



City of Hemet

Single-Family Residential Design Guidelines

Adopted by City Council Resolution No. 3960

October 11, 2005



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“Design Guidelines for Single-Family Residential Projects in the City of Hemet”

1.0 Purpose

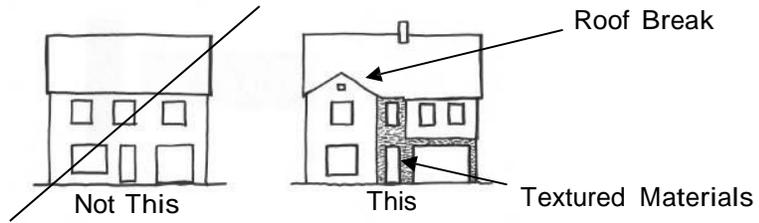
The City of Hemet adopts the following design guidelines for Single-family Residential projects in order to encourage good design for residential development that furthers the following principals:

- 1.1 Encourage quality residential development that utilizes innovative design concepts that foster conservation, diversity and community life.
- 1.2 Encourage homes which have entries with clearly identifiable front doors and porches which enhance the street scene and create opportunities for great social interaction with the neighborhood.
- 1.3 Homes should be in scale and proportion with the lot sizes.
- 1.4 Encourage visually diverse homes with a variety of architectural elements.
- 1.5 Encourage homes, which feature living areas instead of the garage as the prominent element of the structure in relation to the street.
- 1.6 Encourage the location of open spaces to form focal points, gathering places, and recreational space for a variety of activities and age groups.
- 1.7 Encourage design which is pedestrian friendly and includes pedestrian trails and pathways to common destinations such as schools, parks, community facilities, shopping and transit.

2.0 Architectural Guidelines

- 2.1 Architectural styles should be complementary and should provide thematic elements such as, but not limited to, the following items:
 - 2.1.1 Building styles and related design features such as Mediterranean, Spanish, Prairie, Craftsman Bungalow, Victorian, etc. Note: The City of Hemet does not intend to regulate anyone style for a project but does require that styles be consistent within a project. [Refer to Appendix A].
 - 2.1.2 Consistent roof materials such as tile, slate, cement, dimensional asphalt or similar materials. Wood shingles should not be permitted.

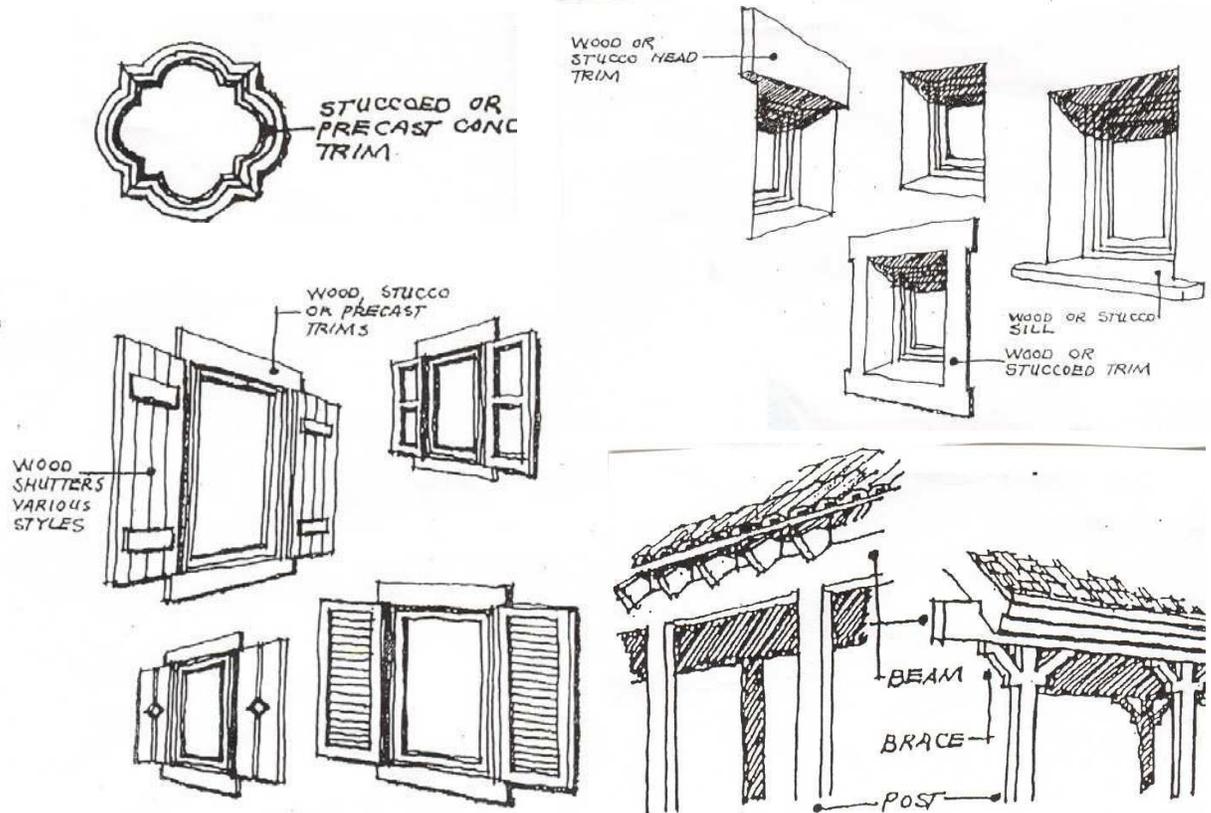
- 2.2 Reduce “boxiness” through building articulation, roof breaks, walls with textured materials, ornamental details, etc.



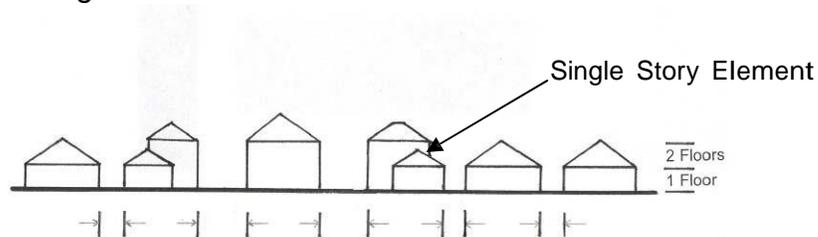
- 2.3 Provide human scale through use of understated entries and low-pitched roofs.



- 2.4 Architectural trim features such as window moldings, recessed windows, shutters, and similar treatments should be provided on front and side facades as well as rear facades, which are visible from public view.



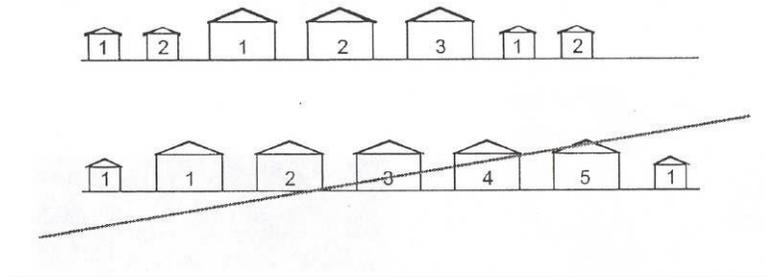
- 2.5 Provide architectural relief as required under any design guidelines adopted by City Council resolution.
- 2.6 Building heights should vary throughout the project. In reviewing building heights, consideration should be given to architectural style, rooflines, façade treatments, and distances between buildings. Additionally, all two-story homes should include both one and two story elements as part of the home design.



- 2.7 Homes that back onto major streets (defined as a street with a design width greater than 65' and major collector streets (defined as a 66' right of way which provides through traffic through a subdivision)) should provide the following:

2.7.1 Definite mix of one story and two story homes should be integrated into the project where backing onto streets. Typically, this should include at minimum:

- 2.7.1.1 Provision of at least two one-story homes in a row.
- 2.7.1.2 No more than three two-story homes in a row.
- 2.7.1.3 Provision of one-story elements along the rear façade for all two-story homes where view fencing is provided.

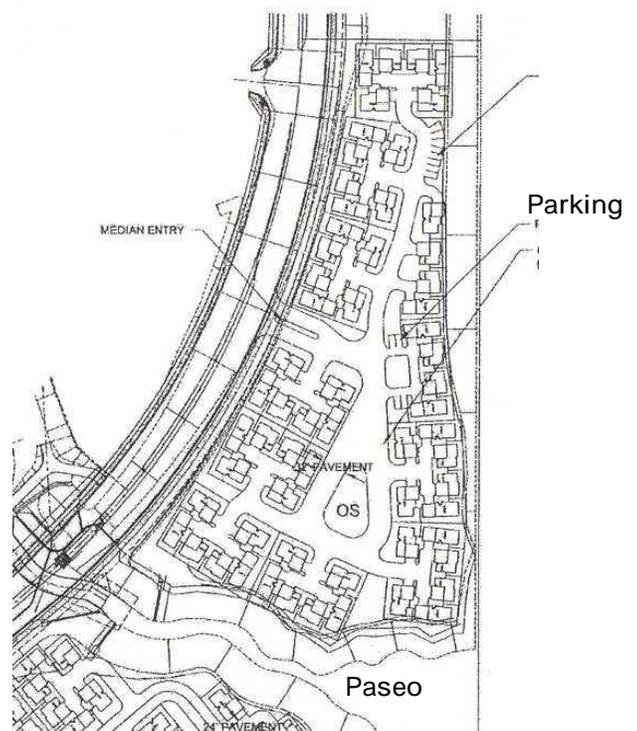
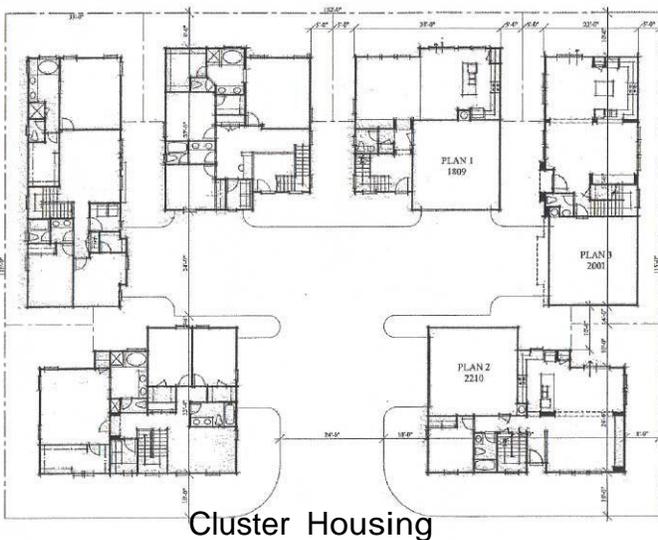


2.8 All new projects should respect the architectural integrity of adjoining neighborhoods and should demonstrate how the project will be compatible with those neighborhoods in terms of massing, building heights, setbacks, and architectural styles. Where necessary, strict application of these guidelines may be waived by the Approval Body in order to maintain compatibility with adjoining homes and neighborhoods.

3.0 Lot Sizes

3.1 It is the policy of the City Of Hemet to maintain a minimum lot size of at least 7,200 sq. ft. unless otherwise provided through the zoning ordinance (e.g. Existing zoning of R-1-6,000). However, lot sizes of less than 7,200 MAY be considered by the City through the Specific Plan process. Guidelines relative to Specific Plan applications are as follows:

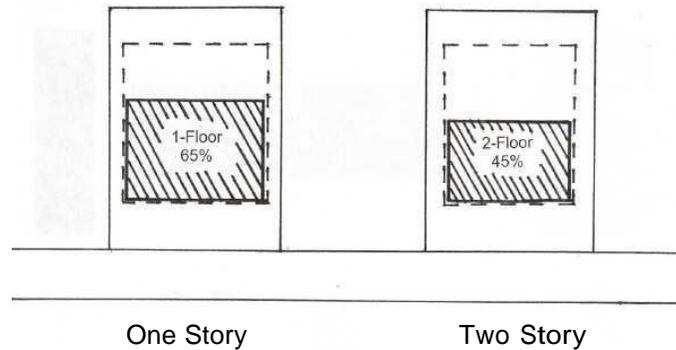
- 3.1.1 Specific Plans should include at least 200 dwelling units in order to provide for a variety of lot sizes.
- 3.1.2 Every Specific Plan should provide for a balance of dwelling unit types and lot sizes per General Plan policies [See Appendix C].
- 3.1.3 Lots smaller than 5,000 sq. ft. shall use innovative housing types and great amenity packages such as “Z” lots, auto courtyards, alley loaded and cluster housing.



4.0 Maximum Lot Coverage (Net pad is defined at buildable pad area (exclusive of slopes))

4.1 One story dwellings – 65% of net pad area

4.2 Two story dwellings – 45% of net pad area

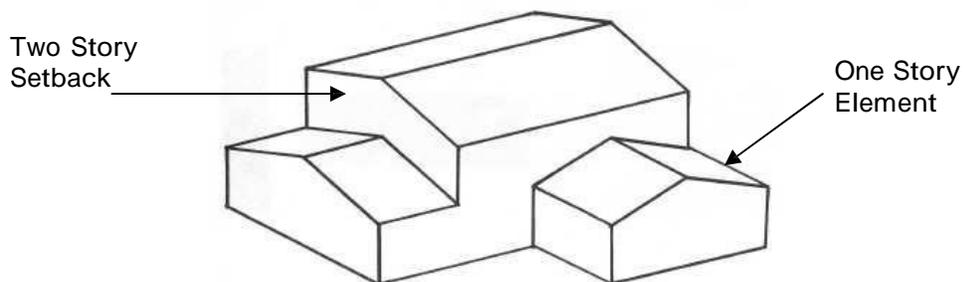


5.0 Architectural Standards

5.1 A second story should be setback between 4 (four) feet and 10 (ten) feet from the bottom floor footprint with an average 6 (six) feet in the front and street side yards. This can be done by either:

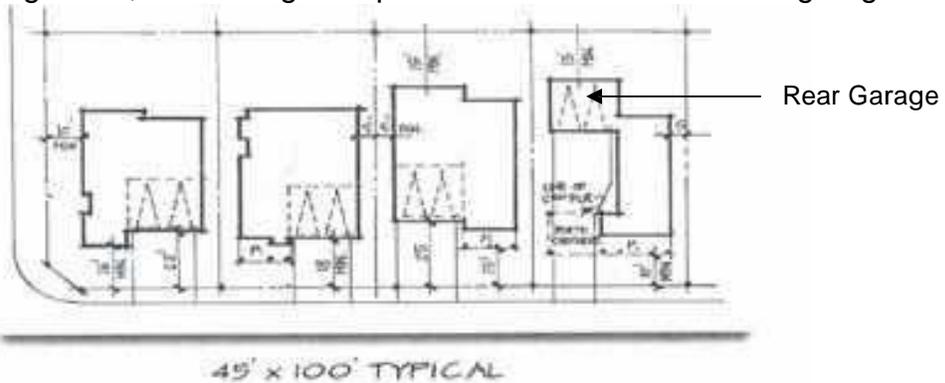
5.1.1 Providing a one-story element such as a porch or;

5.1.2 Through “resting” the second story 10 (ten) feet back from the first story façade.



5.1.3 This technique may not be appropriate for some traditional styles shown in Appendix A.

- 5.2 Provide a variety of garage setbacks throughout the project. This includes, but is not limited to design considerations such as placing garages at rear of property, aligning garages both in line with or behind living areas, and through the provision of standard front-on garages.

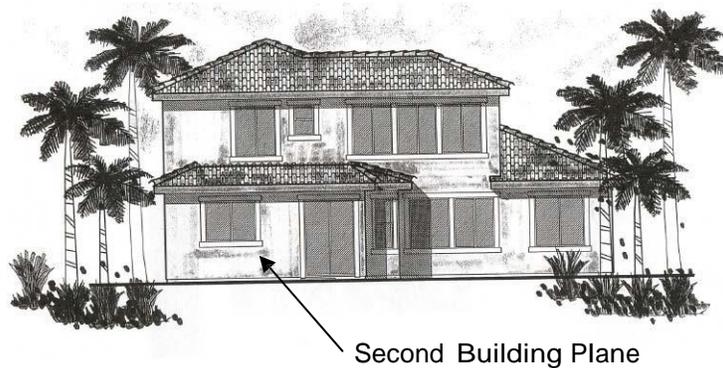


- 5.3 At least 25% of any front and side façade should be of a different building material so as to provide contrast. Side treatments should extend to at least the side return for interior lots and should extend the length of the visible side for exterior lots. (e.g. Provision of wood siding in addition to stucco). This guideline should also apply to rear elevations visible from public view. This guideline is waived for architectural styles which dictates uniformity of building materials.



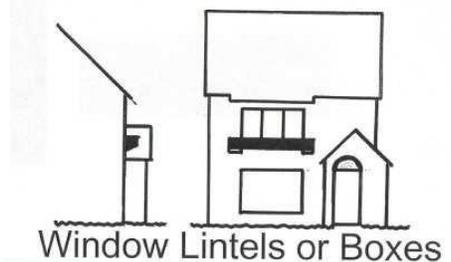
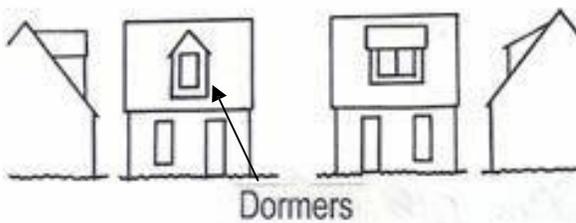
LEFT SIDE ELEVATION
PLAN 1
RANCH ELEVATION

- 5.4 Provide a color palette for the entire project, which shows at least three colors (one primary and two trim) per home. At least five “palettes” should be provided so as to provide variety throughout the project.
- 5.5 Building planes on street side elevations. Avoid large flat planes and lack of detail on all elevations that are visible from a public right-of-way. All homes should provide, at minimum, the following:
 - 5.5.1 Front elevations – three (3) planes for 6,000 sq. ft. lots or less and four (4) for all lots 6,000 sq. ft. or greater in size.
 - 5.5.2 Rear elevations – two (2) building planes for one-story dwellings and three building planes for two-story dwellings.

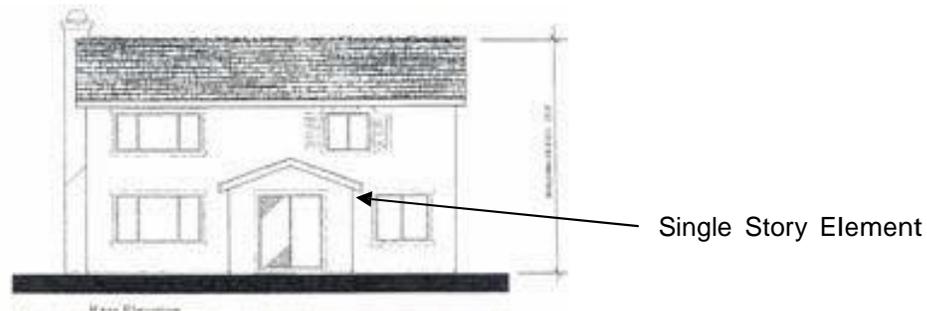


REAR ELEVATION
 PLAN 2
 MISSION ELEVATION

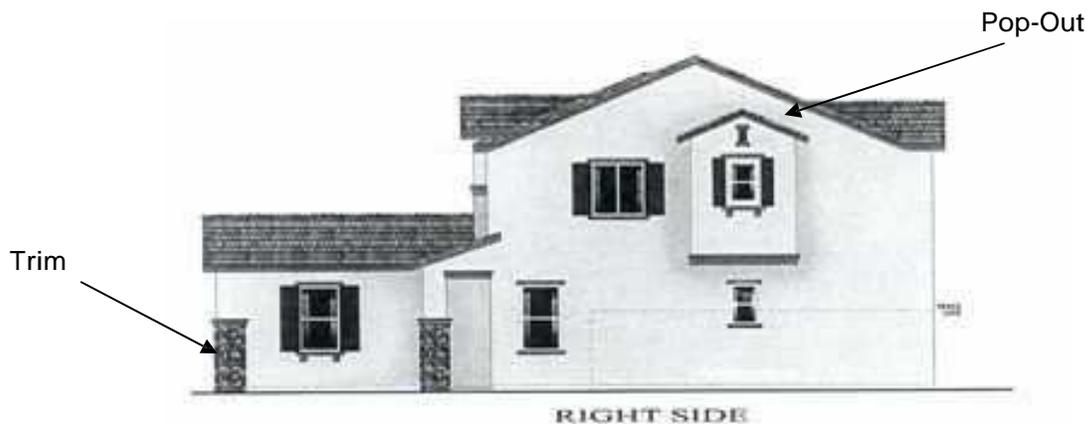
- 5.5.3 Building planes include dormers, varied windows, stone or other material overlay including a deck or window lintels. Building planes include elevation variables of more than 12 inches or more.



5.5.4 Two story dwellings should include one story elements on rear elevations with view fencing.



5.5.5 Enhancement should be placed on all elevations facing a public right-of-way.



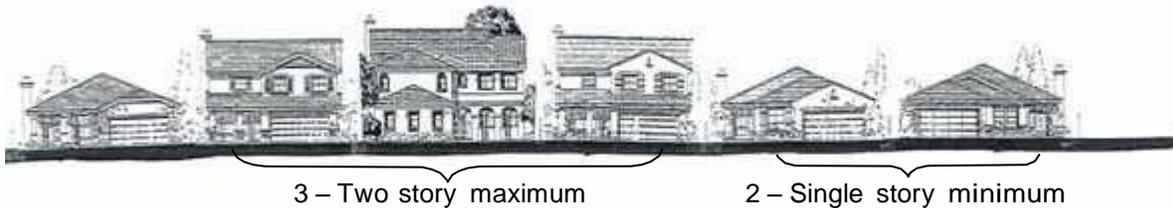
5.6 Roofing materials should be, at minimum, Class A-rated and should comprise concrete, clay, slate, or other durable/aesthetic roofing acceptable to the Approval Body. The roof material used within the subdivision should provide enough variation in terms of color and texture to minimize monotony. There should be no exposed roof rafter tails except for decorative purposes with appropriate architectural styles. Fascia boards, when used, should be a minimum of 2-inches nominal thickness.

5.7 A goal is to provide "smart wiring," energy efficiency and water efficiency to the maximum extent possible.

6.0 Second Story Dwelling Placement

Plotting of one-and two-story dwellings should provide variety and minimize the concentration of two-story units. The following guidelines should be followed:

- 6.1 A minimum of 25% of the units in a tract/project shall be one-story dwellings.
- 6.2 For perimeter areas located adjacent to a major collector a maximum of three (3) two story dwellings should be plotted in a row. A minimum of two (2) one-story dwellings should be plotted in a row.



- 6.3 Only units having a minimum 15% single story element shall be plotted on corner lots.

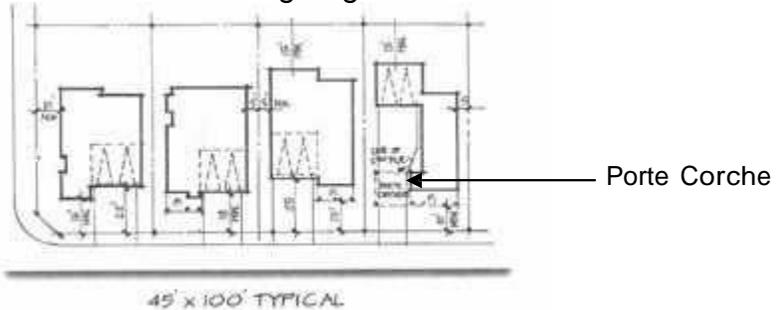
7.0 Garage Design:

Garages should be integrated into overall house design and should not dominate front façade. The garage should not be the dominant architectural feature of the dwelling.

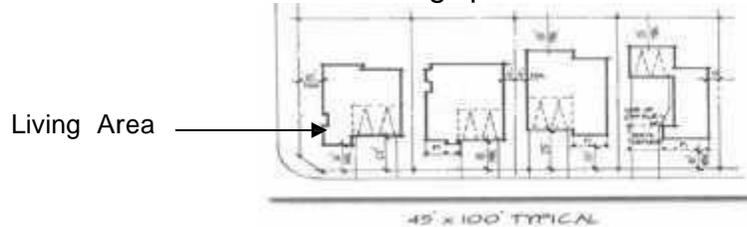
- 7.1 Provision in proportionate parts, a mix of the following innovative design features with the more “standard” housing elevations. Note: Not all of the following will be required but it is the intent of these guidelines to optimize use of innovation and variety and to avoid monotony, repetition of design and a “repetitive” approach to housing development in the City Of Hemet.
 - 7.1.1 Side-on garages with windows facing the street.



7.1.2 Use of porte corche's and rear garages.

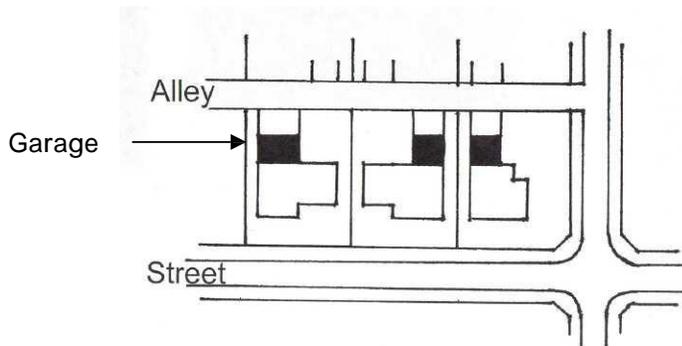


7.1.3 Use of a "habitable living space forward" concept.

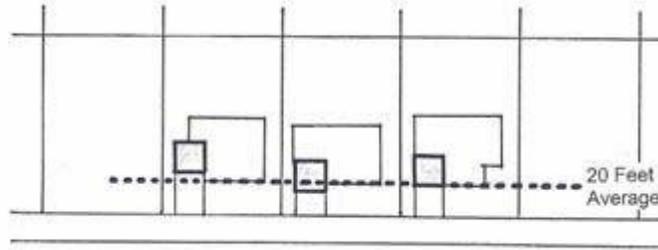


7.1.4 Utilization of other design features similar to the above and as approved.

7.1.5 Utilization of an alley loaded concept.



- 7.2 Garage setbacks must average 20' or more to encourage varying front yard setbacks with a minimum of 18' for lots of 7,200 sq. ft. or greater in size

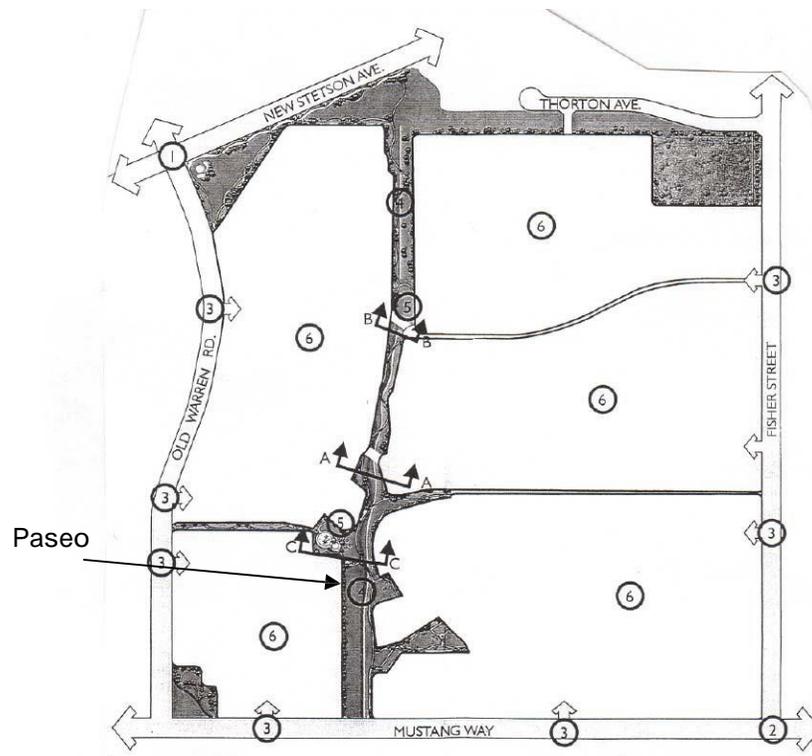


8.0 Private Rear Yard Open Space

- 8.1 50-foot wide minimum lots should have a minimum flatuseable rear yard area of at least 225 square feet.
- 8.2 60-foot wide minimum lots should have a minimum flatuseable rear yard area of at least 325 square feet.
- 8.3 70-foot wide minimum lots should have a minimum flatuseable rear yard area of at least 625 square feet.

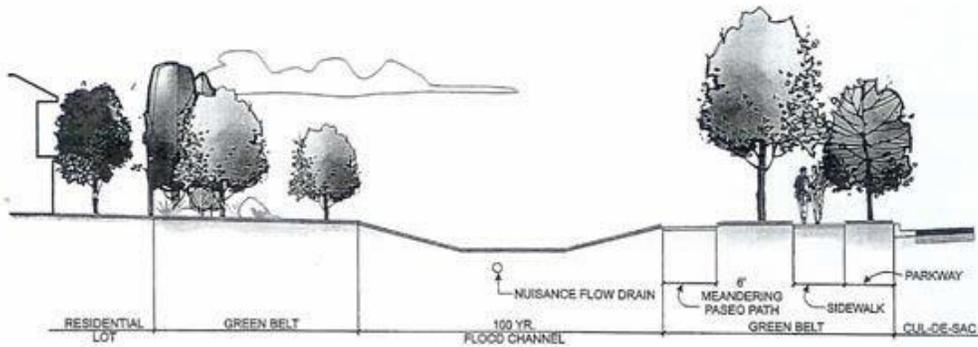
9.0 Open Space/Park Guidelines for all Residential Projects

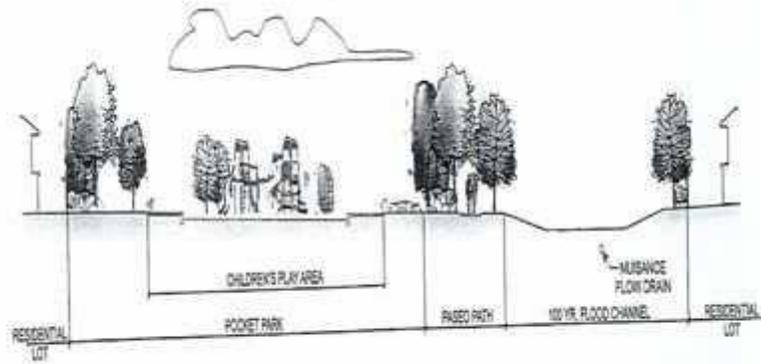
- 9.1 All open space and parkland areas should be designed to promote visibility, safety and access. [Note: Please refer to Section 1-281 of the Hemet Municipal Code for full details]
- 9.2 Paseos or enhanced pedestrian walkways should be provided in an appropriate scale of the project. Provide enhanced pedestrian linkages (e.g. meandering sidewalks with a minimum 15' right of way providing a "backbone" system within the project) to the following:
- 9.2.1 Adjacent and/or nearby trail systems.
- 9.2.2 Open space and park opportunities either within the project or nearby.
- 9.2.3 Nearby civic, cultural, or shopping centers.
- 9.2.4 Meandering sidewalks shall not be required for local streets with driveway loaded lots.



9.3 Utilize and design flood control and drainage ways for:

- 9.3.1 Joint use recreation facilities
- 9.3.2 Natural study and wildlife preserves
- 9.3.3 Pedestrian and bicycle corridors
- 9.3.4 Development transition area



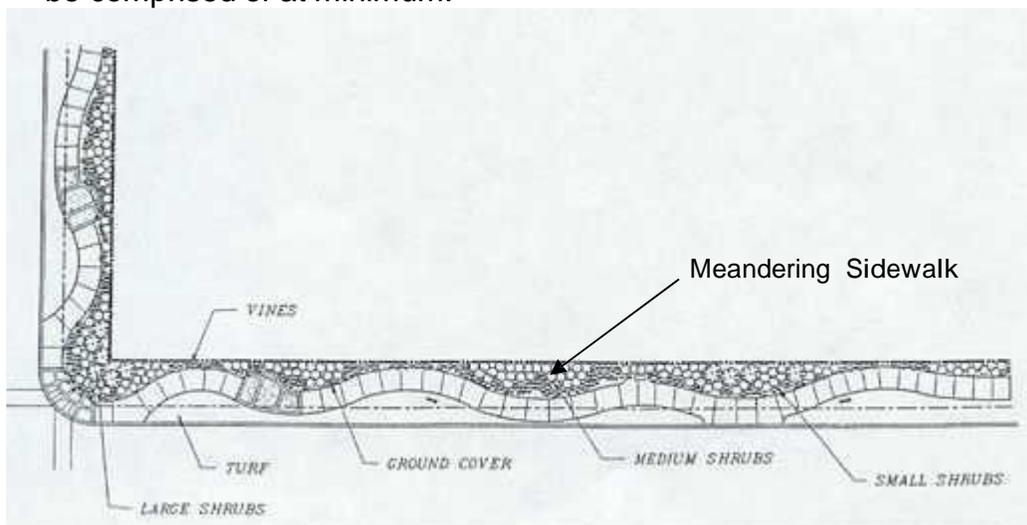


9.4 Any area that cannot be developed (such as retention basins, utility easements, etc.) should be landscaped and maintained. Where landscaping cannot be implemented due to constraints (such as small retention basins) appropriate screening and buffering should be provided. Screening should consist of at minimum:

9.4.1 Fencing with materials consistent with other publicly viewed walls within the project.

9.4.2 Landscaping with a minimum depth of five (5) feet. Landscaping should include a combination of trees, ground cover and shrubbery.

9.5 An enhanced 25-foot streetscape edge (defined from curb face and further defined as an average) is required along any street 88-feet or wider should be required for any residential project. The enhanced edge should be comprised of at minimum:



9.5.1 A five to eight foot wide landscaped parkway with trees and tree groupings. 40-feet on center in addition to groundcover and/or turf.

9.5.2 A five to ten-foot wide meandering sidewalk within a minimum 15' right-of-way.

9.5.3 A seven (7) to fifteen (15) foot wide landscaped area defined as a lettered lot between the sidewalk and property line walls. Said landscaped area should include tree plantings, groundcover, decorative hardscapes, and/or turf and other appurtenances as approved by the Approval Body.

9.6 Park Credit: Open space areas are not credited toward park requirements. However the City may consider partial credit if all of the following exist:

9.6.1 That the credit aspect is agreed to by both the City and the applicant AT THE TIME of project approval.

9.6.2 The City finds that acceptance of partial credit will result in an enhanced situation over that if no credit were given.

9.6.3 The area is clearly accessible to the public.

9.6.4 The area is developed in a manner that is similar to a recreational park.

10.0 Open Space/Park Guidelines for Small Lot Projects (less than 7,200 sq. ft. lots)

10.1 All items shown in section 9.0, plus the items in Sections 10.2 through 10.4.

10.2 Provide privately maintained common open space at a ratio of 0.5 acre per 100 homes. Exceptions to this ratio are:

10.2.1 Where extraordinary amenities are provided (such as club houses, pools, spas, etc.) the ratio can be reduced proportionate to the value of the extraordinary amenities as determined by the Approval Body.

10.2.2 Where other open space opportunities exist adjacent to the project and a reduction may be approved by the Approval Body including, but not limited to the following:

10.2.2.1 Open space areas set aside for preservation purposes.

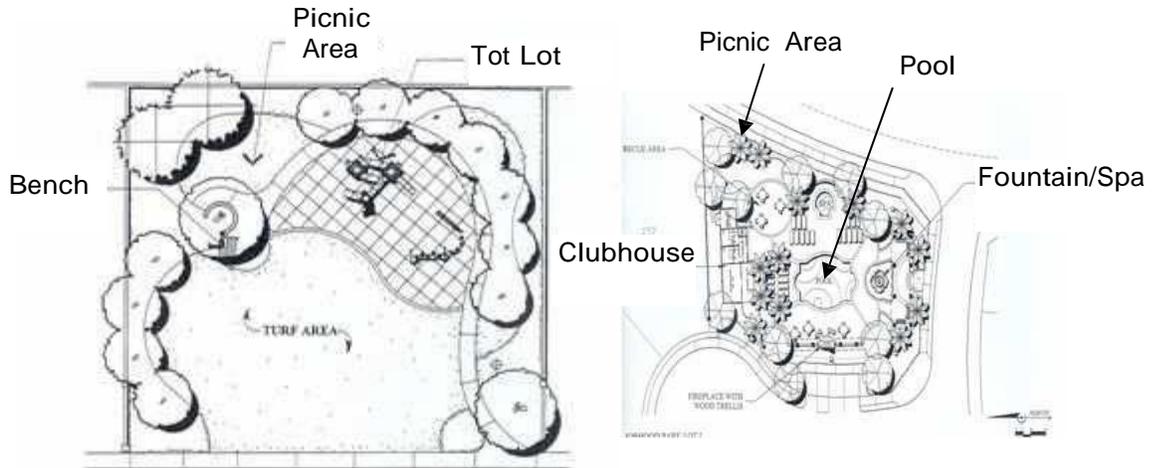
10.2.2.2 Trails such as Class1 bike trails or equestrian trails.

10.3 Open space should be provided and improved prior to occupancy of any home in a Project or according to an approved phasing plan.

10.4 Open space and any privately maintained common area (such as entrance drives, landscaped parkways, etc.) should be maintained by a Homeowners Association (HOA) and have Covenants, Conditions, and Restrictions (CC&R's) or other appropriately recorded regulatory agreement reviewed and approved by the City Attorney which provides assurances that said open space will be maintained in perpetuity.

10.4.1 Open space should include both active and passive recreation activities such as, but not limited to:

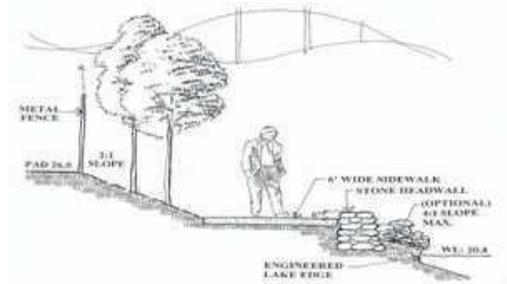
- 10.4.1.1 Tot lots
- 10.4.1.2 Gardens
- 10.4.1.3 Benches
- 10.4.1.4 Picnic tables
- 10.4.1.5 Pools
- 10.4.1.6 Spas
- 10.4.1.7 Basketball courts
- 10.4.1.8 Volleyball
- 10.4.1.9 Sand areas



10.4.2 Paseos: All residences within a Project should be able to walk to an open space area through a paseo/walkway systems. While sidewalks may be utilized in part, all Projects should include at least one “backbone” paseo which traverses the length of the project. Paseos should count toward the open space requirement noted above but should not be the dominant square footage component of the open space system. Said paseo should be landscaped. All paseos should have a minimum width of at least 20-feet.

10.4.2.1 Fences along the paseo should be either wrought iron view fences or some combination of view fence with decorative block wall which permits some privacy while maintaining visibility of the paseo to adjoining homes.

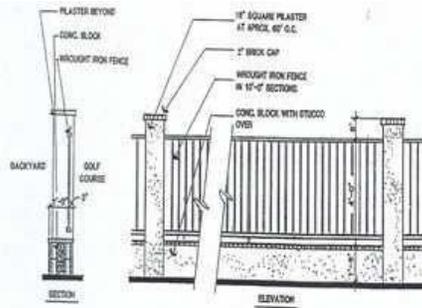
10.4.2.2 Paseos should be designed to promote visibility, safety, and access. Other requirements of the paseo system are:



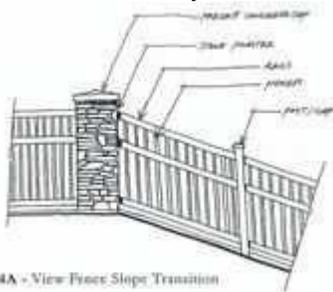
- 10.4.2.3 All paseos should have pedestrian lights which promote security while minimizing off-site glare and intrusion into adjacent homes.
- 10.4.2.4 All paseos should be easily accessible to the open space areas and to residences.
- 10.4.2.5 All paseos should include amenities such as drinking fountains, trash receptacles, benches, and shaded rest areas.

11.0 Wall and Fence Guidelines

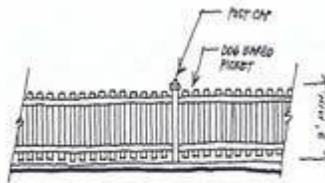
- 11.1 Project perimeter fencing adjacent to the public right of way should be required for all projects except where lots face streets.
 - 11.1.1 All perimeter fencing should be decorative block, textured concrete or stucco with pilasters and caps and/or other material consistent with any adopted policy, guideline or standard in effect at time of approval.
 - 11.1.2 Wrought iron view fences are also permitted with pilasters and caps. Decorative block includes items such as split face block, slumpstone, etc., but specifically excludes precision block (unless completely covered by stucco), wood fences, and similar treatments.
 - 11.1.3 All perimeter fencing should have vines planted next to the wall to help soften the effect of block walls, with said vines being planted at least 10-feet on center.
 - 11.1.4 Other landscape techniques can be considered in lieu of vines (such as hedge plantings next to the wall) as long as said techniques helps break up the monotony of long perimeter walls and which would provide similar anti-graffiti characteristics.



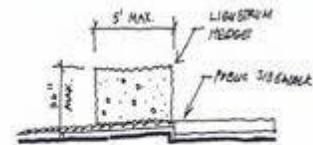
Exceptions: wood fencing, such as split rail and/or post and rail fencing may be considered in very large projects (average lot size over 10,000 sq. ft.) where the clear intent is to provide an equestrian atmosphere and rural lifestyle.



DETAIL 4A - View Fence Slope Transition



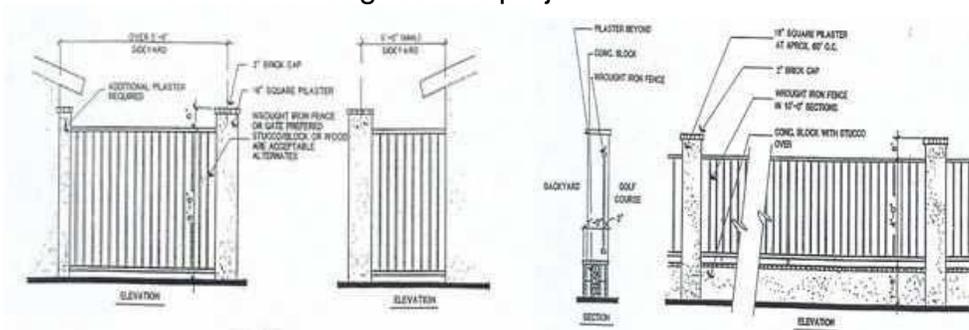
DETAIL 5 - Low View Theme Picket Fence



DETAIL 6 - Low Hedge

11.2 Residential lot fencing:

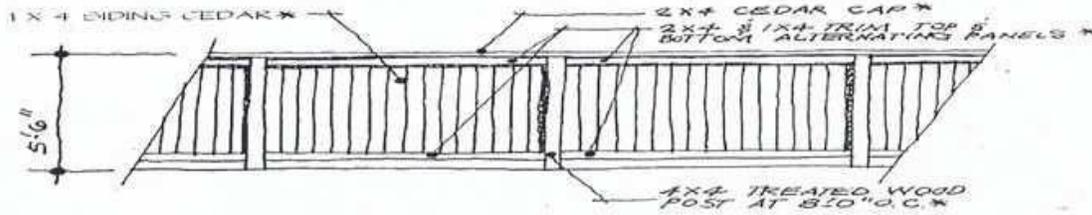
11.2.1 Walls visible to public view: any wall visible to public view (front yard returns, exterior side lot line walls, etc.) should be of the same material as the perimeter walls so as to continue a thematic element throughout the project.



11.2.2 Gates visible to public view: Pedestrian gates (typical gates which open onto backyards) may be wood or wrought iron/tubular steel. No chain link is permitted. If wood, the wood should be painted the same color as the primary color of the adjoining home. Vehicle gates (side yard gates for RV's, etc.) should be opaque. The gate may be wood if painted the same color as the adjoining home, or a complementary color.

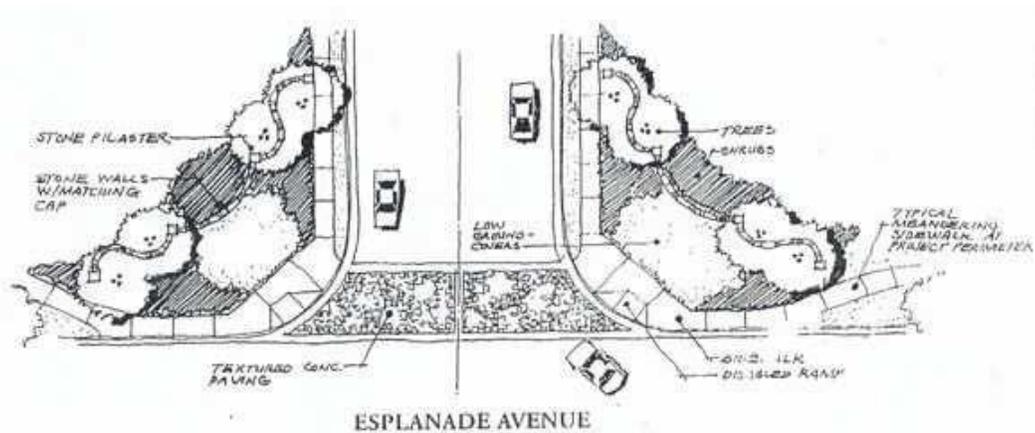
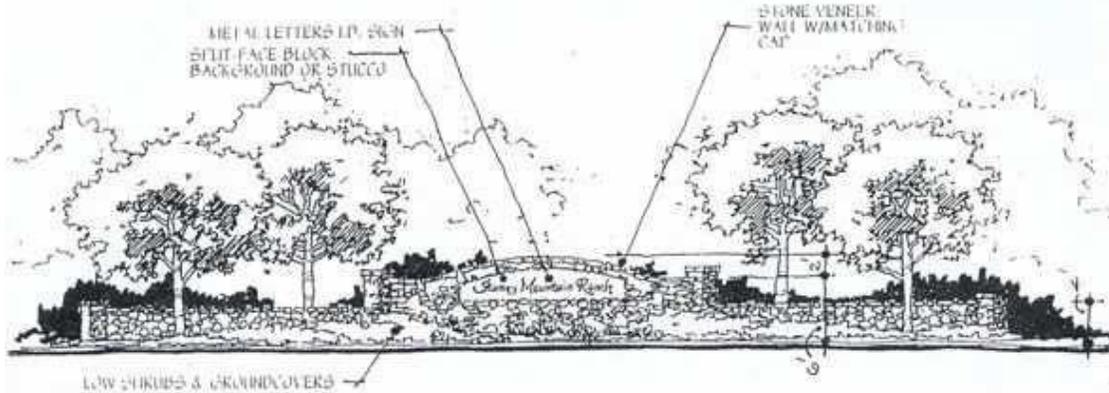
11.2.3 Interior lot line fences: Interior lot line fences should be comprised of masonry block walls, vinyl, wood or other materials which comply

with any applicable policy, guideline or standard in effect at time of approval. See also, Appendix D, City Council Resolution No. 3697.



* REDWOOD IS AN ACCEPTABLE SUBSTITUTE
 NOTE: SUBSTITUTED DESIGNS ARE ACCEPTABLE BUT MUST BE APPROVED BY PLANNING DIRECTOR.

11.3 Project Entries: Most tract home development should be provided with enhanced entries to establish neighborhood identity and develop a sense of arrival unless precluded by existing conditions



12.0 Landscape Requirements:

- 12.1 Perimeter landscaping and irrigation. All areas outside of any perimeter wall should be landscaped and irrigated. All street trees minimum sizes should conform to the currently Approved Street Tree List, incorporated herein by reference.
- 12.2 Xeriscape or drought tolerant landscaping is encouraged for all residential projects in the City Of Hemet. At least one home in any model home complex should include a xeriscape/drought tolerant plan for demonstration purposes.
- 12.3 Minor streetscape landscaping: All streets not identified with perimeter landscaping should provide street trees and landscaping within the parkway area. Street trees should be at least the size specified in the City of Hemet Approved Street Tree List, with a maximum separation of 40 feet on-center. Irrigation to said parkway should be provided by the adjoining lot owner. Additionally, landscaping should be provided on any exterior side yard lot between the wall and sidewalk consistent with the overall theme of the project. Irrigation to said landscaping is the responsibility of the adjoining lot owner.
- 12.4 All graded slopes, equal to or greater than 3-feet in vertical height, and/or on slopes graded to a 2:1 or a greater ratio should be planted with ground cover at a minimum spacing of 12 inches on center to prevent erosion. A permanent irrigation system should be installed for all vegetation.
- 12.5 Parks and landscaped public use areas should be planted, automatically irrigated, and made part of L&LMD, or alternative maintenance mechanism acceptable to the City, prior to the occupancy of 25% of the homes in the subdivision or prior to the occupancy of the 51st home, whichever occurs first.
- 12.6 All public landscaped areas should be maintained by the developer for a minimum of one-year to assure continued growth and health. Continued maintenance of public areas should be guaranteed by establishment of a home-owners association or alternative mechanism approved by the Planning Director.
- 12.7 All front yards should be planted with sod and/or ground cover and automatically irrigated. Decorative rock and/or xeriscape in the front yard may be used instead of sod when installed in accordance with City standards. 20% of the front yard area should be planted in shrubs and appropriate groundcover.

- 12.8 Disclosure notices: Disclosure notices to property owners should be recorded against all properties within the project which state:
- 12.8.1 That they are aware of any required financing mechanisms for the project such as L&LMD's or CC&R's
 - 12.8.2 That they are responsible for the irrigation of parkway landscaping adjacent to their home as well as any landscaping adjoining their exterior side yard and that any lack of maintenance and/or irrigation is subject to code violation actions.

Appendix A
Architectural Styles

Appendix B

Glossary of Architectural Terms

Appendix C

General Plan Policies

Appendix D

City Council Resolution No. 3697
(Fencing)

Appendix E

City of Hemet Approved Street Tree List

Note: The Public Works Department should be consulted to confirm usage of the latest approved List.