along a major east-west thoroughfare in the Mixed Use Area No. 1 of the 2030 General Plan. The Ramona Creek Specific Plan is divided into ten (10) planning areas as shown in Figure 2-4a of the Specific Plan (See Attachment B). Less intense residential land uses are proposed in the northern portion of the project area north of Devonshire Avenue at a density between 3.0 – 8.0 d.u./ac. Medium density residential land uses are proposed between Devonshire and “C” street. Future product types might include condominiums, townhomes, apartments, and small lot single family residential.

The proposed 43.0 acre commercial area designated as “Commercial Mixed-Use” is located south of “C” street along West Florida Avenue in Planning Area 3. Conceptual illustrations of the proposed commercial area are provided in Section 2.4.1 of the Specific Plan. The proposed area will provide a mix of retail commercial, entertainment, restaurants, and offices centered around an outdoor plaza and water feature in the center of the commercial site, creating a vibrant, pedestrian-oriented destination area for the greater community. Additional opportunities for commercial, office, instructional or educational uses exist in Planning Area 4, designated as “Village Residential” with a “Mixed Use Overlay”. The overlay provides the site with the flexibility to accommodate the maximum amount of potential commercial and other non-residential uses on the site, while maintaining appropriate buffers from the surrounding residential uses.

The project is proposing to implement a master-planned drainage detention facility and open space area

(Ramona Creek Corridor) on 22.8 acres running east/west through the site (Planning Areas 1a and 1b). The drainage course will have a landscaped perimeter pathway system that can be accessed by future residents in the area. This drainage facility will ultimately assist in conveying storm water flows southwesterly to the Multi-Species Habitat Conservation Plan (MSHCP) conservation area located west of Warren Road and south of West Florida Avenue. The drainage and open space area provides a critical connection in the City's master plan of drainage for the west Hemet area.

Development on the site is constrained by the Metropolitan Water District's (MWD) pipeline easement running diagonally through the site. A 12.3 acre recreational spine is proposed for this area (Planning Areas 2a, 2b and 2c). The recreational area will have a community green at its southern terminus, passive and semi-active recreational areas in the middle, and an active recreational area in the northern area at the southwest corner of Myers Street and Devonshire Avenue.

The plan has built in flexibility to allow a variety of land uses that can adapt to various market forces. For example, Planning Areas 4a and 4b have a mixed use overlay which would allow for a mix of residential/limited commercial/office/institutional land uses. This area was selected for this purpose to encourage an adequate site for a technical school/college or the potential for office development. Higher density residential can also be developed in this location with the appropriate land use buffers.

A 12.0 acre elementary school site is designated in Planning Area 10 located at the northwest corner of West Devonshire Avenue and Myers Street. Should the Hemet Unified School District opt not to acquire the site, an additional 98 single family residential units would be allowed. The adjacent Planning Area 9 allows for single family residential development at the Low-Medium Residential density of up to 8 units/acre, if the school site is provided. The following land use summary for the proposed Project is illustrated in Figure 5-5 of the Specific Plan:

**Table 1  
Proposed Project  
(SP 12-001 – Figure 5-5)**

<b>Land Use Category</b>	<b>Acres</b>	<b>Units</b>	<b>Square Feet</b>	<b>Planning Area</b>
Residential:				
• Single Family (LMDR)		254 du	-	9
• Condos/Townhomes (MDR, VR)		524 du	-	4,5,6,7,8
• Student Housing (VR)		176 du	-	4
Commercial Mixed-Use:				3
• Shopping Center	-	-	369,788	
• Institutional	-	-	166,000	
• General Office	43.0	-	113,256	
Elementary School		750 students		
Parks/Open Space:				
• Community Park	11.2	-	-	2
• Passive Park/Open Space	<u>23.9</u>	-	-	1
• Subtotal	35.1	-	-	
Street R.O.W.	34.5			
<b>Total</b>		<b>954 du 750 students</b>	<b>649,044</b>	

The proposed residential land use mix ranges from Low-Medium Density Residential (3-8 d.u./ac.) to Village Residential (18-30 d.u./ac.). Anticipated product types would range from small lot detached single family residential in the planning areas north of West Devonshire Avenue to the most intense allowed in the Village Residential planning areas which would allow three story multi-family residential products. The Specific Plan allows for flexibility within each planning area where less dense product types are allowed depending on what future market demands are.

The Specific Plan allows for unused dwelling unit allocations to be transferred to other planning areas provided that the allowable densities and dwelling unit range is not exceeded. The Village Residential districts in planning areas 4a and 4b allow mixed land uses with some commercial and office uses along with residential.

It should be noted that the maximum numbers of dwelling units and commercial square footage cannot occur simultaneously. Future development of a greater amount of commercial area would result in a lesser number of residential units. The following tables summarize the three development alternatives that could be developed which were also analyzed in the DEIR.

**Table 2  
No School Alternative: DEIR Alternative B  
(SP 12-001 – Figure 5-6)**

Land Use Category	Acres	Units	Square Feet	Planning Area
Residential:				
• Single Family (LMDR)	42.6	254 du	-	9,10
• Condos/Townhomes (MDR)	19.4	229 du	-	6,7,8
• Condos/Townhomes (VR)	34.3	594 du	-	4,5
Commercial Mixed-Use:				
• Shopping Center	-	-	535,788	3
Parks/Open Space:				
• Community Park	11.2	-	-	2
• Passive Park/Open Space	<u>23.9</u>	-	-	1
• Subtotal	35.1	-	-	
Street R.O.W.	34.5			
<b>Total</b>		<b>1,077 du</b>	<b>535,788 sf</b>	

**Table 3**  
**Residential-Oriented Alternative: DEIR Alternative C**  
 (SP 12-001 – Figure 5-7)

Land Use Category	Acres	Units	Square Feet	Planning Area
Residential:				
• Single Family (LMDR)		254 du	-	9
• Condos/Townhomes (MDR,VR)		491 du	-	4,5,6,7,8
• Apartments (VR)		332 du	-	4
Commercial Mixed-Use:				
• Shopping Center	-	-	369,788	3
• General Office	-	-	166,000	3
Elementary School		750 students		
Parks/Open Space:				
• Community Park	11.2	-	-	2
• Passive Park/Open Space	<u>23.9</u>	-	-	1
• Total	35.1	-	-	
Street R.O.W.	34.5			
<b>Total</b>		<b>1,077 du</b> <b>750 students</b>	<b>535,788 sf</b>	

**Table 4**  
**Commercial-Oriented Alternative: DEIR Alternative D**  
 (SP 12-001 – Figure 5-8)

Land Use Category	Acres	Units	Square Feet	Planning Area
Residential:				
• Senior (LMDR, MDR)		401 du	-	7,8,9,10
• Condos/Townhomes (MDR, VR)		377 du	-	5,6,7,8
Commercial Mixed-Use:				
• Shopping Center		-	535,788	3
• General Office		-	224,247	4
Parks/Open Space:				
• Community Park	11.2	-	-	2
• Passive Park/Open Space	<u>23.9</u>	-	-	1
• Total	35.1	-	-	
Street R.O.W.	34.5			
<b>Total</b>		<b>778 du</b>	<b>760,035 sf</b>	

Chapter 2 of the Specific Plan contains the development criteria and standards for the project. Section 2.4.1 shows four alternatives for the commercial development in planning area 3. The alternatives are

illustrative of the configuration and intensity of commercial land uses that are envisioned. Figures 2-9(a) and (b) illustrate the types of loading dock screening that will be required to buffer the future residential areas to the north of "C" street.

Section 2.4.2 outlines the concept for the mixed use area proposed in planning areas 4a and 4b. Expansion of nonresidential uses in the form of office and some commercial retail uses will be allowed in these areas – should the future market conditions demand. Live-work residential units will also be allowed in this area.

### **Development Standards (Section 2.5)**

Section 2.5 of the Specific Plan outlines the development regulations for the project. Table 2-1 contains the permitted uses in each of the land use categories. Table 2-2 lists the development standards for detached residential development. Table 2-3 has the standards for attached residential development. Table 2.4 contains the standards for future commercial and mixed use development.

### **Circulation/Mobility Plan (Section 2.6)**

Section 2.6 contains a discussion about the circulation plan for the project. Figure 2-11 shows the hierarchy of streets. Figures 2-12(a) through 2-12(l) show the cross-sections for all of the street types. Automotive circulation to the site is provided by improvements to West Florida Avenue, Myers Street and Devonshire Avenue. Florida Avenue will be developed as a Major Arterial with six travel lanes and a center median. Myers Street will be a divided secondary street with a raised center median and a bike lane on the western portion of the street. Devonshire Avenue will be developed as a secondary street with an 8 foot NEV/Bike lane on either side. Both Myers Street and Devonshire Avenue will have a right-of-way width of 94 feet. The project is not proposing to develop or improve its western border along the Old Warren Road Right-of-Way unless required during the later phases of development. The R.O.W. contains a EMWD sewer line so a maintenance access road will be provided.

The plan calls for an extensive bicycle and pedestrian network as outlined in Section 2.6.4. The plan will have completely separated off-street paths for bikeways (Class I) along with Class II and Class III (on-street) facilities. Two Neighborhood Electric Vehicle (NEV) routes are included along Devonshire Avenue and "A" street within the central corridor of the project. The proposed project will be the first one in Hemet to implement the NEV Plan in the 2030 General Plan. Figure 2-13 illustrates the network of pedestrian and bicycle paths.

### **Recreation Spine (Section 2.7)**

The plan has a 12.19 acre recreation spine area that diagonally transects the project along a 200 foot easement that the Metropolitan Water District (MWD) has for its two water transmission lines. The plan calls for developing this area for a variety of plan uses which starts with a "community green" next to the commercial area to the south and ends with a baseball diamond facility in the northern area next to Devonshire Avenue. The types of permanent recreations facilities constructed in the area is restricted due to the possibility of MWD needing to repair and replace its pipelines in the future. Illustrations of the components of the recreation spine are shown in Figure 2-16 through 2-21. The Community Green area is proposed to have an amphitheater and a multi-purpose Community Center building with proximity to the commercial center to the south.

### **Public Facilities and Services (Section 2.8)**

Section 2.8 discusses the provision of on-site grading, utility service, infrastructure for the Ramona Creek project. The project proposes to develop 23.83 acres as a regional drainage corridor which will serve the local region. The Ramona Creek Corridor will transmit storm water flows from the northeast to the southwestern corner of the site. The Corridor has been designed to act as a passive landscaped recreational corridor with pathways on each side. A retention basin will allow the storm water flows to be collected and then pumped southerly underneath the Florida Avenue and Warren Road intersection to discharge in a metered fashion along the existing drainage ditch on the west side of Warren Road. (See Figures 2-23 through 2-25).

Other utilities are shown in Figure 2-26 through 2-28. The project will be utilizing reclaimed water that will be available in lines in Devonshire Avenue and Myers Street.

### **Design Guidelines (Chapter 3)**

Chapter 3 of the Specific Plan contains design guidelines for the physical design of the community streetscape elements, neighborhood entries, and architectural development of individual projects. The intent is to create an attractive and cohesive community identity. Section 3.2 illustrates community-wide design elements in the form of entry monuments at major and minor project entries generally located along the perimeter of the project. Section 3.3 deals with directional signage, tenant identification and sign illumination.

Landscape design is covered in Section 3.4. The design concept of the Ramona Creek project will feature a palette of drought-tolerant and native plant materials. Four thematic landscape zones are proposed in the 1) commercial area, 2) residential areas, 3) recreational spine, and the 4) Ramona Creek corridor. General landscape requirements and illustrations for the project are found in Section 3.4.2. Requirements for walls and fences are found in Section 3.4.8

Commercial non-residential design guidelines are listed in Section 3.5 which includes general design principles for building design, parking, and other environmental considerations. Section 3.6 contains guidelines for mixed-use design inclusive of live-work units. Future projects will follow two non-residential architectural styles of 1) Craftsman, and 2) Spanish Colonial.

Residential design guidelines are shown in Section 3.7. The following five (5) architectural styles have been selected for future residential projects: 1) Farmhouse, 2) Cottage, 3) Craftsman, 4) Monterey, and 5) Spanish Colonial. All commercial and residential project require a Site Development Review (SDR) to be considered and approved by the Planning Commission that will review individual project architecture, site design, and landscape elements consistent with the design guidelines in the plan.

### **Sustainability (Chapter 4)**

Chapter of the Specific Plan outlines a sustainable design strategy to incorporate fundamental principles of energy and water conservation. The chapter contains both mandatory and options requirements that are based on the 2010 CALGreen Code and the Draft Environmental Impact Report (DEIR) for the project. The subsections in this chapter deal with the following topics: 1) Green Infrastructure, 2) Landscaping, 3) Building-Level Sustainability, and 4) Resource Conservation.

### **Administration & Implementation (Chapter 5)**

Chapter 5 of the Specific Plan deals with the administration and implementation of future development of the project area. The chapter also outlines the relationship of the Specific Plan to the City's General Plan and Zoning. Section 5.5 concerns administration of the project with regard to amendments and minor revisions. These procedures are routine as provided for in all specific plans in the City. The review and approval process for new development is listed in Section 5.6. Since the project is conceptual at this time without specifics as to site layout and architecture, all future development projects will require Planning Commission review.

The Ramona Creek project is unique in that it provides a considerable amount of flexibility for future land uses as to type and/or density. Consequently, future development will need to be assessed as to whether it conforms to the land use intensity stated in the Land Use Plan. Section 5.7 Development Build-out, contains an explanation of the various alternatives anticipated in the Specific Plan. Figure 5-5 shows the proposed land use plan with a 12.27 acre elementary school site shown in Planning Area 10. If the Hemet Unified School District (HUSD) elects not to build a school in PA10, then a target density of 72 units within a range of 37-98 units could be built on the site. Development over the target density would need a transfer of units from another planning area. Figure 5-6 shows PA 10 without the school site designation, as a land use plan alternative.

The land use plan also allows for additional commercial/office development in the Village Residential planning areas 4a and 4b. The table in Figure 5-5 (Proposed Project) shows the allowable area of 649,044 sq. ft. of commercial area within the plan. However, developing at the maximum would result in a correspondingly lesser number of dwelling units. Figure 5-7 shows the Residential Oriented Alternative with an allowable maximum of 1,077 dwelling units and 535,788 sq. ft. of commercial space. Correspondingly, Figure 5-8 illustrates the Commercial Oriented Alternative where a maximum of 760,035 sq. ft. of commercial space is developed with a 778 d.u. maximum. Section 5.7.1 explains the Development Equivalency Program for the project. Each development proposal in the future will have to be assessed as to its fit with the allowable intensity of the plan.

**Section 5.8 – Financing Plan** outlines the various funding components that will be utilized in building the project. A variety of financing tools, i.e. special assessment districts and/or lighting and landscaping maintenance districts will be used in addition to developer financing.

**Section 5.9 – Implementation, Maintenance & Monitoring.** There will be several associations formed to handle the ongoing maintenance and operation of the project. These will be in the form of homeowner, property and business associations. Development and maintenance responsibilities are outlined in Table 5-1.

**Section 5.10 – Phasing Plan.** This section outlines the various infrastructure and amenity requirements needed prior to implementation of the various phases of the plan. In order to respond to the developer's need for flexibility in the plan, the Phasing Plan is an extensive outline through graphics and tables of what infrastructure must be in place prior to development of a particular planning area.

Generally the plan has been divided into a West and East Phase. The Western Phase is the commercial area of PA3 and residential areas to the west of "B" street as illustrated in Figures 5-9 through 5-12F.3. The key component of providing for development of the western areas will be the grading and improvement of the drainage basin within the Ramona Creek Corridor in PA1a. The eastern planning areas will be allowed to develop when the drainage corridor is installed in PA1b. There is a small area within PA 2b and 4a that is dependent on improvement of the Tres Cerritos East perimeter drainage channel (see Figure 5-9). Currently this area would be subject to inundation without the perimeter drainage improvement included as

part of the upstream Tres Cerritos East project.

**GENERAL PLAN AMENDMENT NO. 12-005/GENERAL PLAN CONSISTENCY**

The 2030 General Plan designates the project site as part of the West Florida Avenue Mixed-Use Area No. 1, and Low Density Residential, as shown in Attachment C. As such, a mixture of residential and commercial land uses were anticipated as part of the region's primary retail destination due in part because of the proximity of the future SR 74/79 interchange.

Table 2.3 of the General Plan assumed that of the 430 acres of Mixed-Use Area No. 1 that is within the City's boundaries a total of 516 dwelling units would be developed. The Ramona Creek project is proposing a maximum of 1,077 dwelling units by itself. However, the General Plan commercial density for this area estimated 3.4 million square feet of new commercial (city and county areas), based upon prior development proposals for the site and surrounding area. The land use mix for the site as proposed by the applicant, and supported by their market and fiscal studies, indicated that a more appropriate and achievable land use distribution for the area was needed. Therefore a General Plan Amendment (GPA 12-005) was required.

Additionally, the area north of Devonshire Avenue is presently designated as Low Density Residential (LDR-2.1 to 5.0 d.u./ac.). The applicant is requesting that this 44.9 acre area be designated Low-Medium Density Residential (LMDR - 5.1-8.0 d.u./ac.) which would allow for small lot single family residential development.

The DEIR analyzed the proposed changes to the General Plan and determined that the impacts associated with the more residentially intense land uses had fewer impacts than with the greater commercial land use scenario originally analyzed in the General Plan Final EIR.

Appendix A of the Specific Plan contains a detailed Consistency Analysis of the project with the 2030 General Plan.

**TENTATIVE TRACT MAP NO. 36510**

The applicant is proposing to subdivide the site into 37 lots for future development as shown in Attachment No. 3. The lots range in size from 1.38 acres (Lot 24) to 6.95 acres (Lot 7). The lots are portions of the various planning areas in the Specific Plan. However, additional lots are being created in commercial and larger residential planning areas to allow for future flexibility in adjusting the lot lines for future development needs.

TTM 36510 would dedicate the master plan street rights-of-way and allow for construction of the backbone infrastructure for the project. Additionally there are 49 lettered lots that are for perimeter landscape lots, open space and park areas. These areas would be publically owned and maintained either by a Lighting & Landscape Maintenance District (L&LMD) or Property Owners Association (POA).

**AIRPORT LAND USE COMPATIBILITY**

All legislative applications (i.e. Zone Changes, Specific Plans) need to be reviewed by the Riverside Airport Land Use Commission (ALUC) for properties within the Airport Influence Area. The proposed project is in Area III (Moderate Risk). Area III allows for the proposed land uses but restricts the height of buildings dependent on how far of distance they are from the centerline of the airport runway. The ALUC will review

the Specific Plan in order to determine if it is consistent with the Hemet-Ryan Airport Master Land Use Plan. The applicant has submitted the Specific Plan for the ALUC review which is scheduled to occur on May 8, 2014. The Specific Plan requires that future buildings occurring within Area III obtain FAA clearance with regard to the height of the building.

### **ENVIRONMENTAL IMPACT REPORT**

A Draft Environmental Impact Report (DEIR) has been prepared for the project and circulated for a 45-day comment period starting on March 21, 2014 and ending on May 5, 2014. The DEIR addresses several primary issues including aesthetics, agricultural resources, air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, land use, noise, public service, traffic and utilities. Mitigation measures proposed for many of the impacts are provided in the Mitigation Measure Monitoring Plan (MMMP) found in Chapter 1 (Executive Summary) of the DEIR. (See Attachment No. 2).

In addition to the proposed project, the DEIR analyzed four alternatives which include: A) No Project (Continuation of Existing Uses); B) No School Project; C) Residential-Oriented Project; and D) Commercial-Oriented Project. The Notice of Preparation (NOP) was sent out stipulating a project which would include 1,077 residential dwelling units and 535,788 square feet of commercial land uses. Alternative D includes 778 residential dwelling units and 760,035 square feet of commercial land uses. Although the amount of commercial square footage is higher than under the Project, it would not result in any new or increased significant impacts beyond those identified for the Project.

The DEIR has found that there will be impacts to the environment concerning air quality and traffic that cannot be completely mitigated. Regional construction and localized construction emissions have been mitigated to levels that would not be considered significant. However, regional (cumulative) operational emissions would be significant and unavoidable. The project site and the air quality basin in general is in an area designated as an extreme non-attainment area for O3 (ozone), and non-attainment area for PM10 (Repirable Particulate Matter) and PM2.5 (Fine Particulate Matter). Project energy efficiency measures/design features are recommended to reduce the severity of the impact. Project operations-source emissions would not result in or cause a significant localized air quality impact. The project traffic will not cause or result in CO concentrations exceeding applicable state standards. Project operational-source emissions would not adversely affect sensitive receptors in the Project Area. Project operational-source emissions would not conflict with the 2007 Southern California Regional Air Quality Management Plan (AQMD). The air quality modeling tool is very conservative and does not take into consideration that new residents of the project will be relocating from other areas within the air quality basin.

Three mitigation measures are proposed in the DEIR for traffic impacts. Measure O-1 calls for signalized intersection improvements at Warren Road and Devonshire Avenue (Intersection 9) prior to the issuance of the 718<sup>th</sup> equivalent dwelling unit (EDU). The Warren Road and Auto Boulevard (Intersection 12) would need a traffic signal installed prior to the 1,193 EDU within the Specific Plan area. Separate traffic calculations will be required for each individual development project in order to track the cumulative numbers of EDU's in the Specific Plan.

The project will also be responsible for paying its fair share for other necessary area-wide traffic improvements by paying the City's Development Impact Fees (DIF) and the Riverside County Transportation Uniform Mitigation Fees (TUMF). Table IV.O-20 of the DEIR lists the improvements that are included in the DIF and TUMF programs.

Traffic Mitigation Measure O-3 requires the project to participate in paying its fair-share for Non-DIF and Non-TUMF projects. The master developer or developer of an individual development project shall make a fair-share payment to the City in proportion to the individual project's applicable portion of the entire Specific Plan's percentage fair-share contribution for each of the identified cumulatively impacted intersections listed on Table IV.O-20.

Build-out of the roadway improvements identified in the Traffic Study and the City's General Plan would mitigate the significant impacts to roadway segments under the Cumulative (2035) With-Project traffic conditions. However, full funding and timing of implementation (in relation to build-out of the Project) of some of the improvements required are not guaranteed at this particular time or not under the City's control. Therefore in order to take a conservative approach based on the known information at this time, the impacts on these roadway intersections would remain significant and unavoidable.

The City will need to adopt a Statement of Overriding Considerations on these specific air quality and traffic impacts in order to certify the EIR. Responses to the public comments on the DEIR will be prepared by the environmental consultant prior to the City Council's review of the project and Final EIR. The responses to comments, Planning Commission recommendation and Final EIR will then be reviewed in sum by the City Council after the 45-day public comment period has ended.

### **POLICIES, REQUIREMENTS AND GUIDELINES REVIEW**

The proposed Specific Plan was reviewed by the City staff Design Review Committee (DRC) at multiple meetings for consistency with the City's applicable policies, requirements and guidelines. Subsequently, the DRC has recommended that the project be found consistent with the City's General Plan, Zoning Ordinance and other development requirements and guidelines. The complete analysis of this project for consistency with the City's policies, requirements and guidelines can be found in Appendix A of the Specific Plan document, and throughout the DEIR analysis.

### **PUBLIC NOTICE AND COMMUNICATIONS**

Owners of properties in the project area and those within a 500 foot radius were notified by mailed notice of the Planning Commission hearing and the public comment period for the DEIR. The general public was notified on March 21, 2014 with a legal advertisement in the Press Enterprise. Copies of the Specific Plan and DEIR were made available at the Planning Division, Hemet Public Library and on the City's website. As of the date of this report, the Planning Department has not received any letters of comment from the public.

### **FISCAL IMPACT/MARKET ANALYSIS**

The applicant provided the City with a fiscal impact report to determine what, if any, fiscal impacts the proposed project would incur to the City. The study concluded that at ultimate development of the mixed commercial-residential development would result in a net fiscal benefit to the City of \$1,201,900 annually. This is based on \$2,342,828 in projected revenues to the City compared with \$1,140,928 in costs to provide City services to the project.

A Retail and Commercial Market Analysis was also conducted for the proposed project. The study concluded that the Hemet market is underserved both for retail commercial and office space. However, the City currently has several undeveloped commercial projects. Consequently, the scaling back of the amount

of commercial development from that originally assumed in the 2030 General Plan for the site is prudent. The replacement of the commercial area with residential units will also serve to strengthen the demand for commercial services and office space.

**CONCLUSION**

The proposed Specific Plan will guide future development at the site in a manner that is consistent with the vision outlined in the City's 2030 General Plan. The Specific Plan provides development regulations for both commercial and residential land uses, in particular for mixed use development, and provides flexibility in responding to market conditions over time, while maintaining appropriate controls. This preliminary hearing is an opportunity for the Planning Commission and the public to ask questions and express any concerns on the Specific Plan, General Plan Amendment, Tentative Tract Map and Draft EIR prior to the Commission's consideration of recommendation at the May 6, 2014 meeting.

Respectfully submitted,



Ronald Running  
Project Planner

Reviewed by



Deanna Elliano  
Community Development Director

RR/mc

**ATTACHMENTS**

- A) Locational Exhibit
- B) Proposed Project Land Use Plan (Figure 5-5)
- C) Existing General Plan Land Uses for the site
- D) Proposed General Plan Land Uses for the Site
- 1) Proposed Ramona Creek Specific Plan (SP 12-001) Text **(Attached separately and provided to the Planning Commission only – also available at the City's website at [www.cityofhemet.org](http://www.cityofhemet.org) and at the Planning Division Public Counter and the Hemet Public Library).**
- 2) Draft Environmental Impact Report (DEIR), and Mitigation Monitoring and Reporting Program **(Attached separately and provided to the Planning Commission only – also available at the City's website at [www.cityofhemet.org](http://www.cityofhemet.org) and at the Planning Division Public Counter and the Hemet Public Library).**
- 3) TTM No. 36510 **(Full sized exhibit is attached separately and provided to the Planning Commission only)**

**INCORPORATED HEREIN BY REFERENCE**

City of Hemet General Plan  
City of Hemet General Plan EIR  
City of Hemet Zoning Ordinance  
City of Hemet Subdivision Ordinance  
Project Site's Riverside County Integrated Plan Multi-Species Habitat Conservation Plan Summary Report  
Contents of City of Hemet Planning Division Project File(s) SP No. 12-001, GPA 12-005 and TTM 36510

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**Attachment  
No. A  
Locational Exhibit**

**Planning Commission  
Public Meeting of  
April 1, 2014**

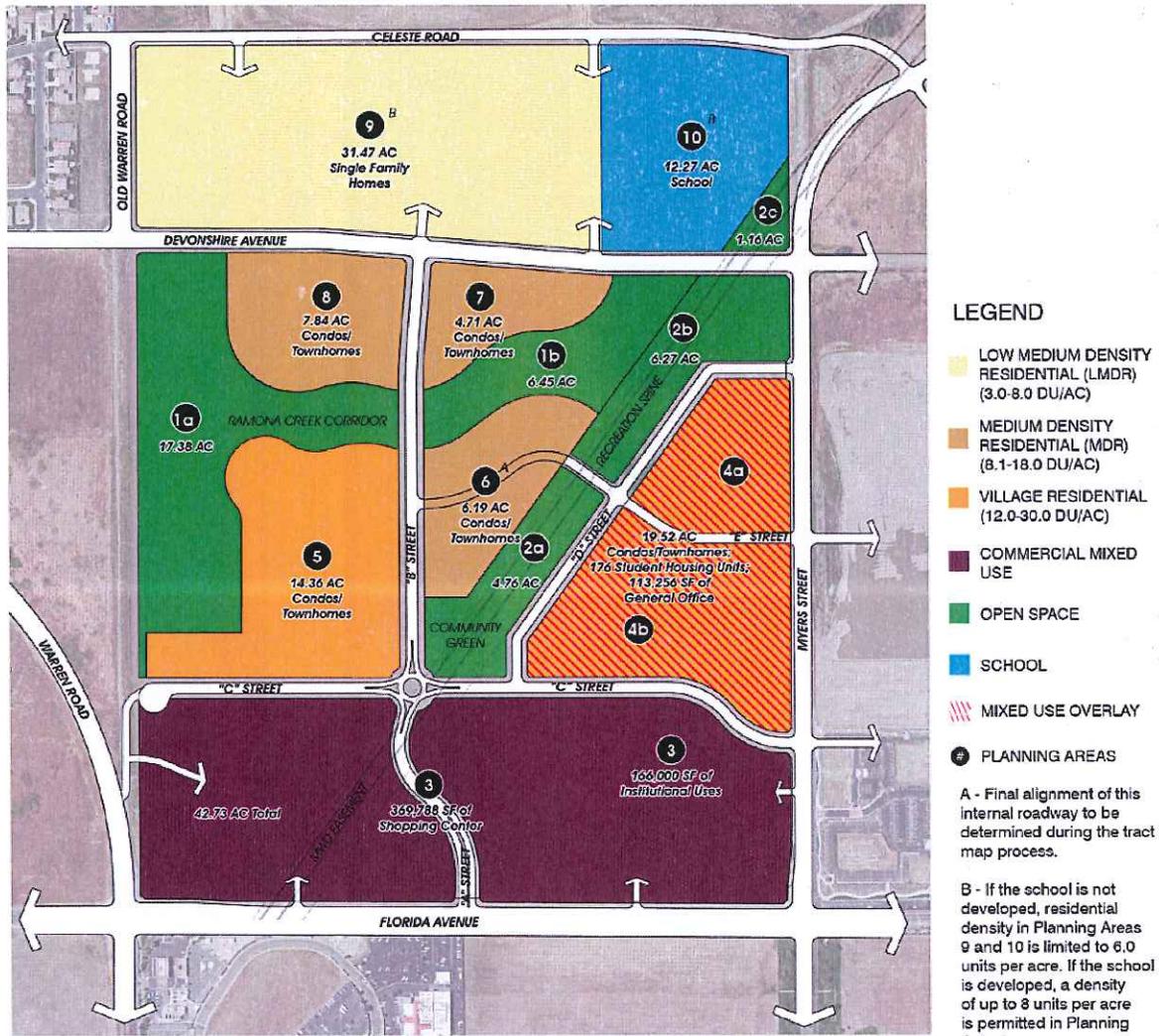


Figure 2-3. Aerial Photograph



**Attachment  
No. B  
Ramona Creek  
Land Plan**

**Planning Commission  
Public Meeting of  
April 1, 2014**



Planning Area	Land Use Category	Units/Students	Square Feet
<b>Residential</b>			
9	Single Family Homes (LMDR)	254 du	-
4, 5, 6, 7, 8	Condos/Townhomes (MDR, VR)	524 du	-
4	Student Housing (VR) <sup>1</sup>	176 du	-
<b>Nonresidential</b>			
10	Elementary School <sup>2</sup>	750 students	-
3	Institutional <sup>3</sup>	-	166,000 sf
3	Shopping Center <sup>4</sup>	-	369,788 sf
4	General Office <sup>1</sup>	-	113,256 sf
1,2	Open Space	-	-
	Street R.O.W.	-	-
<b>Totals</b>		<b>954 du*/ 750 students</b>	<b>649,044 sf</b>

du = dwelling unit; sf = square feet

**Notes:**

- 1 Assumes development of the Mixed-Use Overlay.
- 2 Assumes development of the School Overlay.
- 3 Institutional land uses would be developed within the east side of the Commercial Mixed-Use District.
- 4 Shopping Center land uses would be developed within the west side of the Commercial Mixed-Use District.

\*If the school is not developed, a maximum of 1,077 dwelling units is allowed.

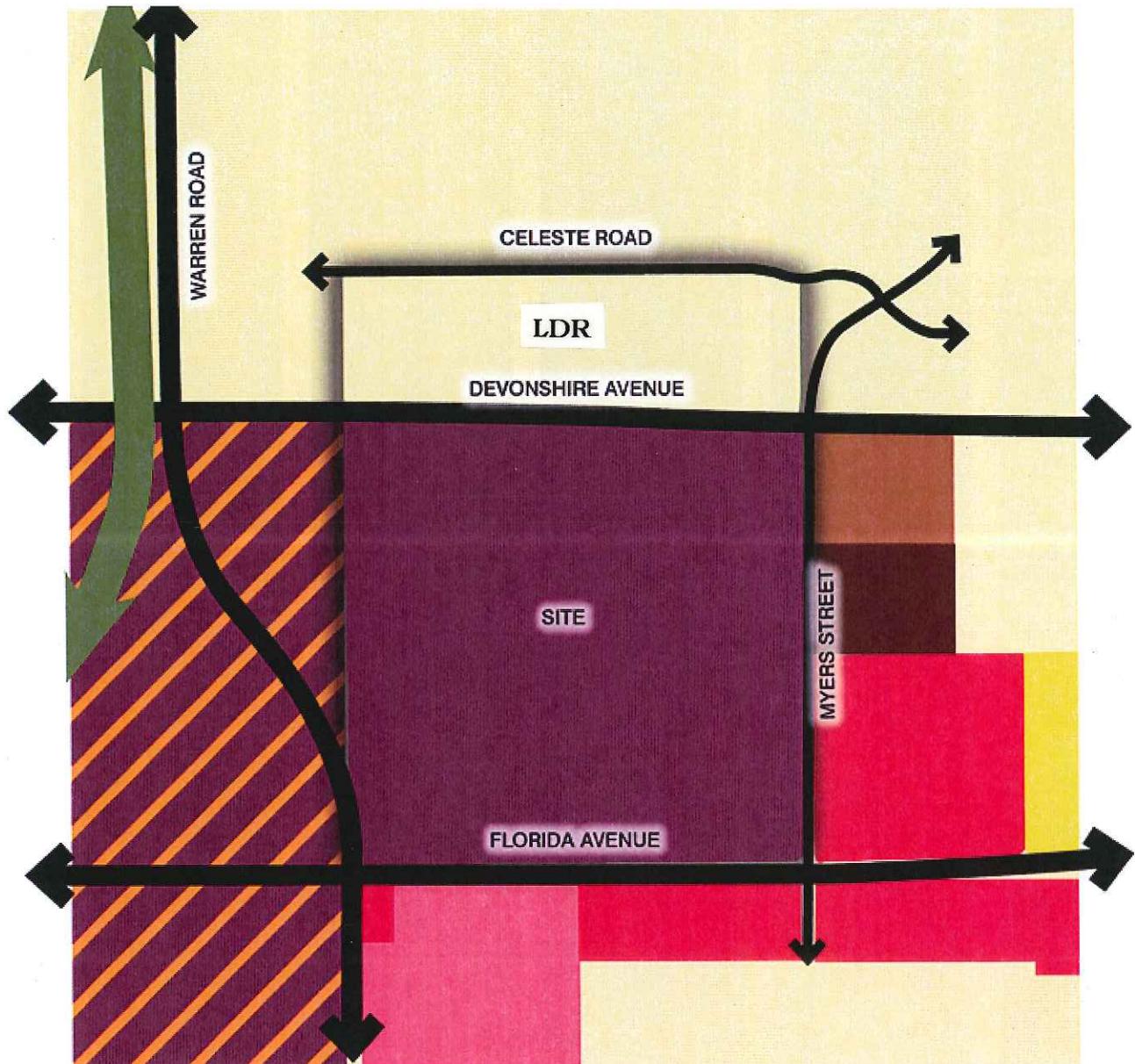
Figure 5-5. Development Scenarios - Proposed Project



# Attachment No. C

## Existing General Plan Land Uses

Planning Commission  
Public Meeting of  
April 1, 2014



**LEGEND**

 <b>LDR</b> LOW DENSITY RESIDENTIAL (2.1 - 5.0 DU/AC)	 <b>CC</b> COMMUNITY COMMERCIAL (FAR 0.40)
 <b>LMDR</b> LOW MEDIUM DENSITY RESIDENTIAL (5.1 - 8.0 DU/AC)	 <b>RC</b> REGIONAL COMMERCIAL (FAR 0.50)
 <b>HDR</b> HIGH DENSITY RESIDENTIAL (18.1 - 30.0 DU/AC)	 <b>OS</b> OPEN SPACE
 <b>VHDR</b> VERY HIGH DENSITY RESIDENTIAL (18.1 - 30.0 DU/AC)	 <b>AS</b> AREAS SUBJECT TO MSHCP CRITERIA
	 <b>MU</b> MIXED USE

*Note: This graphic shows General Plan designations as they existed prior to adoption of the Ramona Creek Specific Plan.*

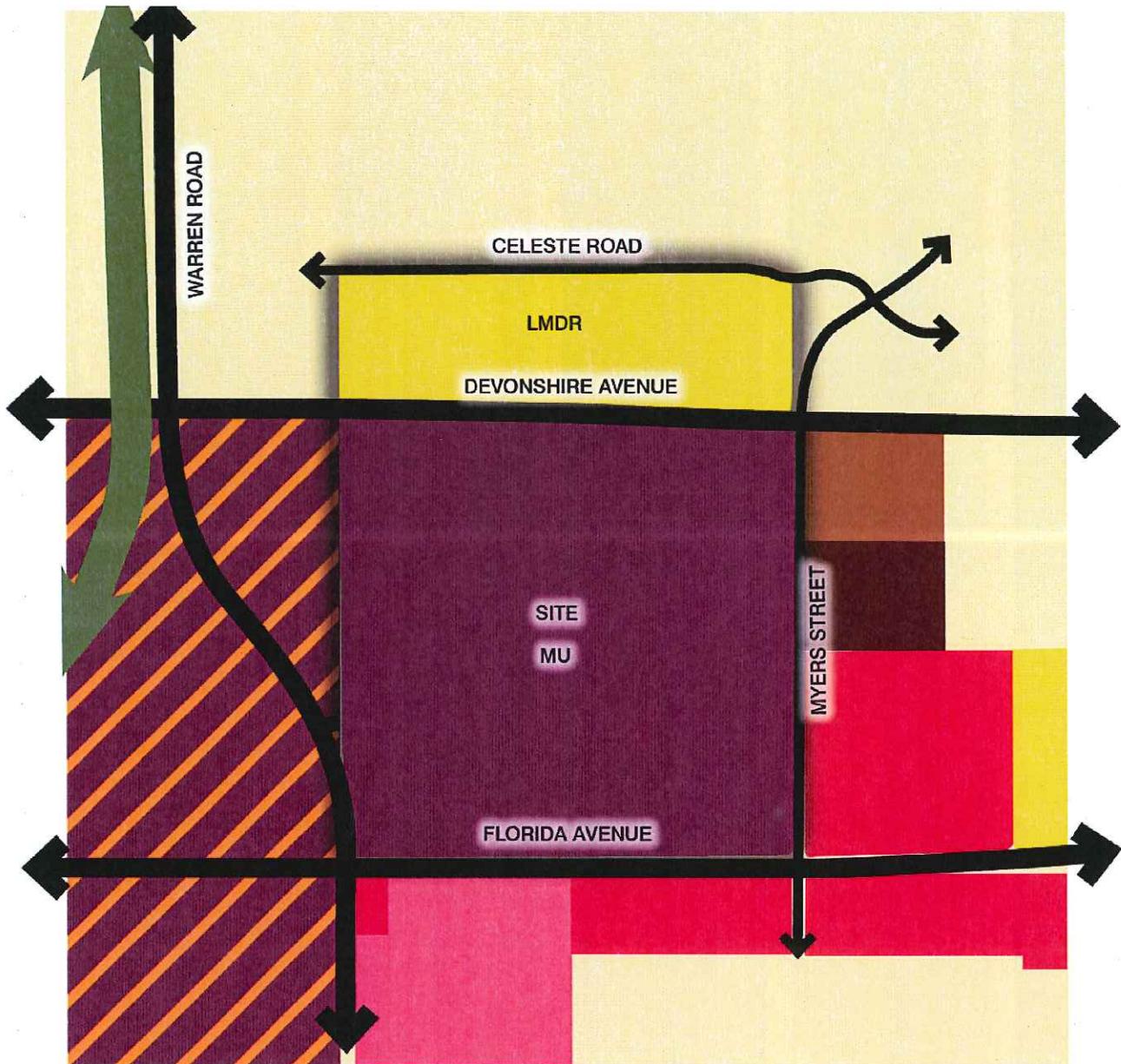
Figure 5-1. Existing General Plan Land Use Designations (2013)



# Attachment No. D

Proposed General  
Plan Amendment  
(GPA 12-005)

Planning Commission  
Public Meeting of  
April 1, 2014



LEGEND

LDR	LOW DENSITY RESIDENTIAL (2.1 - 5.0 DU/AC)	CC	COMMUNITY COMMERCIAL (FAR 0.40)
LMDR	LOW MEDIUM DENSITY RESIDENTIAL (5.1 - 8.0 DU/AC)	RC	REGIONAL COMMERCIAL (FAR 0.50)
HDR	HIGH DENSITY RESIDENTIAL (18.1 - 30.0 DU/AC)	OS	OPEN SPACE
VHDR	VERY HIGH DENSITY RESIDENTIAL (18.1 - 30.0 DU/AC)		AREAS SUBJECT TO MSHCP CRITERIA
		MU	MIXED USE

Note: This graphic shows General Plan designations upon adoption of the Ramona Creek Specific Plan.

Figure 5-2. Proposed General Plan Land Use Designations

GPA 12-005



# Attachment No. 1 Ramona Creek Specific Plan (SP 12-001)

(Document attached separately and provided to the Planning Commission only – also available at the City's website at [www.cityofhemet.org](http://www.cityofhemet.org) and at the Planning Division Public Counter and the Hemet Public Library)

Planning Commission  
Public Meeting of  
April 1, 2014

# Attachment No. 2

## Ramona Creek Draft Environmental Impact Report (DEIR)

(Document attached separately and provided to the Planning Commission only – also available at the City's website at [www.cityofhemet.org](http://www.cityofhemet.org) and at the Planning Division Public Counter and the Hemet Public Library)

Planning Commission  
Public Meeting of  
April 1, 2014

# **Attachment No. 3**

## **TTM No. 36510**

**(Full Sized Attached Separately and  
Provided to the Planning Commission Only)**

**Planning Commission  
Public Meeting of  
April 1, 2014**





## Staff Report

TO: City of Hemet Planning Commission

FROM: Deanna Elliano, Community Development Director *DE*  
Carole L. Kendrick, Assistant Planner *CK*

DATE: April 1, 2014

RE: **CONDITIONAL USE PERMIT NO. 13-005 (SEVEN DAYS MARKET)** A request for Planning Commission review and approval of a Conditional Use Permit allowing the construction and operation of fuel dispensers and a canopy in conjunction with an existing convenience store, and expansion of the hours of operation to 24 hours a day, located on the northwest corner of Stanford Street and Florida Avenue, with consideration of an environmental exemption pursuant to CEQA Guidelines Section 15301.

### PROJECT APPLICANT INFORMATION

Owner: Sanjay Jariwala  
Authorized Agent: Nasser Moghadam  
Project Location: 3660 East Florida Avenue  
Lot Area: 0.62 Acres

### STAFF RECOMMENDATION

The Planning Division recommends that the Planning Commission:

1. Adopt the attached Planning Commission Resolution Bill No. 14-006 (Attachment No. 1), approving CUP 13-005 subject to the findings and conditions of approval, and;
2. Direct staff to file a Notice of Exemption with the County Clerk.

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City of Hemet - Planning Department   
Planning Commission Meeting of April 1, 2014

## **PROJECT DESCRIPTION AND ANALYSIS**

The Applicant is currently operating the 7 Days Market at 3660 East Florida Avenue, which is located on the northwest corner of Florida Avenue and Stanford Street (see Attachment Nos. 2-5). The project is proposing to add four (4) new fueling islands with eight (8) dispensers, a 1,600 square foot canopy over the gas islands and install two (2) new underground fuel tanks with a capacity of 12,000 and 24,000 gallons of fuel. The proposed uses will integrate with the existing 2,400 square foot convenience store. In addition, the Applicant is also proposing to upgrade the site area with additional parking, new landscaping, a new identification signage and a new trash enclosure. The Applicant is also improving the driveway access to the site as well as bringing the property into compliance with current ADA requirements. In conjunction with the Conditional Use Permit, the Applicant is also requesting that the hours of operation be expanded to 24 hours from the existing 8:00 am to 10:00 pm operating hours.

The original use of the site as a 7-Eleven with gasoline sales was permitted while the property was under the jurisdiction of the County of Riverside. The property was annexed into the City of Hemet in January 1991 under Annexation No. 90-131. In February 1992, one fueling island with two gasoline dispensers was removed.

The topography of the site and surrounding area is relatively flat and partially developed (please refer to the Adjacent Zoning Map – Attachment 3, and Aerial Map – Attachment 4). The project site is accessed from two (2) drive entries on Florida Avenue and two (2) drives on Stanford Street. The Applicant is proposing to remove one drive entry from Florida Avenue and one from Stanford Street. The site is located on the northwest corner of Florida Avenue and Stanford Street on APN 438-150-041. The site is zoned C-2 (General Commercial), and is surrounded by developed commercial land.

The project proposes a gasoline service station in conjunction with an existing convenience store which is consistent with the purpose of the General Commercial (C-2) zone in providing a use permitted subject to a Conditional Use Permit. The existing and proposed structures comply with the setback requirements from all property lines, and the proposed canopy structure is below the maximum height allowed in the zone.

Site Plan/Site Design. The site is partially developed with an existing 2,400 square foot convenience store. Monolithic sidewalks, landscape planters, curb and gutter currently exist on the property. The northwestern portion of the property is currently unimproved and is utilized by the auto sales use to the west. The site design proposes to use the entire property, as shown in the Site Plan in Exhibit 1A. The proposal includes four (4) gasoline fueling islands, a 1,600 square foot canopy, 3,800 square foot of additional asphalt and parking area and 3,808 square feet of total landscaping. The proposed gasoline fueling islands and canopy are located on the southern portion of the project site fronting Florida Avenue, with parking located to the west.

Materials and Colors. The proposed canopy consists of a red tile mansard roof to match the existing convenience store. The columns of the canopy include CMU pilasters that will be painted tan to match the south elevation of the existing convenience store. The north, east and west elevations of the convenience store will also be painted to match the south elevation. The existing convenience store and proposed canopy will be painted using tan and red accent colors that are consistent with the City of Hemet Commercial and Industrial Building Color Palette. The Applicant has provided an alternate canopy plan (Sheet A-4 of Exhibit 1A) to accommodate the logo and branding for major or private fuel companies that may operate at the site.

Landscaping. The Applicant is proposing to upgrade the existing landscaping and increase the landscaping around the site that provides a decorative buffer from Florida Avenue, Stanford Street and the surrounding properties. The landscaping includes Bottlebrush, Orchid and Photinia Trees and oleander, periwinkle and pyracantha shrubs as shown on the Landscape Plan included in Exhibit 1A. The project is conditioned to provide an alternative street tree for Florida Avenue and Stanford Street. The Orchid trees are located along the western edge of the project site. The conceptual landscape plan has been designed to be consistent with the City of Hemet Water Efficient Design Guidelines.

Drainage. The project is proposing to install four (4) catch basin to direct water into the landscape planters and will meet current Water Quality Control Board requirements. The proposed canopy pad will include a trench drain surrounding it that will also direct runoff in the landscape planters.

Lighting. The existing and proposed lighting is internal to the project and does not exceed more than one foot-candle outside of the project boundary. The Applicant is proposing to utilize wall mounted lighting on the convenience store and recessed lighting under the proposed canopy. The Applicant is requesting a modification to the hours of operation from 8am to 10pm to 24 hours a day, which will require lighting for evening and early morning hours that remains internal to the project.

Circulation and Parking. The site currently has two driveways on Florida Avenue and two driveways on Stanford Street. The proposed site plan removes two (2) driveways that are located closest to the corner of Florida Avenue and Stanford Street. The on-site parking will be relocated from the front of the existing convenience store, to the northwestern portion of the property. The proposed design increased the available parking and improves site circulation. The Stanford Street drive will be modified to accommodate the proposed use and will be 36 feet wide. No changes are proposed on the remaining Florida Avenue drive. Both drive entries will include stamped concrete as an entry statement. The site plan (Attachment No. 1A) shows the locations of the driveways to be closed and the new drive approach on Stanford Street.

Gasoline service stations with or without a mini-mart are required to provide a minimum of two (2) parking spaces, plus one (1) space for each 250 square feet of retail use. The retail use occupies 1,400 square feet. The project includes a total of 8 parking spaces, which meets the

minimum 8 required spaces.

Hours of Operation. The 7 Days Market currently operates between the hours of 8am and 10pm. The Applicant is requesting to extend the hours of operation to 24 hours a day. Based on discussions with the Project's Agent, approximately 90% of gasoline stations with convenience stores offering a food mart operate on a 24 hour basis. The Hemet Police Department has indicated that they have no concerns with a 24 hour operation for this site and only requested that security cameras be provided (See Condition Nos. 62 and 63).

Signage. The Applicant is requesting to replace the existing illuminated can identification signage for the convenience store with channel letters. The Hemet Municipal Code Section 90-1251(1) allows each business in a commercial zone two square feet of sign are for each one linear foot of building frontage. The building frontage is 60 feet which allows a maximum of a 120 square foot sign. The new sign face totals 25 square feet which is well within the maximum allowed.

**PROJECT SETTING AND SURROUNDING USES**

The site is partially developed with an existing 2,400 square foot convenience store, parking, landscaping, a trash enclosure, sidewalk, curb and gutter. The northwestern portion of the property is currently unimproved and utilized by the auto sales use to the west under a month to month lease. Hemet Family Auto is aware of the Applicant's proposal and has adequate property to relocate the displaced sales area. Hemet Family Auto is located to the north and west of the project site. Gary's TV and Video are located to the east of the project site. A Shell gasoline service station is located to the south of the project site within the County of Riverside. An aerial map and photographs of the site are provided in Attachment Nos. 4 and 5 to this report.

The following table indicates land uses immediately surrounding the project site:

	LAND USE	ZONING	GENERAL PLAN
<b>PROJECT SITE</b>	Seven Day Market	C-2 (General Commercial)	CC (Community Commercial)
<b>NORTH</b>	Family Auto Sales and Service	C-2 (General Commercial)	CC (Community Commercial)
<b>EAST</b>	Gary's TV and Video Store	C-2 (General Commercial)	CC (Community Commercial)
<b>SOUTH</b>	Shell Gasoline Station	County of Riverside	CC (Community Commercial)
<b>WEST</b>	Family Auto Sales and Service	C-2 (General Commercial)	CC (Community Commercial)

The project setting is illustrated and described in more detail by the attached items:

- Land Use Designation Map(Attachment No. 2)
- Zoning Map (Attachment No. 3)
- Aerial Map (Attachment No. 4)
- Photographs of Existing Site (Attachment No. 5)

**Zoning Consistency**

Conditionally, the project proposes the construction and operation of a gasoline service station in conjunction with an existing convenience store and expanded hours of operation, which is consistent with the allowed uses in the General Commercial (C-2) zone. The structure complies with the setback requirements from all property lines for the proposed use, is below the maximum height, and has a smaller percentage of lot coverage than allowed.

Based on the project application, the information provided in the following table summarizes how this project meets and exceeds the minimum development standards of the C-2 zone.

DEVELOPMENT STANDARDS	REQUIRED C-2 ZONE	PROVIDED
Front Setback	7 feet for each 12 feet of building height	22 feet
Rear Setback	0 feet	12 feet
Side Setback	0 feet	34 feet 4 inches
Street Side Setback	10 feet landscaped	30 feet to market, 7 feet to trash enclosure
Building Height	35 feet	18 feet
Parking	8 spaces (2 spaces minimum, plus 1 space per 250 sq. ft. of retail use)	8 spaces

**General Plan Consistency**

The General Plan land use designation for the project site is CC (Community Commercial). The project is also located within the East Florida Corridor Land Use District, which recognizes small scale commercial and office uses that serve the east Hemet area. The plan promotes commercial and office uses that are compatible with the adjacent residential uses.

The proposed development is also consistent with the following General Plan policies:

- **LU-4.3 Infill Development and Re-Use** Actively promote the adaptive re-use and infill of economically underutilized, obsolete, and dilapidated commercial and industrial sites, and foster rehabilitation consistent with surrounding uses and the needs of the community.
- **C-1.9 Driveway Standards** As part of City roadway standards, maintain and enforce minimum driveway separation standards for various types of roadways included in the City of Hemet General Plan Roadway Circulation Master Plan. Wherever possible, consolidate driveways on arterial streets and implement access controls during redevelopment of adjacent parcels.

#### **Transportation Uniform Mitigation FEE (TUMF)**

Pursuant to Section 5.1 of the Western Riverside Council of Governments (WRCOG) Transportation Uniform Mitigation Fee (TUMF) Fee Calculation Handbook, all types of fuel filling stations are subject to the TUMF based on the total number of fuel filling positions. The canopy area is not subject to the TUMF.

#### **Multi-Species Habitat Conservation Plan (MSHCP)**

Pursuant to Chapter 31, Section 31-16 (2) of the Hemet Municipal Code, rehabilitation or remodeling of an existing residential unit, commercial or industrial building, and additions to an existing residential unit or commercial or industrial building are exempt. Therefore, the project is exempt from the MSHCP Mitigation Fee.

#### **Airport Land Use Compatibility**

The project is located on the northwest corner of Stanford Street and Florida Avenue, is not within the Hemet Ryan Airport Influence area, and is outside the area that may be subject to Airport Land Use Commission review. Therefore, the project can be considered compatible with the Hemet/Ryan Airport Land Use Plan.

#### **Development Review Committee (DRC) Recommendation**

On September 19, 2013 and February 27, 2014, the project was reviewed for design by the DRC. Staff from the various City departments provided written conditions that have been incorporated into the proposed conditions of approval (Exhibit 1B).

## CEQA REVIEW

The project is exempt from CEQA under CEQA Guidelines Section 15332 in that the staff report submitted by the Planning Division and other findings made in the attached Resolution demonstrate that the project meets the criteria for application of a Class 32(In-fill Development) Categorical Exemption under the CEQA Guidelines for the following reasons:

- Conditional Use Permit No. 13-005 is consistent with the land use designation and all applicable General Plan policies as well as with the applicable zoning designation of C-2 (General Commercial).
- The proposed development occurs within City limits on a project site of no more than 5 acres substantially surrounded by commercial uses. The project site comprises of a 0.62 acre lot (APN: 438-150-041).
- The project site has no value as habitat for endangered, rare or threatened species. Based on the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) database, the site is not a part of an identified cell. The entire project site is undeveloped. Therefore, no sensitive species or other protected biological resources were observed or are likely to be present.
- Approval of the project would not result in any significant effects relative to traffic, noise, air quality or water quality. There is no indication that the project would materially affect traffic, noise, air quality or water quality, or result in any significant effects.
- Finally, the site can be adequately served by all required utilities and public services. All utilities and services are present at the streets fronting the site. Public Services, including public safety, currently exist and are adequate for the proposed project.

## PUBLIC COMMUNICATIONS RECEIVED

On March 21, 2014, the City gave public notice by publishing notice in the Press Enterprise, and mailing said notice to property owners located within 300 feet of the project site, of the holding of a public hearing.

At the time of report preparation, the Planning Division has not received any letters of comment from the public. Staff received one phone call on March 20, 2014, from Mr. Robert Kreitz who resides at 169 Stanford Street. Mr. Kreitz indicated that he is favor of the addition of gasoline sales and a 24 hour operation. Mr. Kreitz also stated that the proposed improvements to the property will be beneficial for the area.

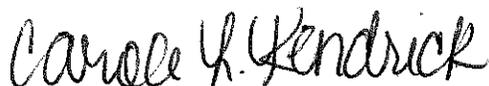
## REPORT SUMMARY

Conditional Use Permit No. 13-005 is for the design, construction, and operation of a gasoline service station with four (4) fueling islands, eight (8) dispensers, and a 1,600 square foot canopy in conjunction with an existing convenience store and expanded hours of operation located on the northwest corner of Stanford Street and Florida Avenue.

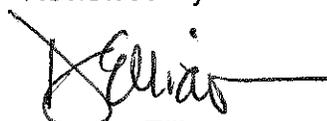
For the reasons stated previously, the Planning Division believes that the project can be found exempt from the California Environmental Quality Act as an in-fill development project pursuant to Section 15332 of the CEQA guidelines, and that a Notice of Exemption can be filed for Conditional Use Permit No. 13-005. The Planning Division recommends approval of the project pursuant to the attached conditions of approval, and any additional conditions as may be added by the Planning Commission. The Planning Commission's actions are final unless appealed to the City Council within ten working days.

Respectfully submitted,

Reviewed By:



Carole L. Kendrick  
Assistant Planner



Deanna Elliano  
Community Development Director

## ATTACHMENTS

- 1) Planning Commission Resolution No. 14-006  
Exhibit 1A - Development Plan  
Exhibit 1B - Conditions of Approval
- 2) Land Use Designation Map
- 3) Zoning Map
- 4) Aerial Map
- 5) Photographs of Existing Site
- 6) Statement of Operations

## INCORPORATED HEREIN BY REFERENCE

City of Hemet General Plan  
City of Hemet General Plan EIR  
City of Hemet Zoning Ordinance  
City of Hemet Subdivision Ordinance  
Contents of City of Hemet Planning Department Project File CUP 13-005

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City of Hemet - Planning Department   
Planning Commission Meeting of April 1, 2014

# Attachment No. 1

Resolution No. 14-006

Planning Commission  
Meeting of  
April 1, 2014



CITY OF HEMET  
Hemet, California

RESOLUTION BILL NO. 14-006

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA APPROVING CONDITIONAL USE PERMIT NO. 13-005 FOR THE CONSTRUCTION AND OPERATION OF FOUR (4) GASOLINE FUELING ISLANDS, A 1,600 SQUARE FOOT CANOPY AND EXPANDED HOURS OF OPERATION TO 24 HOURS A DAY LOCATED AT 3660 EAST FLORIDA AVENUE (APN 438-150-041)

**WHEREAS**, an application for Conditional Use Permit No. 13-005 for the construction and operation of four (4) gasoline fueling islands, a 1,600 square foot canopy and expanded hours of operation to 24 hours a day has been duly filed by:

Owner: Sanjay Jariwala  
Agent: Nasser Moghadam  
Project Location: 3660 East Florida Avenue  
APN: 438-150-041; and,

**WHEREAS**, the Conditional Use Permit Application was submitted for consideration on August 23, 2013; and,

**WHEREAS**, the Planning Commission has the authority per section 90-1531 *et seq.* of the Hemet Municipal Code to take action on Conditional Use Permit No. 13-005 to allow construction and operation of the proposed use; and,

**WHEREAS**, on March 21, 2014, the City gave public notice by advertising in the Press Enterprise and by mailing to property owners within 300 feet, of the holding of a public hearing at which the project would be considered by the Planning Commission; and,

**WHEREAS**, on April 1, 2014, the Planning Commission held the noticed public hearing at which interested persons had an opportunity to testify in support of, or opposition to, the Conditional Use Permit and at which the Planning Commission considered the Conditional Use Permit; and,

---

Planning Commission Resolution Bill No. 14-006  
CONDITIONAL USE PERMIT NO. 13-005 – 7 DAYS MARKET

1           **WHEREAS**, the Community Development Director has reviewed the project's  
2 potential effects on the environment and has recommended that the project is  
3 categorically exempt from the California Environmental Quality Act ("CEQA") under  
4 CEQA Guidelines Section 15332 "In-fill Development" and that the exceptions to the  
5 categorical exemptions contained in CEQA Guidelines section 15300.2 are not  
6 applicable to this project.  
7

8           **NOW, THEREFORE**, the Planning Commission of the City of Hemet does  
9 Resolve, Determine, Find and Order as follows:  
10

11 **SECTION 1: ENVIRONMENTAL FINDINGS**  
12

13 The Planning Commission, in light of the whole record before it, including but not limited  
14 to, the City's Local CEQA Guidelines and Thresholds of Significance, the  
15 recommendation of the Community Development Director as provided in the Staff  
16 Report dated April 1, 2014 and documents incorporated therein by reference, and any  
17 other evidence (within the meaning of Public Resources Code §21080(e) and §21082.2)  
18 within the record or provided at the public hearing of this matter, hereby finds and  
19 determines as follows:  
20

21 1.       **CEQA:**  
22

23       (a)   The project is exempt from provisions of the California Environmental  
24 Quality Act (CEQA) under CEQA Guidelines Section 15332 in that  
25 information contained in the project file and documents incorporated  
26 herein by reference demonstrate that: Conditional Use Permit No. 13-005  
27 is consistent with the CC (Community Commercial) General Plan  
28 designation and all applicable General Plan policies as well as the  
29 applicable zoning designation; the proposed project site is located within  
30 the boundaries of the City of Hemet; Conditional Use Permit No. 13-005  
31 has no value as habitat for endangered, rare or threatened species; there  
32 is no substantial evidence in the record that Conditional Use Permit No.  
33 13-005 will result in significant effects related to traffic, noise, air quality or  
34 water quality in that the proposed design incorporates and otherwise is  
35 subject to air and water quality resource agency design requirements to  
36 avoid any harmful effects; and the site is or can be adequately served by  
37 all required utilities and public services. As such, the project meets the  
38 criteria for application of a Class 32 (In-fill Development) Categorical  
39 Exemption under the CEQA Guidelines. Additionally, none of the  
40 exceptions provided in CEQA Guidelines Section 15300.2 apply to this  
41 project.  
42

43       (b)   None of the exceptions to the categorical exemptions contained in CEQA  
44 Guidelines Section 15300.2 prevent CEQA Guidelines Section 15332 from  
45 exempting the project for the following reasons:

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**Planning Commission Resolution Bill No. 14-006**  
                                  **CONDITIONAL USE PERMIT NO. 13-005 – 7 DAYS MARKET**

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- (i) The project is not a Class 3, 4, 5, 6, or 11 project, and therefore is not subject to the exception pertaining to projects located in particularly sensitive environments.
- (ii) The nature of the project is such that significant cumulative impacts will not occur from successive projects of this type occurring in the same location over time. No information has been presented that this project would have impacts that would contribute to a level of cumulative impacts that would be considered significant.
- (iii) There is no reasonable possibility that unusual circumstances will cause the project to have a significant effect on the environment. No information is known or has been presented to indicate that there are unusual circumstances related to this project that would cause a significant effect.
- (iv) The project will not result in damage to scenic resources within a designated state scenic highway. The project is not located in proximity to such a highway.
- (v) The project site has not been listed as a hazardous waste and substance facility or site by the Department of Toxic Substances Control pursuant to California Government Code Section 659625.
- (vi) The project will not cause a substantial adverse change to the significance of a historical resource. There are no historical resources on the project site.

The Community Development Director has reviewed the project's potential effects on the environment and has recommended that the project is categorically exempt from the California Environmental Quality Act ("CEQA") under CEQA Guidelines Section 15332 "In-fill Development", and that the exceptions to the categorical exemptions contained in CEQA Guidelines section 15300.2 are not applicable to this project.

2. **Multi-Species Habitat Conservation Plan (MSHCP):** The project is found to be consistent with the MSHCP. The project is located outside of any MSHCP criteria area and is exempt from the MSHCP Mitigation Fee pursuant to Chapter 31, Section 31-16 (2) of the Municipal Code.

1 **SECTION 2: REQUIRED CONDITIONAL USE PERMIT FINDINGS**

2  
3 Pursuant to Hemet Municipal Code Section 90-1537(c) and in light of the record before  
4 it including the staff report dated April 1, 2014 and all evidence and testimony heard at  
5 the public hearing of this item, the Planning Commission hereby finds as follows:  
6

- 7 1. That the proposed location, use and operation of the conditional use is in accord  
8 with the objectives of Chapter 90 of the Hemet Municipal Code, the purposes of  
9 the zone in which the site is located, is consistent with the General Plan, and  
10 complies with other relevant city regulations, policies and guidelines.

11  
12 The project is subject to and consistent with the Development Standards for the  
13 General Commercial (C-2) zone. The zoning allows gasoline service stations,  
14 subject to a Conditional Use Permit. The project proposes the construction and  
15 operation of four (4) gasoline fueling islands with eight (8) dispensers, a 1,600  
16 square foot canopy and expansion of the hours of operation to 24 hours a day on  
17 a 0.62 acre parcel. The proposed gasoline fueling islands and canopy comply  
18 with the minimum setbacks from property lines, the height of the structure is  
19 below the maximum height requirement of the Hemet Municipal Code, and has a  
20 smaller coverage than allowed.  
21

22 The proposed project is in conformance with the General Plan for the City of  
23 Hemet. The land use designation for the project site is Community Commercial  
24 (CC) within the East Florida Corridor. The proposed development is consistent  
25 with the General Plan Land Use policy (LU-4.3) regarding the adaptive re-use of  
26 economically underutilized, obsolete, and dilapidated commercial and industrial  
27 sites.  
28

- 29 2. That the proposed location of the conditional use and the conditions under which  
30 it would be operated or maintained will not be detrimental to the public health,  
31 safety or welfare, nor materially injurious to properties or improvements in the  
32 vicinity.  
33

34 The site has been designed to meet all development standards of the C-2 zone  
35 which is intended to protect the public health, safety and welfare. The location of  
36 the proposed project complies with development standards, as discussed in the  
37 staff report and attachments that are provided to assure that the project and  
38 other properties and improvements in the vicinity are compatible, and that the  
39 proposed project is not detrimental to the surrounding community.  
40

41 The location of the proposed structures will not conflict with on-site circulation  
42 since the parking spaces and drive aisles meet the minimum standards. Based  
43 on the above, the use will not have a significant impact on, nor be detrimental or  
44 injurious to properties or improvements in the vicinity.  
45

1 3. That the proposed conditional use will comply with each of the applicable  
2 provisions of Chapter 90 of the Hemet Municipal Code and with other relevant  
3 city regulations, policies, and guidelines.

4  
5 The proposed use of the project site as a gasoline service station and  
6 convenience store complies with the intent and purpose of the C-2 zone as an  
7 area in which gasoline service stations can be located subject to conditions that  
8 ensure compatibility with surrounding uses. The applicant has proposed a  
9 project that conforms to development standards provided by the zoning code.

10  
11  
12 **SECTION 3: PLANNING COMMISSION ACTIONS**

13  
14 The Planning Commission hereby takes the following actions:

- 15  
16 1. **Approves Conditional Use Permit.** Conditional Use Permit No. 13-005 is  
17 hereby approved as shown in Exhibit A which is attached hereto and  
18 incorporated herein by reference, and subject to the Conditions of Approval in  
19 Exhibit B which are attached hereto and incorporated herein by reference.

20  
21 **PASSED, APPROVED, AND ADOPTED** this 1<sup>st</sup> day of April, 2014 by the  
22 following vote:

- 23 AYES:  
24 NOES:  
25 ABSTAIN:  
26 ABSENT:

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John Gifford, Chairman  
Hemet Planning Commission

ATTEST:

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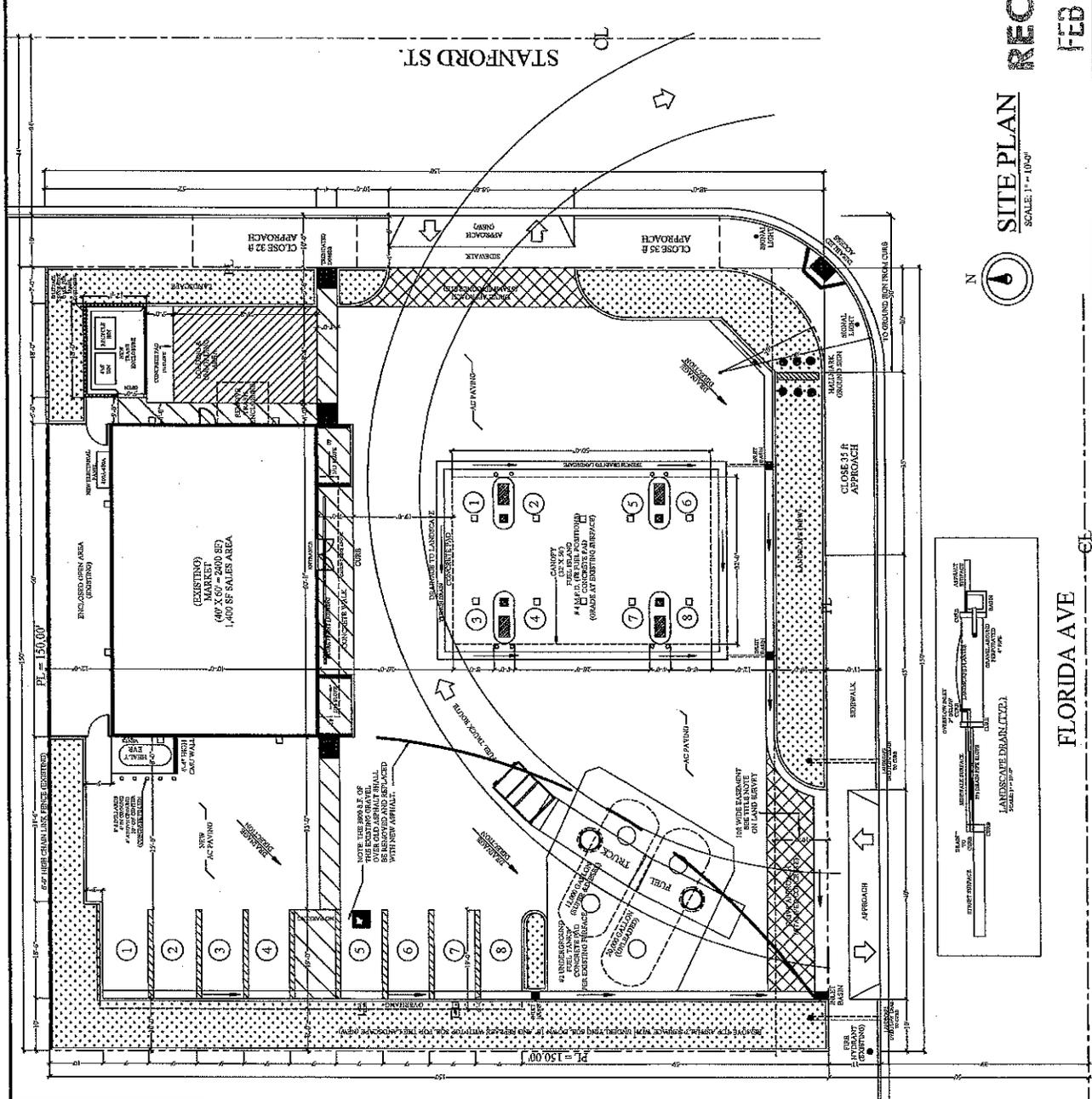
Melissa Couden, Records Secretary  
Hemet Planning Commission

**Exhibit  
No. 1A  
Development Plan**

**Planning Commission  
Meeting of  
April 1, 2014**

<b>CLIENT / OWNER</b> M. S. SHERMAN 5660 E. FLORIDA AVE. PLEASANTON, CA 94544		<b>PROJECT DATA</b> SITE PLAN 5660 E. FLORIDA AVE. PLEASANTON, CA 94544		DRAWING NO. A-1
<b>DESIGN WORKS BY MASTERS, MCPHADAM &amp; ASSOCIATES</b> ARCHITECTS 1000 COLLEGE AVENUE, SUITE 100 PLEASANTON, CA 94544 (925) 462-1000		<b>REVISIONS</b> NO. DATE REVISIONS		SCALE: 1" = 10'-0" DATE:

<b>SITE DATA</b> PROJECT ADDRESS: 5660 E. FLORIDA AVE., PLEASANTON, CA 94544 APPLICATOR: M. S. SHERMAN PROPOSED: AND FUEL FACILITY TO EXISTING MARKET		<b>GENERAL DATA</b> EXISTING ZONING: C-1 PROPOSED ZONING: C-1 PROPOSED LAND USE: COMMUNITY COMMERCIAL (LOCAL) NEW FUEL FACILITY ADDED TO EXISTING MARKET LOT AREA: 157,157 SQ. FT. (3.58 AC.) LOT DIMENSIONS: 157' X 157' X 234' X 157'	
<b>BUILDING DATA</b> PROPOSED STRUCTURE: 18 FEET (EXISTING MARKET) PROPOSED HEIGHT: 18 FEET (EXISTING MARKET) PROPOSED AREA: 18,000 SQ. FT. (EXISTING MARKET) PROPOSED PERMITS: 18,000 SQ. FT. (EXISTING MARKET)		<b>PROJECT DATA</b> GENERAL APPLICANT: MARYVALA MANNING ADDRESS: 5660 E. FLORIDA AVE. PLEASANTON, CA 94544 TELEPHONE: (925) 462-1000	



**RECEIVED**  
 FEB 13 2014  
 PLANNING

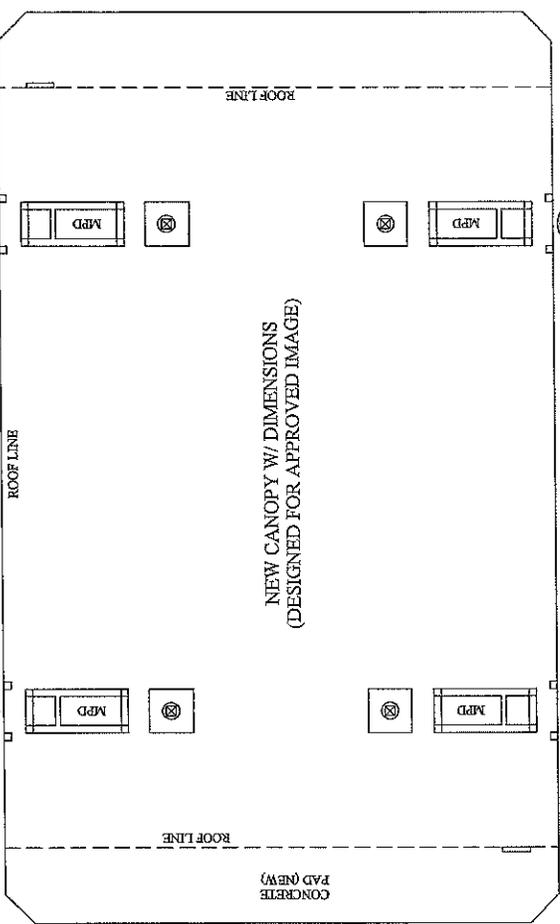
**SITE PLAN**  
 SCALE: 1" = 10'-0"

FLORIDA AVE

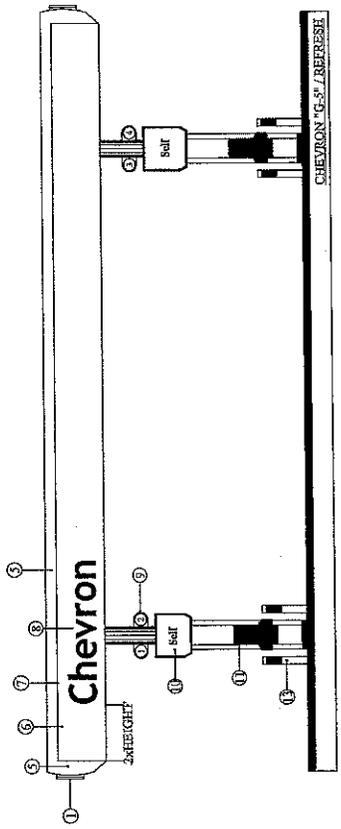




DRAWING NO. A-4	<b>PROJECT DATA</b> CANOPY ELEVATIONS (OPTION) 3745 W. HARBERT (CHEVRON ALTERNATIVE) 1400 E. Florida Ave. BERKELEY, CA 94704	<b>CLIENT / OWNER</b> McEnergy Services 1400 E. Florida Ave. BERKELEY, CA 94704	DESIGN WORKS BY NASSER, JOHNSON & ASSOCIATES ARCHITECTS 1400 E. Florida Ave. BERKELEY, CA 94704 WWW.DESIGNWORKSBYNASSER.COM	NAME: NASSER, JOHNSON & ASSOCIATES ADDRESS: 1400 E. FLORIDA AVE. CITY: BERKELEY, CA 94704 PHONE: (415) 841-1100 FAX: (415) 841-1101 E-MAIL: INFO@DESIGNWORKSBYNASSER.COM	REVISIONS DATE
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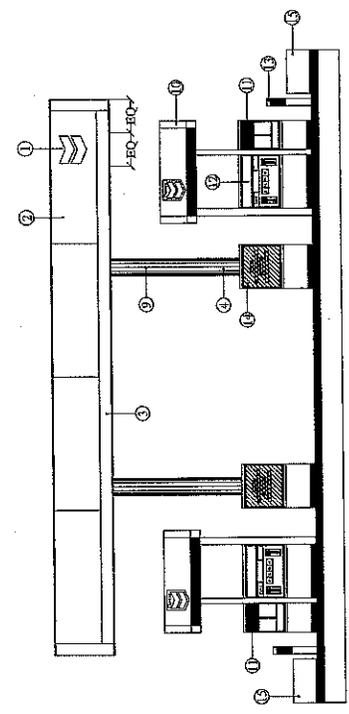
CANOPY FLOOR PLAN  
SCALE: 1/4" = 1'-0"



EAST & WEST ELEVATION  
SCALE: 1/4" = 1'-0"

NO	DESCRIPTION	COLOR
1	CHEVRON HALLMARK SIGNAGE (LOGO)	RED, WHITE & BLUE
2	CANOPY RETURN FACIA	PEARL WHITE
3	CANOPY ACCESSIT RETURN	BLUE (CHEVRON BLUE)
4	CANOPY COLUMN	GRAY
5	PEARL ANCH HOOD	PEARL WHITE
6	CANOPY FACIA	BLUE (CHEVRON BLUE)
7	CANOPY FACIA DOWNLIGHTER	DOWNLIGHT
8	CHEVRON WORDMARK	WHITE
9	DISPENSER I.D. FLAG	BLUE & WHITE
10	DISPENSER SPANNER	WHITE & BLUE
11	COMBO TRASH VALET	PER PLAN
12	DISPENSER	WHITE & GRAY STRIPES
13	BOLLARDS	WHITE BASE
14	3" X 3" P.O.S.	WHITE
15	PLANTER	WHITE

EXAMPLE OF ALTERNATIVE BRANDED COMPANY



NORTH & SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE: THIS ALTERNATIVE CANOPY PLAN MAY BE ALTERED WITH OTHER MAJOR OR PRIVATE FUEL COMPANIES





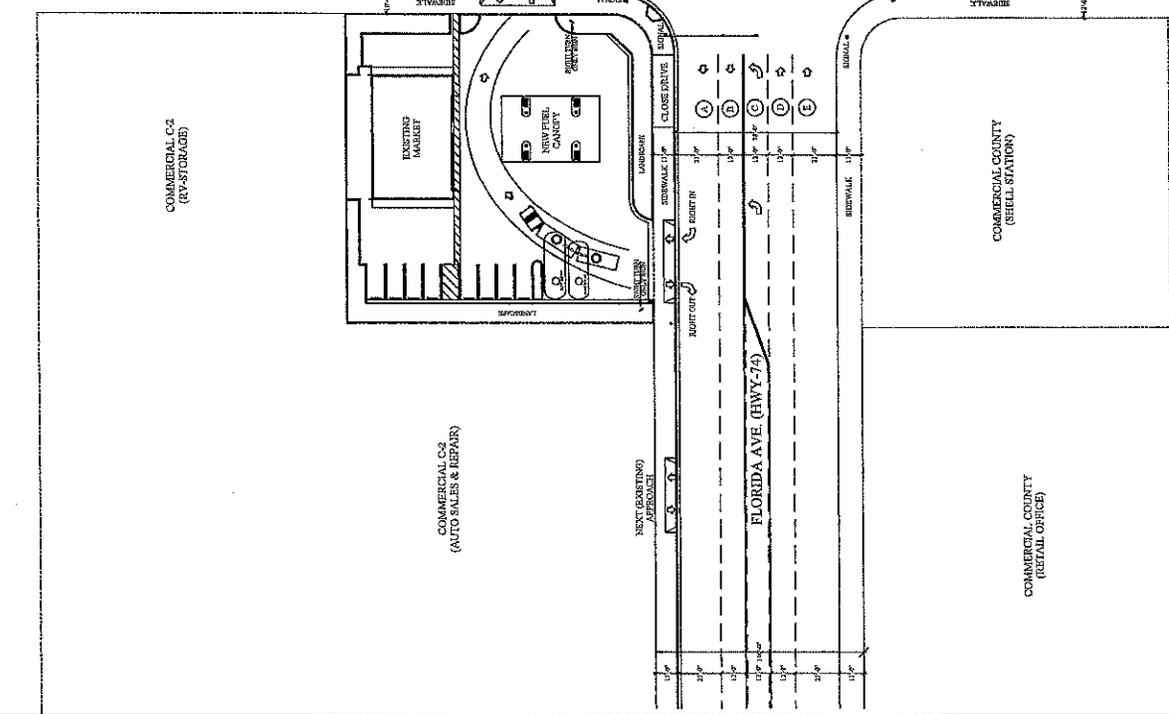




**LEGEND**

<b>SITE DATA</b>	1. SITE AREA: 1.5 ACRES
<b>GENERAL DATA</b>	2. PROJECT NAME: COMMERCIAL COUNTY (SHOPPING CENTER)
<b>BUILDING DATA</b>	3. BUILDING TYPE: RETAIL
<b>PROJECT DATA</b>	4. PROJECT NO.: 1400 E. STANFORD AVE
<b>ADDITIONAL DATA</b>	5. DESIGNER: L.S. GARDNER ARCHITECTS
<b>DATE</b>	08/14/13

<b>FLORIDA AVE (SR-74) EAST TO WEST</b>	<b>WEST TO EAST</b>
<b>LANE 1</b>	<b>LANE 2</b>
DATE: 04-12-13	DATE: 04-12-13
TIME: 09:00am - 11:00am	TIME: 09:00am - 11:00am
DAY: Wednesday	DAY: Wednesday
VEHICLE COUNT: 521	VEHICLE COUNT: 521
04-12-13: 09:00am - 11:00am	04-12-13: 09:00am - 11:00am
04-20-13: 09:00am - 11:00am	04-20-13: 09:00am - 11:00am
04-27-13: 09:00am - 11:00am	04-27-13: 09:00am - 11:00am
05-04-13: 09:00am - 11:00am	05-04-13: 09:00am - 11:00am
05-11-13: 09:00am - 11:00am	05-11-13: 09:00am - 11:00am
05-18-13: 09:00am - 11:00am	05-18-13: 09:00am - 11:00am
05-25-13: 09:00am - 11:00am	05-25-13: 09:00am - 11:00am
06-01-13: 09:00am - 11:00am	06-01-13: 09:00am - 11:00am
06-08-13: 09:00am - 11:00am	06-08-13: 09:00am - 11:00am
06-15-13: 09:00am - 11:00am	06-15-13: 09:00am - 11:00am
06-22-13: 09:00am - 11:00am	06-22-13: 09:00am - 11:00am
06-29-13: 09:00am - 11:00am	06-29-13: 09:00am - 11:00am
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08-24-13: 09:00am - 11:00am	08-24-13: 09:00am - 11:00am
08-31-13: 09:00am - 11:00am	08-31-13: 09:00am - 11:00am
09-07-13: 09:00am - 11:00am	09-07-13: 09:00am - 11:00am
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09-28-13: 09:00am - 11:00am	09-28-13: 09:00am - 11:00am
10-05-13: 09:00am - 11:00am	10-05-13: 09:00am - 11:00am
10-12-13: 09:00am - 11:00am	10-12-13: 09:00am - 11:00am
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**TRAFFIC CIRCULATION & COUNTS**  
 SCALE 1" = 100'

**Exhibit  
No. 1B  
Conditions of Approval**

**Planning Commission  
Meeting of  
April 1, 2014**



## CITY OF HEMET

### PROPOSED DRAFT CONDITIONS OF APPROVAL

**PLANNING COMMISSION DATE:**      **APRIL 1, 2014**

**PROJECT NO.:**      **CONDITIONAL USE PERMIT NO. 13-005**  
**APPLICANT:**      Sanjay Jariwala  
**LOCATION:**      3660 E. Florida Avenue  
**OCCUPANCY:**      This project has been reviewed as an "M" **Occupancy**; any other use will require further review.

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

#### STANDARD CONDITIONS

The following conditions of approval were approved by the City Council as standard conditions of approval for all projects. Questions regarding compliance with these conditions should be directed to the Planning Division at (951) 765-2375.

#### General Requirements:

1. **CONDITIONAL USE PERMIT NO. 13-005** shall become null and void on **April 1, 2016** (two calendar years from the date of approval), unless use in reliance on the approved Conditional Use Permit is established prior to the expiration date. A time extension may be granted by the Planning Commission in accordance with Hemet Municipal Code, provided a written request for a time extension is submitted the Planning Department prior to the expiration date. No formal notice of expiration will be given by the City.
2. Approval of **CONDITIONAL USE PERMIT NO. 13-005** shall become effective on **April 12, 2014** unless appealed to the City Council by **April 11, 2014** (10 calendar days after action by the Planning Commission). The appeal shall be in writing and shall be accompanied by the required fee.
3. The conditions of approval of this project shall supersede all conflicting notations, specifications, dimensions, typical sections, and the like, which may be shown on the project development plans.
4. This project site shall be developed in accordance with the approved plan(s) and the conditions contained herein. The proposed use shall be operated in accordance with all the conditions contained herein. Failure to comply may result

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**CONDITIONAL USE PERMIT NO. 13-005 – 7 DAYS MARKET**

in enforcement actions including citations and potentially revocation of CUP 13-005, pursuant to the procedures of the Hemet Municipal Code.

5. This project shall comply with all sections of the Zoning Ordinance, Subdivision Ordinance and all other applicable Local, State and Federal laws and regulations in effect at the time of the building permit application and/or time of recordation, including the California Building Code, California Fire Code, and City and State Handicapped Accessibility Requirements (California Code of Regulations, Title 24), and all State laws in regard to Recycling operations and collections.
6. Prior to the issuance of building permits, the applicant shall be subject to all applicable development fees at the rate in effect at the time of building permit application for the tenant improvement.
7. The applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in defense of the Action. (*City Council Resolution No. 3693, 12-17-02*)
8. Construction activity shall meet the requirements of the Hemet Municipal Code Chapter 30, Article II.
9. Parking lot lighting and public common area lighting shall be shielded or designed to direct the lighting downward. All lighting shall be adjusted so that all lighting is contained within the boundaries of the site.

**Mechanical Equipment:**

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10. All electrical and mechanical equipment, including but not limited to, air-conditioning units, electrical boxes, transformers, backflow preventers, and roof-mounted equipment shall be visually screened from public view. Screening shall be in accordance with city standards, to the satisfaction of the Planning Department and in compliance with the Building Code.

## **PLANNING DIVISION CONDITIONS**

The following conditions of approval are project specific and were recommended by the Planning Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Planning Division at (951) 765-2375.

### **Site Development and Operation:**

11. Prior to the issuance of a Certificate of Occupancy or finalization of the building permit for the project site or business activity being commenced thereon, pursuant to Conditional Use Permit No. 13-005, all conditions of approval contained herein shall be completed to the satisfaction of the Planning Division.
12. Any uses not specifically permitted as part of, or not determined to be in substantial conformance by the Community Development Director, to this Conditional Use Permit No. 13-005, shall require submittal and approval of an application for the modification of the Conditional Use Permit.
13. The operator shall be responsible for maintaining the site in a clean manner free of trash and debris at all times.
14. An anti-graffiti coating and/or shall be provided on all block walls and stucco covered walls and written verification of its application from the developer shall be provided to the City of Hemet, Planning Department.
15. Prior to the issuance of a Building Permit, the business address shall be mounted on the building elevation and of a height and color to be clearly visible.
16. A Conditional Use Permit shall be required if tobacco products or paraphernalia exceed 15 percent or more of the square footage of the establishment pursuant to Section 90-80(6) of the Hemet Municipal Code.
17. Prior to the Certificate of Occupancy or finalization of the Building Permit, the Healy Enhanced Vapor Recovery (EVR) system shall include bollards placed 30 inches on center, to the west of the system.

### **Signage:**

18. Prior to the Certificate of Occupancy or the finalization of the Building Permit, the identification sign for the convenience store shall be replaced consistent with the signage proposed on Sheet A-5 of the Development Plan revised on February 5, 2014. A separate Permanent Sign Application and Building Permit are required.

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19. Prior to the Certificate of Occupancy or the finalization of the Building Permit and for the life of the Conditional Use Permit, there shall be no interior displays of alcoholic beverages and/or tobacco products or signs which are clearly visible to the exterior. There shall be no exterior advertising or sign of any kind promoting or indicating the availability of alcoholic beverages or tobacco products. No more than 25% of the of the square footage of each window and glass-paneled door shall bear advertising or signs of any sort, and all advertising and signage shall be placed in a manner that ensures that law enforcement personnel have a clear unobstructed view of the interior of the premises.

### **Landscaping**

20. All landscaped areas shall be maintained in a healthy and thriving condition consistent with the approved Landscape Plan and kept free from weeds, trash, disease, vermin, and debris, during the term of this Project.
21. Landscape plans shall be prepared by a Licensed Landscape Architect and submitted in conjunction with Building Plan check and this project shall be subject to all the requirements listed in the Water Efficiency Landscaping Ordinance (currently Ordinance No. 1827, adopted by City Council on April 13, 2010).
22. Prior to the issuance of a Certificate of Occupancy or finalization of the Building Permit, all landscaping shall be installed.
23. Prior to the issuance of a Certificate of Occupancy or finalization of the Building Permit, landscaped areas shall have an automatic irrigation system, with automatic timers, installed and operational. The system installation shall be certified by the Landscape Architect.
24. The landscape plans shall propose an alternative street tree acceptable to the City of Hemet Planning Division.

### **BUILDING DIVISION CONDITIONS**

The following conditions of approval are project specific and were recommended by the Building Division. Questions regarding compliance with these conditions should be directed to the City of Hemet Building Division at (951) 765-2475.

#### **Building Code Requirements**

25. The electrical systems shall be upgraded in accordance with applicable adopted codes.

#### **Handicap Requirements**

26. This project is subject to State Handicapped Accessibility Requirements. (California Code of Regulations, Title 24)
27. Handicapped restrooms shall be installed in accordance with California Code of Regulations, Title 24/California Building Code, Section 1115(b).
28. Handicapped parking and signage shall be installed in compliance with applicable state and city codes, if off-street parking is provided.
29. All entrances and exits shall be handicapped accessible per California Code of Regulations, Title 24.
30. A handicapped accessible pedestrian access to the site shall be provided.

## **ENGINEERING DEPARTMENT**

The following conditions of approval are project specific and were recommended by the Engineering Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Public Works - Engineering Department at (951) 765-2360.

### **General**

31. The applicant shall coordinate with affected utility companies and obtain any permits as necessary for the development of this project.
32. Where survey monuments exist, such monuments shall be protected or shall be referenced and reset, pursuant to Business and Professions Code, Sections 8700 to 8805 (Land Surveyors Act).
33. Prior to any lane closure or detour, the Applicant shall submit a Construction Traffic Management Plan, for review and approval by the City Engineer. The plan shall include, but not limited to, signing, truck routes, and dirt hauling hours.
34. Digitized drawing files of the Onsite Plans, in a City's compatible CAD system, shall be submitted along with original mylar plans. Also provide PDF file of all City Engineer approved Improvement Plans showing City Engineer's approval signature as well as Private Engineer's approval signature.
35. Easement(s) of record not shown on the Onsite Improvement Plan shall be relinquished or relocated. Lots affected by proposed easements or easements of record, which cannot be relinquished or relocated, shall be redesigned.

### **Streets**

36. Any public improvement damaged during construction, including but not limited to curb and gutter, sidewalk, access ramps, paving, trees, and lights, shall be

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**City of Hemet - Conditions of Approval**   
**CONDITIONAL USE PERMIT NO. 13-005 – 7 DAYS MARKET**

replaced to the satisfaction of the City Engineer. Access ramps to comply with current California Building Code requirements, prior to issuance of a Certificate of Occupancy

37. Prior to the commencement of any improvement work on or along Florida Avenue, an Encroachment Permit must be obtained from Caltrans.
38. Prior to issuance of a Certificate of Occupancy install driveway approaches in accordance with the City of Hemet Standard Specifications for Public Works Construction, Standards C-208, C-209, and C-210A. In accordance with City of Hemet Resolution No. 1783, driveway widths and locations shall be approved by the City Engineer.
39. The applicant shall close any unused drive approach with standard concrete curb, gutter and sidewalk, and shall repair any damaged curb, gutter and sidewalk along the subject frontage prior to issuance of a Certificate of Occupancy.

### **Parking**

40. Prior to issuance of a Certificate of Occupancy or the finalization of building permit, install a modified double trash ADA enclosure(s) in accordance with the City of Hemet Standard Specifications for Public Works Construction, Standards R-500A series. The location(s) shall be approved by the City of Hemet Refuse Supervisor.
41. The parking lot shall be designed in accordance with the City of Hemet Parking Lot Design Criteria contained in the City of Hemet Standard Specification for Public Works Construction, Standards P-400 and 401, Uniform Building Code Title 24, and in accordance with Chapter 90, Article XL of the Hemet Municipal Code. The plans shall include the location of parking lot lighting, lighting standard specifications and required parking lot landscaping.

### **Drainage**

42. The Applicant's property shall accept and properly dispose all offsite drainage flowing onto or through the site. Adequate provisions shall be made to intercept and conduct the drainage flows within and from the site in a manner which will not adversely affect adjacent or downstream properties.
43. The applicant has submitted a conceptual proposal for a Storm Water BMP, Blaine Womer Report S43-14-001 dated 1/23/2014, that will treat the storm water from the proposed canopy and fuel island addition. Prior to issuance of a Certificate of Occupancy, the Registered Civil Engineer shall submit to the City Engineer a written certification that all the components of the Storm Water BMP conform to the Riverside County LID Handbook adopted October 22, 2012. Certification shall also be to grade, elevations, plantings, materials, and other elements required by the LID Handbook.

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**City of Hemet - Conditions of Approval**   
**CONDITIONAL USE PERMIT NO. 13-005 – 7 DAYS MARKET**

44. Any required underground storm drain lines and appurtenances, within the public right-of-way, shall be installed in accordance with the City of Hemet Standard Specifications for Public Works Construction.
45. Drainage easement(s), as required by the City Engineer, shall be shown on the improvement plans or grading plans. Easement(s) shall be recorded by deed.

### **Water and Sewer**

46. Domestic water and sewer service is provided by the Lake Hemet Municipal Water District (LHMWD). Any modifications to this service required by the project shall be approved by LHMWD prior to final inspection or Certificate of Occupancy.

### **FIRE DEPARTMENT CONDITIONS**

The following conditions of approval are project specific and were recommended by the Fire Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Fire Department, FIRE PREVENTION DIVISION at (951) 765-2450.

***Unless specifically stated herein, these conditions shall not be construed to permit or allow deviation from any Federal or State laws nor any of the local codes and ordinances adopted by this jurisdiction. Please contact the Hemet Fire Department, Fire Prevention Division for any questions regarding compliance with the applicable codes or following conditions:***

### **Agency Approvals**

47. Prior to the issuance of a building permit written proof shall be provided from the water purveyor that sufficient capacity is available for fire protection. The minimum required fire flow for this project is 2750 GPM @ 20psi residual pressure for a duration of 2 hours, per 2013 CFC Appendix B. Fire flow and flow duration for buildings without automatic fire protection and having an area in excess of 3,600 square feet shall not be less than specified in Table B105.1.
48. Facilities and equipment used for the storage and handling of flammable or combustible liquids and other hazardous materials (which meet or exceed reportable quantities) as defined by Federal, State and Local Laws shall be approved by the County of Riverside Environmental Health.

### **General**

49. The final Conditions of Approval for this project shall be included in any site plan or construction plans submitted for permit issuance. Plans will not be approved without reference to these "conditions".

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City of Hemet - Conditions of Approval   
**CONDITIONAL USE PERMIT NO. 13-005 – 7 DAYS MARKET**

50. This project is subject to review and approval in accordance with the California Code of Regulations, Title 19 for Fire and Life Safety. This project may be subject to an annual inspection and permit from the Hemet Fire Department for this type of occupancy (use).
51. Provision for the storage or handling of hazardous materials, as defined by Federal, State, and Local Law, shall be in accordance with CFC, Chapter 50.
52. Storage and handling of flammable and combustible liquids shall be in accordance with the 2013 California Fire Code, Chapter 57 and NFPA 30 (2008), Flammable and Combustible Liquids Code.
53. Motor fuel dispensing operations and/or facilities and repair garages shall be in accordance with 2013 CFC, Chapter 35.

### **Hydrants and Fire Protection Systems**

54. An approved water supply capable of supplying the required fire flow for fire protection shall be provided on site when any portion of the building or facility is in excess of 400 feet from an approved water supply on a public street. 2013 CFC Section 507. The location of on-site hydrants and mains shall be approved by the Fire Marshall prior to permit issuance.
55. Portable fire extinguishers shall be installed and maintained in accordance with 2013 CFC Section 906 and Chapter 3, Title 19 CCR. The type and spacing shall be approved by the City of Hemet Fire Marshal prior to installation.

### **Fire Department Access**

56. Prior to delivery of combustible materials on site, provide and maintain a surfaced all weather access roadway 20-feet wide with a 13-foot 6-inch vertical clearance designed to support the imposed loads of fire apparatus in accordance with the 2013 CFC Section 503.1 (dirt or native soil does not meet the minimum standard). Minimum turning radius for fire apparatus is 52 feet (outside) and 32 feet (inside). Fire access is required to within 150 feet of all portions of every building unless otherwise approved by the Fire Marshal.
57. Prior to final inspection, addresses shall be provided on all new and existing buildings in accordance with the 2013 CFC Section 505.

### **Miscellaneous**

58. An annual permit and a "Hazardous Materials Management Plan" (HMMP) will be required pursuant to 2013 CFC Section 5001. This facility shall be subject to the standards of NFPA 704 or some other means of identifying hazardous materials for emergency responders as approved by the Fire Marshal.

59. Fire safety during construction and demolition shall comply with 2013 CFC Chapter 11.
60. Access during construction: Access for fire fighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13'-6. Fire department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs. Access shall be provided to within 150 feet of combustible construction pursuant to 2010 CFC Chapter 11.
61. Trash containers with an individual capacity of 1.5 cubic yards or greater shall not be stored in buildings or within 5 feet of combustible walls, openings, eaves, etc. unless protected by an approved means (automatic fire sprinkler system and/or an approved 4-hour fire separation).

### **POLICE DEPARTMENT CONDITIONS**

The following conditions of approval are project specific and were recommended by the Police Department. Questions regarding compliance with these conditions should be directed to the City of Hemet Police Department at (951) 765-2400.

62. A color video camera system shall be installed which, at a minimum, records the rear parking area to digital or other media with retention of the video data for not less than 30 days. Camera shall be configured in such a way as to be able to identify persons at the entrance during daylight hours, and shall be recording whenever the business is open to the public. Access to recorded video shall be restricted to only authorized personnel, as designated by the applicant. Any recorded video shall be retrievable within 48 hours of a request, as needed for criminal investigations or other official purposes.
63. The placement and number of security cameras shall be determined by the Police Department prior to building permit issuance and installed prior to the certificate of occupancy.

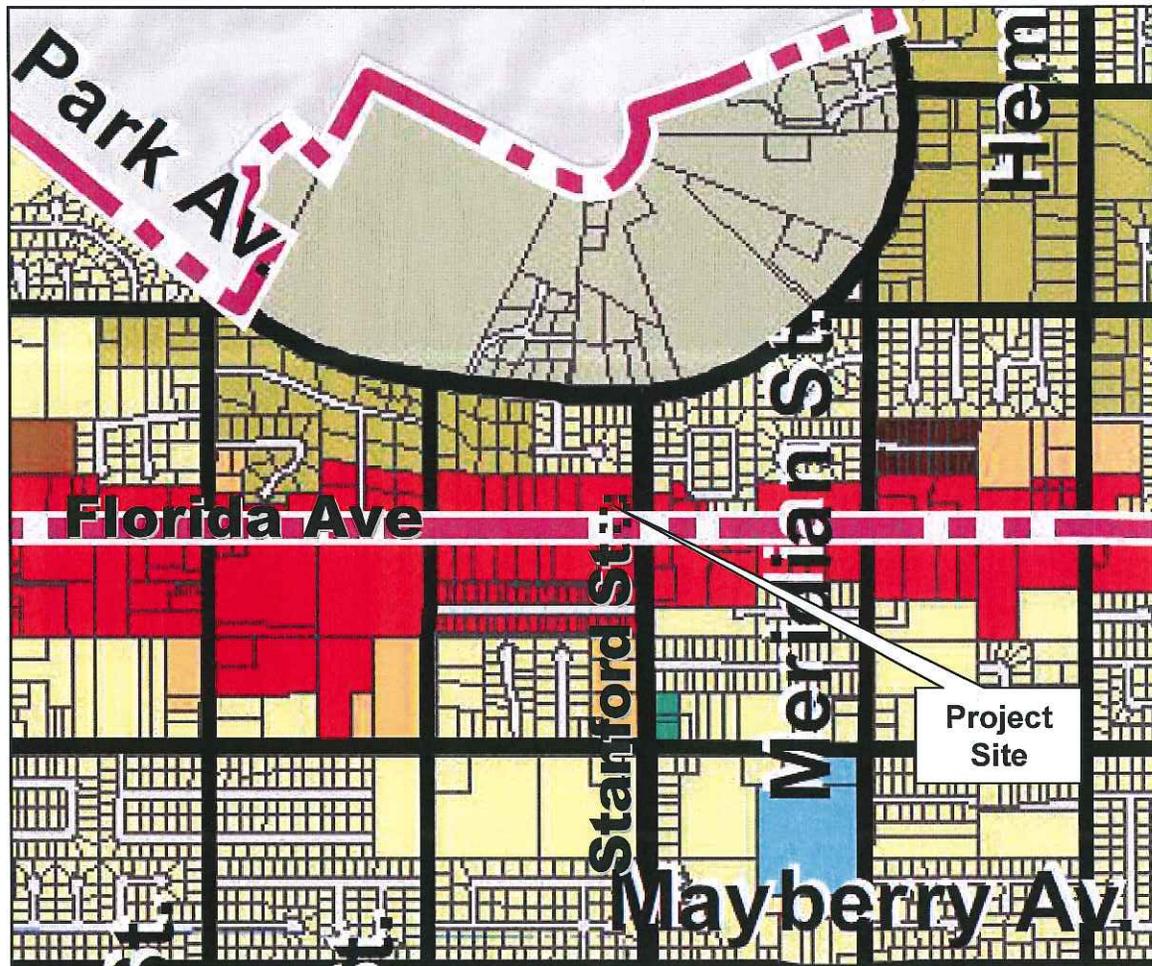
**END**

# Attachment No. 2

Land Use Designation  
Map

Planning Commission  
Meeting of  
April 1, 2014

# CONDITIONAL USE PERMIT NO. 13-005 LAND USE DESIGNATION MAP



### Land Use Designations

RR	Rural Residential (0.0 - 2.0 du/ac)
HR	Hillside Residential (0.0 - 0.5 du/ac)
LR	Low Density Residential (2.1 - 5.0 du/ac)
LMDR	Low Medium Density Residential (5.1 - 8.0 du/ac)
MDR	Medium Density Residential (8.1 - 18.0 du/ac)
HDR	High Density Residential (18.1 - 30.0 du/ac)
VHDR	Very High Density Residential (30.1 - 45.0 du/ac)

NC	Neighborhood Commercial (FAR 0.35)
CC	Community Commercial (FAR 0.40)
RC	Regional Commercial (FAR 0.50)
MU	Mixed Use (Varies)

### Environmental Management Area

[Hatched Box]	Areas subject to MSHCP criteria
---------------	---------------------------------

ARPT	Airport
OP	Office Professional (FAR 2.0)
BP	Business Park (FAR 0.50)
I	Industrial (FAR 0.45)

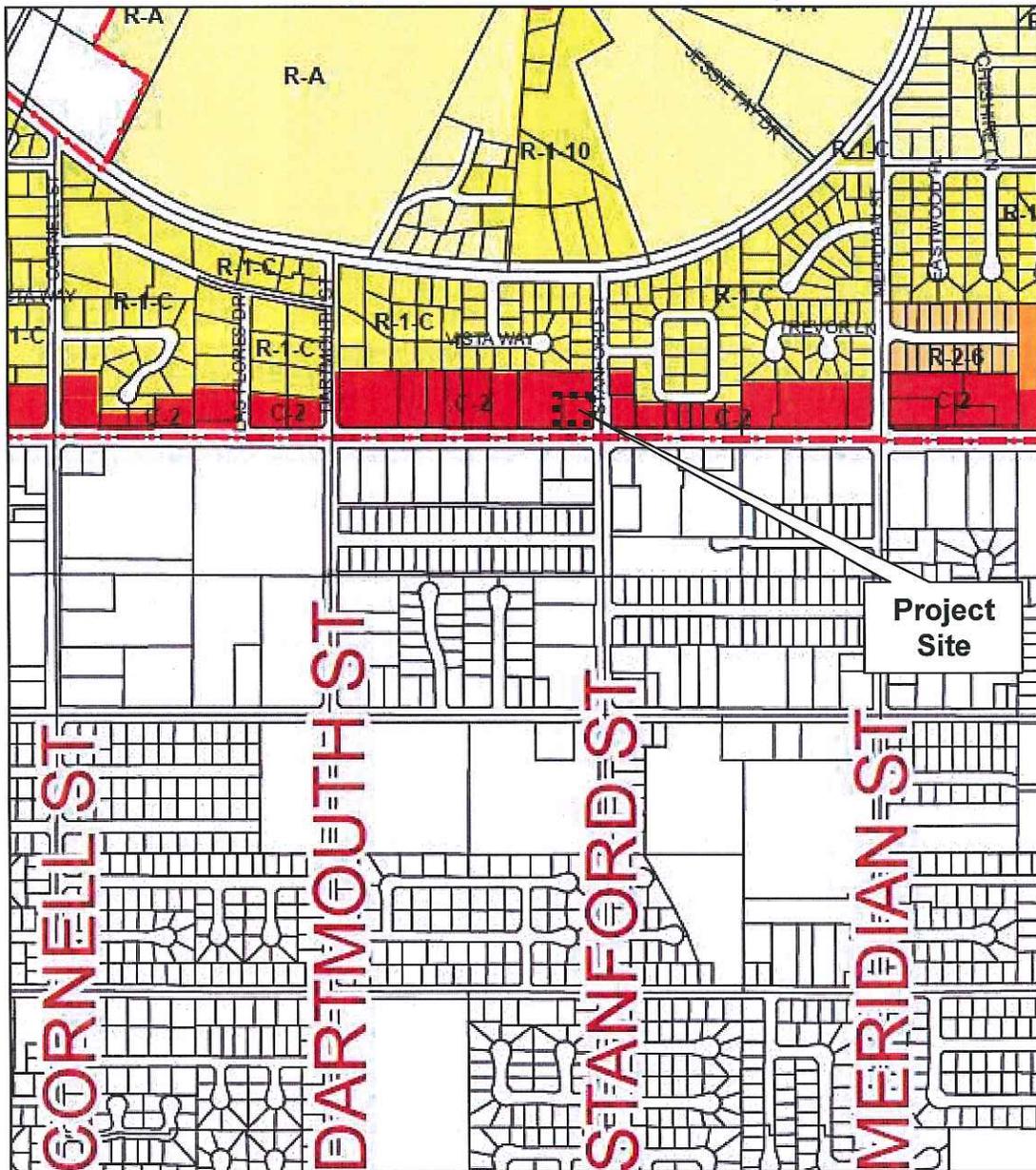
[Hatched Box]	Interim Airport Overlay Zone
---------------	------------------------------

QP/C	Quasi-Public/Cultural
PS	Public Facilities
SCH	School
P	Park/Recreation
OS	Open Space
A	Agriculture

# Attachment No. 3 Zoning Map

Planning Commission  
Meeting of  
April 1, 2014

# CONDITIONAL USE PERMIT NO. 13-005 ZONING MAP

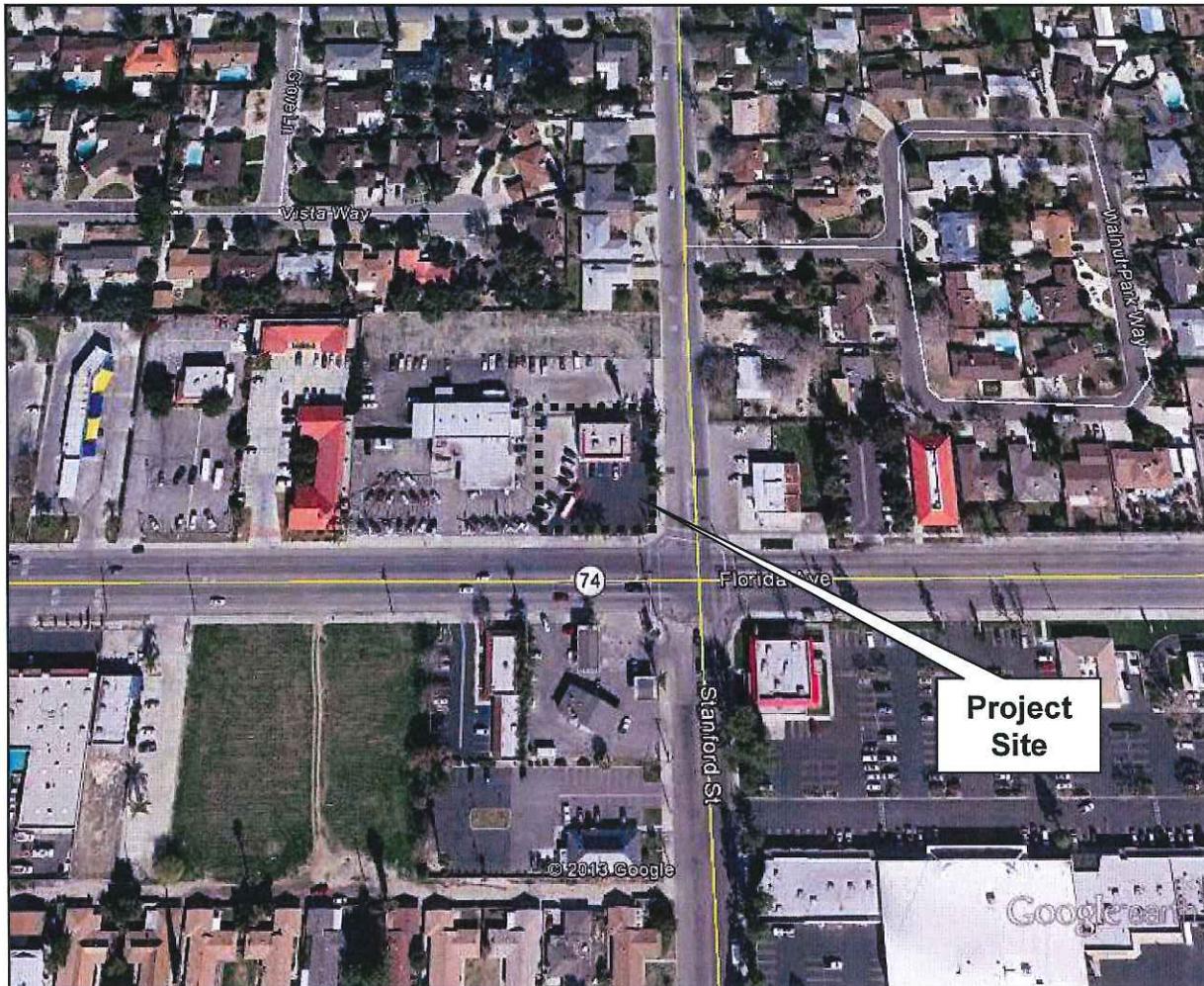


# Attachment No. 4

## Aerial Map

Planning Commission  
Meeting of  
April 1, 2014

# CONDITIONAL USE PERMIT NO. 13-005 AERIAL PHOTOGRAPH



# Attachment No. 5

## Photographs of Site

Planning Commission  
Meeting of  
April 1, 2014

# Conditional Use Permit No. 13-005 Site Photographs



Looking north from Florida Avenue



Looking north from Florida Avenue



The front (south) elevation of the existing convenience store



Looking northwest at the front (south) elevation



Looking north along the eastern property boundary



Looking east along the southern property boundary



Driveway  
to be  
removed

Southern edge of property fronting Florida Avenue



Driveway  
to be  
removed

Driveway  
to be  
removed

Looking south from the eastern boundary of the property

# Attachment No. 6

Statement of Operations

Planning Commission  
Meeting of  
April 1, 2014

**Nasser Moghadam, ARCHITECT**  
C-28552

44052 GALICIA DRIVE  
HEMET, CA 92544  
951-927-4520 PHONE  
951-927-4520 FAX  
nmdesignworks@aol.com

February 17, 2014

**STATEMENT OF OPERATIONS:**

*Project: 7-Days Market CUP 13-005*

*Project Address: 3660 E. Florida Ave.  
Hemet Ca. 92544*

*Client: Mr. and Mrs. Sanjay Jariwala*

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CUP 13-005  
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- *Addition of new fuel facility with four fuel dispensers and canopy structure to the existing market.*
- *Installation of two new underground fuel tanks with capacity of 12,000 & 20,000 gallons.*
- *Closure of the access to the site at the corner on Florida Ave. and increasing the remaining accesses width to 40 feet for the fuel truck entrance.*
- *Closure of both access to the site from Stanford St. and replacing them with one central access of 36 feet wide.*
- *Increase the new landscaped area to approximately 3,500 s.f.*
- *Provide impervious site drainage to the landscaped area.*
- *Compliance with ADA requirements both at the site and within the market.*
- *Comply with the new trash enclosure requirements per City of Hemet Public Works.*
- *Replacement of the building sign to comply with the City of Hemet sign ordinance.*
- *Increasing the operation hours to 24.*
- *There shall be no outdoor vending on this site.*

*Applicants: Mr. and Mrs. Jariwala*

